

Ravinia

515-555
Roger Williams Avenue
Highland Park, IL
60035

Owner
Imperial Realty Co.
4747 W. Peterson Ave.
Suite 200
Chicago, IL 60646
773.736.8344
Contact: Ben Lockwood

Architect
FitzGerald Associates Architects
912 W. Lake Street
Chicago, Illinois 60607
312.563.9100
Contact: Peter Szczelina

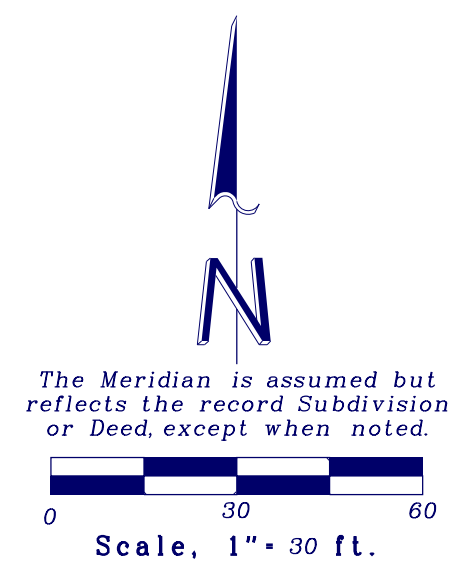
Civil Engineer
Eriksson Engineering Associates
601 W. Randolph Street
Suite 500
Chicago, IL 60661
312.463.0551
Contact: Ryan Feeney

Landscape Architect
Hitchcock Design Group
100 S. Wacker Dr.
Suite 700
Chicago, IL 60606
312.634.2100
Contact: Joel Baldin

Structural Engineer
Runde Engineering, Inc.
39 W. New York Street
Aurora, IL 60506
630.966.0250
Contact: Dan Runde

MEP Engineer
Khatib and Associates, Inc.
557 W. Randolph Street
Suite 103
Chicago, IL 60661
312.993.0438
Contact: Ray Khatib

Issued for Permit/Bid
3/24/17



BOUNDARY AND TOPOGRAPHIC

Survey

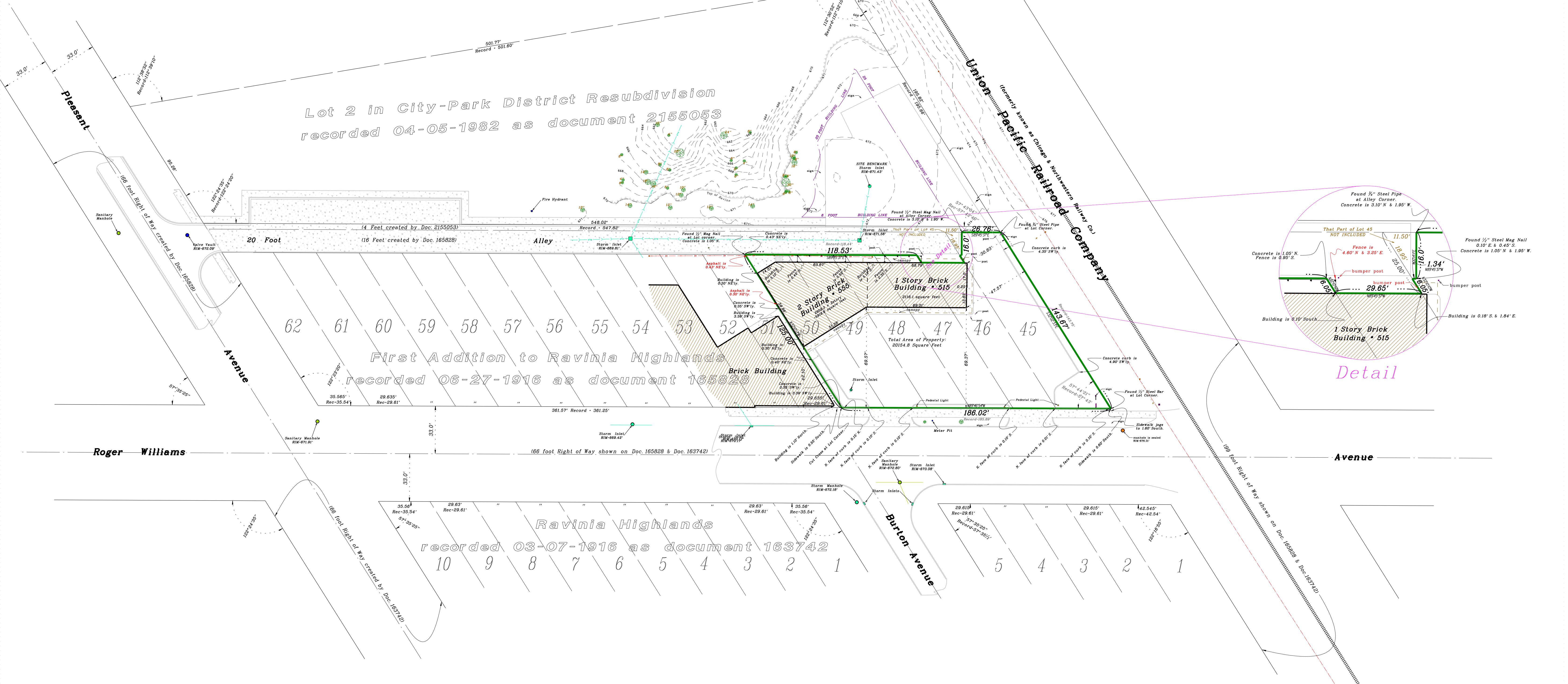
R. E. DECKER, P.C.

LAND SURVEYORS
114 E. COOK AVE., LIBERTYVILLE, ILLINOIS 60048
847-362-0091 FAX 847-362-0119 deckersurvey@gmail.com

Legend			
	Proposed Contour		Communications
	Existing Contour		Electric
	Proposed Elevation		Gas
	Existing Elevation		Sanitary
	Existing Deciduous Tree with Trunk Diameter		Storm
	Existing Conifer with Trunk Diameter		Water
	Remove Tree	Utility markers and lines shown in corresponding colors	
	Wood Utility Pole		
	Overhead Utility Line		

Lot 45 (excepting that part thereof described as follows: beginning at the Northwesterly corner of said Lot; thence East on the North line thereof, 11.50 feet; thence South at right angles to said North line, 16.0 feet; thence West parallel with the said North line, 1.34 feet to the Westerly line of said Lot; thence Northwesterly on said line, 18.95 feet to the point of beginning), and all of Lots 46 to 50, both inclusive, in Block 1 in First Addition to Ravinia Highlands, in the Southwest Quarter of Section 25, and the Northwest Quarter of Section 36, all in Township 43 North, Range 12, East of the Third Principal Meridian, according to the plat thereof recorded June 27, 1916 as Document 165828, in Book J of Plats, page 73, in Lake County, Illinois.

Commonly known as: 515-555 ROGER WILLIAMS AVENUE, HIGHLAND PARK, ILLINOIS.



Detail

Project Benchmark
STORM INLET LOCATED IN PARKING LOT NORTH OF BUILDING AT 515 ROGER WILLIAMS AVENUE
NIM-671.43' NGVD '29

Legend of Abbreviations

N. - North	Doc. - Document
S. - South	SQ. FT. - square feet
E. - East	R.O.W. - Right of Way
W. - West	
N.E. - Northeast	
S.E. - Southeast	San. - sanitary
S.W. - Southwest	Sto. - storm
N.W. - Northwest	Inv. - invert
Rec. - record	PVC - polyvinyl chloride
Meas. - measured	CMP - corrugated metal pipe
	T/F - top of foundation



FIELD WORK COMPLETED: FEBRUARY 3, 2014

STATE OF ILLINOIS } ss
COUNTY OF LAKE }

This professional service conforms to the current Illinois minimum standards for a "Boundary Survey." This professional service conforms to the current Illinois minimum standards for topographic surveys.

R. E. DECKER, P.C.

By: _____
Professional Land Surveyor

ORDER NUMBER 14-42

ORDERED BY IMPERIAL REALTY CO.

FOR _____

REVISIONS: _____

WITHOUT A RAISED SEAL
PLAT IS NOT VALID

Note Concerning Existing Utilities

When the plans or special provisions include information pertaining to the location of underground utilities such information represents only the opinion of the surveyor as to the location of such utilities and is only included for the convenience of the bidder. The surveyor and owner assume no responsibility whatsoever in respect to the sufficiency or accuracy of the information shown on the plans relative to the underground utility facilities. It shall be the contractor's responsibility to obtain from the respective utility companies detailed information relative to the location of their facilities.

Contractor is responsible for contacting J.U.I.E. at 1-800-892-0123 and must obtain a dig number at least 72 hours prior to any work being done.

GREMLEY & BIEDERMANN

A DIVISION OF
PLCS Corporation

LICENSE NO. 184-005332

PROFESSIONAL LAND SURVEYORS

4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630

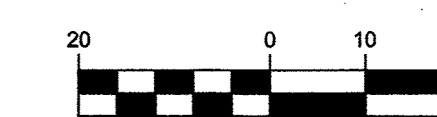
TELEPHONE: (773) 685-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM

ALTA / ACSM Land Title Survey

LEGEND

- ☉ Storm CB
- ☉ Storm Inlet
- ☉ San MH
- ☉ Water MH
- ☉ Water Buffalo Box
- ☉ Water Hand Hole
- ☉ Water Fire Hydrant
- ☉ Telephone Pedestal
- ☉ Utility Pole
- ☉ Guy Anchor
- ☉ Electric Pad
- ☉ Electric Meter
- ☉ Electric Ground Light
- ☉ Electric Mounted Wall Light
- ☉ Gas Meter
- ☉ Sign Post
- ☉ Bumper Post

GRAPHIC SCALE

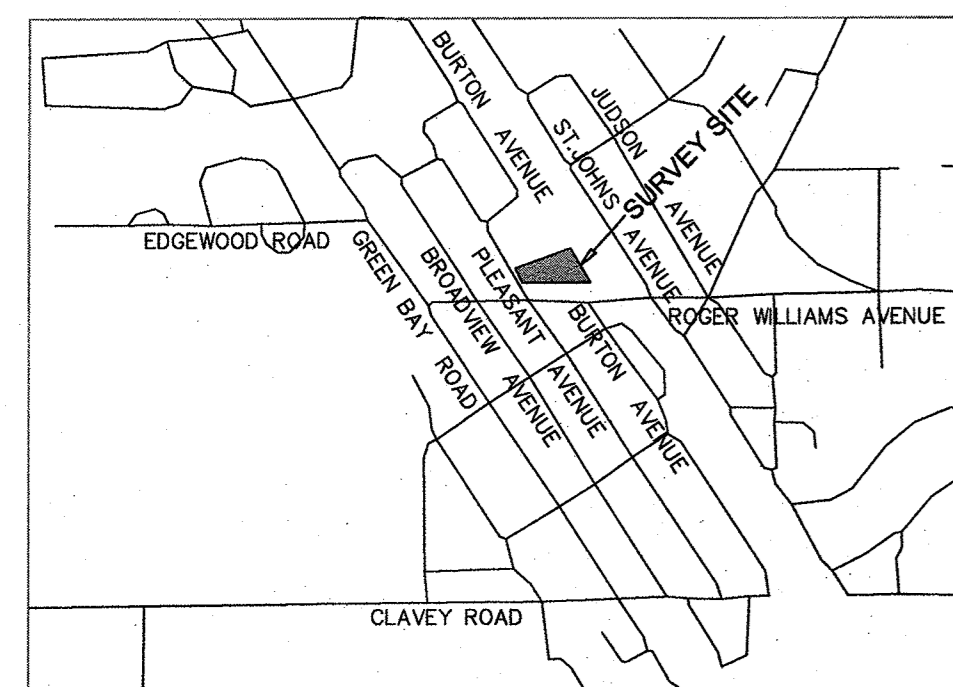


PARCEL 1
THAT PART OF LOT 2 IN CITY-PARK DISTRICT RESUBDIVISION OF LOTS 37 TO 44, BOTH INCLUSIVE (EXCEPT THE EAST 162 FEET OF SAID LOT 37 AND EXCEPT THE WEST 150 FEET OF SAID LOT 37 AND 38) IN BLOCK 1 IN FIRST ADDITION TO RAVINIA HIGHLANDS, IN THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 43 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND IN THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 43 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED JUNE 27, 1916 AS DOCUMENT NUMBER 165828 IN BOOK "J" OF PLAT, PAGE 73, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 89°55'30" WEST ALONG THE SOUTHERLY LINE THEREOF 134.49 FEET; THENCE NORTH 04°24'59" EAST 95.00 FEET; THENCE NORTH 57°38'10" EAST 29.53 FEET; THENCE NORTH 27°15'15" EAST 31.64 FEET TO THE EASTERLY LINE OF SAID LOT 2; THENCE SOUTH 32°21'50" EAST ALONG THE EASTERLY LINE OF SAID LOT 2 A DISTANCE OF 163.93 FEET TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

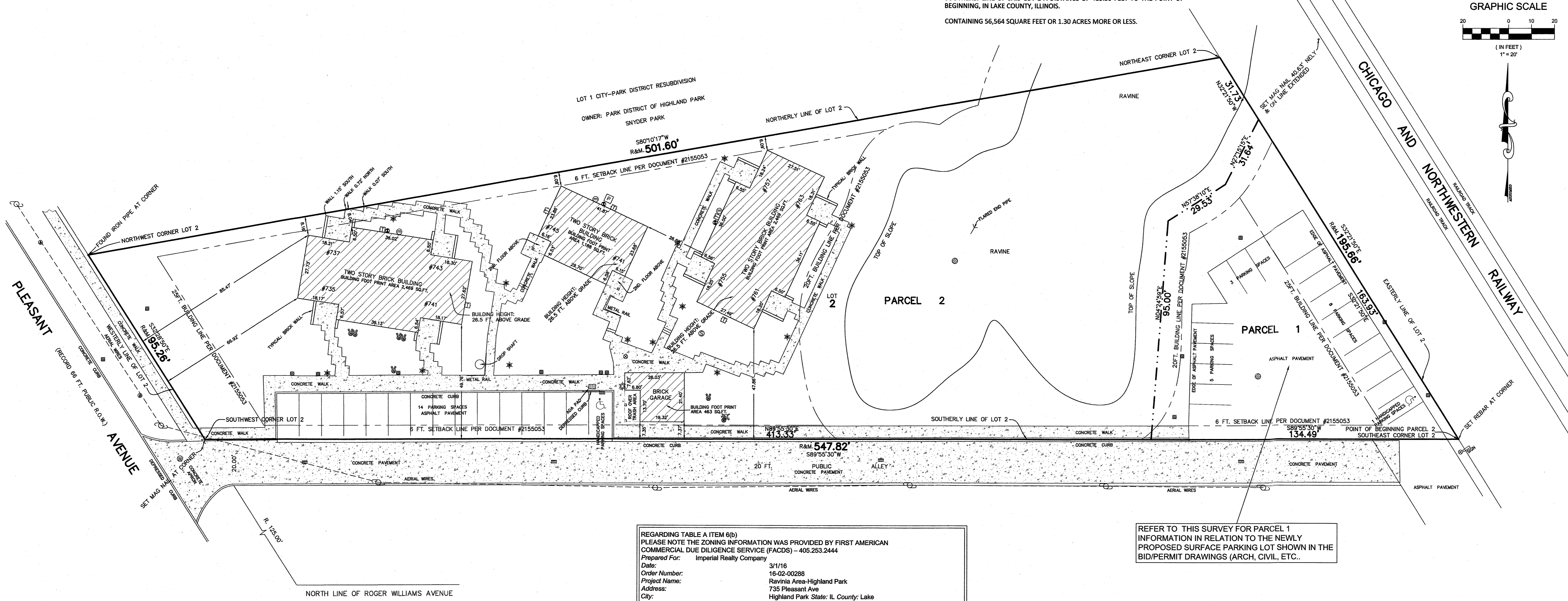
CONTAINING 10,790 SQUARE FEET OR 0.24 ACRES MORE OR LESS.

PARCEL 2
THAT PART OF LOT 2 IN CITY-PARK DISTRICT RESUBDIVISION OF LOTS 37 TO 44, BOTH INCLUSIVE (EXCEPT THE EAST 162 FEET OF SAID LOT 37 AND EXCEPT THE WEST 150 FEET OF SAID LOT 37 AND 38) IN BLOCK 1 IN FIRST ADDITION TO RAVINIA HIGHLANDS, IN THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 43 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND IN THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 43 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED JUNE 27, 1916 AS DOCUMENT NUMBER 165828 IN BOOK "J" OF PLAT, PAGE 73, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 89°55'30" WEST ALONG THE SOUTHERLY LINE THEREOF 134.49 FEET TO THE POINT OF BEGINNING; THENCE NORTH 04°24'59" EAST 95.00 FEET; THENCE NORTH 57°38'10" EAST 29.53 FEET; THENCE NORTH 27°15'15" EAST 31.64 FEET TO THE EASTERLY LINE OF SAID LOT 2; THENCE NORTH 32°21'50" WEST ALONG THE EASTERLY LINE OF SAID LOT 2 A DISTANCE OF 31.73 FEET TO THE NORTHEAST CORNER THEREOF; THENCE SOUTH 80°10'17" WEST ALONG THE NORTHERLY LINE OF SAID LOT 2 A DISTANCE OF 501.60 FEET TO THE NORTH WEST CORNER THEREOF; THENCE SOUTH 32°28'50" EAST ALONG THE WESTERLY LINE OF SAID LOT 2 A DISTANCE OF 95.26 FEET TO THE SOUTHWEST CORNER THEREOF; THENCE NORTH 89°55'30" EAST ALONG THE SOUTHERLY LINE OF SAID LOT 2 A DISTANCE OF 413.33 FEET TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

CONTAINING 56,564 SQUARE FEET OR 1.30 ACRES MORE OR LESS.



VICINITY MAP
(NOT TO SCALE)



REGARDING TABLE A ITEM 6(b)
PLEASE NOTE THE ZONING INFORMATION WAS PROVIDED BY FIRST AMERICAN COMMERCIAL DUE DILIGENCE SERVICE (FACDS) - 405.253.2444
Prepared For: Imperial Realty Company
Date: 3/1/16
Order Number: 16-02-00288
Project Name: Ravinia Area-Highland Park
Address: 735 Pleasant Ave
City: Highland Park State: IL County: Lake
Jurisdiction as of the Date of this Report: City of Highland Park

Zoning District as of the Date of this Report: R6, Medium Density Residential District
The requirements listed in this report are per R6 district as noted in the zoning code attached, unless otherwise noted. Additional research was not conducted for any variances, conditions, or site plan approval for the subject property which may or may not affect the requirements as noted in this report.

REQUIREMENTS	
Minimum Front Setback:	25 ft.
Minimum Side Setbacks:	Total depth of all side yards must be a Minimum of 25% of Lot Width, and in no event shall any side yard be less than 6 feet. 25 ft. or 20% of Lot Depth
Minimum Rear Setback:	30 ft.
Maximum Height:	None
Minimum Lot Area:	50 ft.
Minimum Lot Width:	No requirement noted
Minimum Lot Depth:	No requirement noted
Maximum Gross Floor Area:	Studio: 1.25 spaces per dwelling unit; One bedroom: 1.5 spaces per dwelling unit; Two or more bedrooms: 2 spaces per dwelling unit.
Maximum Coverage:	In addition, Guest Parking shall be required as specified in the Table of Guest Parking Requirements
Parking Requirements:	(See Zoning Code Section 150-VIII attached for additional parking requirements)

REFER TO THIS SURVEY FOR PARCEL 1 INFORMATION IN RELATION TO THE NEWLY PROPOSED SURFACE PARKING LOT SHOWN IN THE BID/PERMIT DRAWINGS (ARCH, CIVIL, ETC..)

SURVEY NOTE:

PREMISES COVERED BY ICE & SNOW MAY OBSCURE ADDITIONAL IMPROVEMENTS.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF, AND IS SUBJECT TO, ALL RESTRICTIONS AND MATTERS APPEARING OF RECORD AS MIGHT BE DISCLOSED BY A CURRENT TITLE COMMITMENT.

PROPERTY APPEARS IN "OTHER AREAS" ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP LAKE COUNTY, ILLINOIS, MAP NO. 17097C02191K, EFFECTIVE DATE SEPTEMBER 18, 2013.

REGARDING TABLE A ITEM 21 PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$2,000,000 TO BE IN EFFECT THROUGHOUT THE CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST.

THE SURVEYOR HAS NOT RESEARCHED THE APPLICABLE ZONING, BUILDING CODES, SETBACKS OR SPECIFIC USES ALLOWED WITHIN THIS ZONING CLASSIFICATION. CONTACT THE CITY OF HIGHLAND PARK.

NOTE ADDED MARCH 26, 2018
REVISED: APRIL 18, 2016 PER ORDER 2016-22357 [RJT]
REVISED: MARCH 4, 2016 ADDED ITEM 6(b) PER ORDER #2016-22174 [RJT]

ORDERED BY: KLAIRMONT INVESTMENTS LLC c/o IMPERIAL REALTY CO. CHECKED: DRW	DATE: FEBRUARY 2, 2016
ADDRESS: GREMLEY & BIEDERMANN A DIVISION OF PLCS CORPORATION LICENSE NO. 184-005332 EXPIRES 4-30-2017 PROFESSIONAL LAND SURVEYORS 4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630 TELEPHONE: (773) 685-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM	SCALE: 1 INCH = 20 FEET

ORDER NO. 2016-21978-001	PAGE NO. 1 OF 1
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© CAD 2016 \2016-21978\2016-21978-001.dwg

SURVEY NOTES:

CITY-PARK DISTRICT RESUBDIVISION WAS RECORDED APRIL 5, 1982 AS DOCUMENT NUMBER 2155053
FIRST ADDITION TO RAVINIA HIGHLANDS WAS RECORDED JUNE 27, 1916 AS DOCUMENT NUMBER 165828
Surveyor's license expires November 30, 2016.

Note R. & M. denotes Record and Measured Distances respectively.

Distances are marked in feet and decimal parts thereof. Compare all points BEFORE building by same and at once report any differences BEFORE damage is done.
For easements, building lines and other restrictions not shown on survey plat refer to your abstract, deed, contract, title policy and local building line regulations.

NO dimensions shall be assumed by scale measurement upon this plat.

Unless otherwise noted hereon the Bearing Basis, Elevation Datum and Coordinate Datum if used is ASSUMED.

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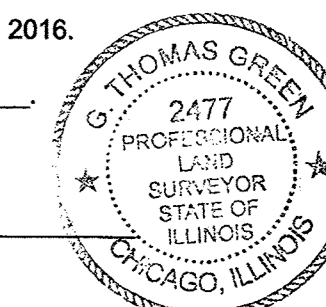
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(b), 7(a), 7(b)(1), 8, 9, 11(a), 12, 13 and 21 of Table A thereof.

The field work was completed on February 2, 2016.

Date of Plat: April 18, 2016

By: *J. Thomas Green*

G. THOMAS GREEN
Professional Illinois Land Surveyor No. 2477

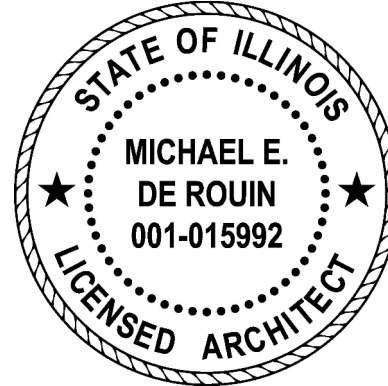


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ENERGY CONSERVATION CODE COMPLIANCE STATEMENT

I CERTIFY THAT I AM THE REGISTERED ENERGY PROFESSIONAL (R.E.P.). I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THE ATTACHED PLANS FOR 515-555 ROGER WILLIAMS AVENUE, HIGHLAND PARK, ILLINOIS FULLY COMPLY WITH THE REQUIREMENTS OF THE STATE OF ILLINOIS ENERGY CONSERVATION CODE AS REQUIRED BY STATE LEGISLATION.

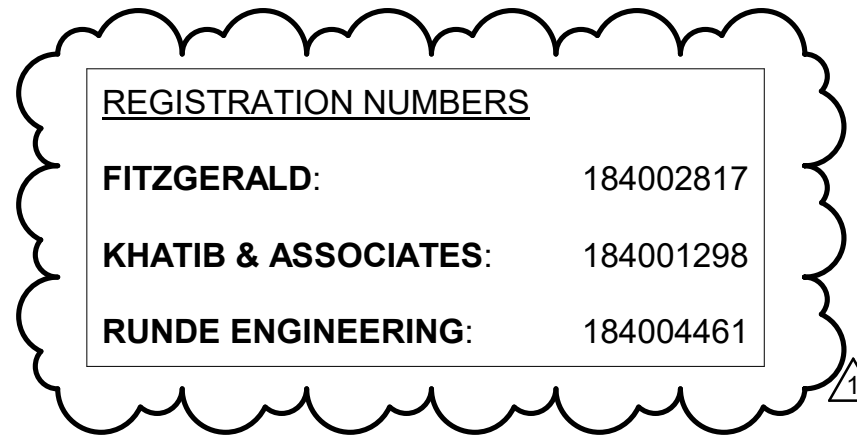
SIGNED: Webbe Rouin
DATE: 3/24/17
ILLINOIS LICENSE NUMBER: 001-015992



ARCHITECT OF RECORD STATEMENT

THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND ARE TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, IN ACCORDANCE WITH THE CITY OF HIGHLAND PARK ADOPTED BUILDING AND FIRE CODES.

SIGNED: Webbe Rouin
DATE: 3/24/17
EXPIRES: 11/30/18



CIVIL ENGINEER OF RECORD STATEMENT

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, COMPLY WITH THE REQUIREMENTS BY THE CITY OF HIGHLAND PARK ADOPTED BUILDING AND FIRE CODES.



MECHANICAL ENGINEER OF RECORD STATEMENT

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, COMPLY WITH THE REQUIREMENTS BY THE CITY OF HIGHLAND PARK ADOPTED BUILDING AND FIRE CODES.



STRUCTURAL ENGINEER OF RECORD STATEMENT

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, COMPLY WITH THE REQUIREMENTS BY THE CITY OF HIGHLAND PARK ADOPTED BUILDING AND FIRE CODES.



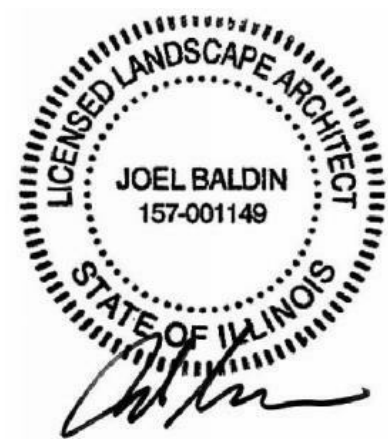
ELECTRICAL ENGINEER OF RECORD STATEMENT

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, COMPLY WITH THE REQUIREMENTS BY THE CITY OF HIGHLAND PARK ADOPTED BUILDING AND FIRE CODES.



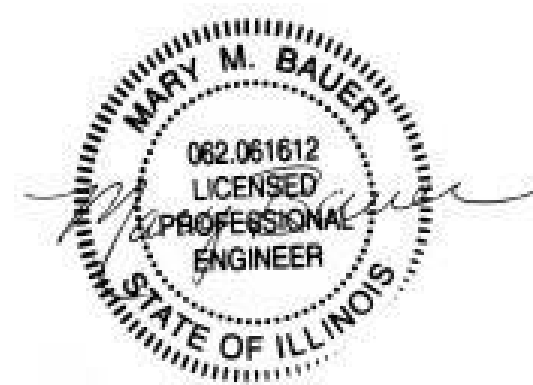
LANDSCAPE ARCHITECT OF RECORD STATEMENT

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, COMPLY WITH THE REQUIREMENTS BY THE CITY OF HIGHLAND PARK ADOPTED BUILDING AND FIRE CODES.



PLUMBING ENGINEER OF RECORD STATEMENT

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, COMPLY WITH THE REQUIREMENTS BY THE CITY OF HIGHLAND PARK ADOPTED BUILDING AND FIRE CODES.



LIST OF DRAWINGS

SHEET #	SHEET NAME	ISSUE FOR PERMIT/ BID 3/24/17	PERMIT CORRECTIONS 01	OWNER REVISIONS
01 COVER				
COVER	COVER SHEET	X	02/01/2018	03/14/2018
02 GENERAL				
G0-01	LIST OF DRAWINGS AND REVISIONS	X	02/01/2018	03/14/2018
G0-02	ABBREVIATIONS, GENERAL NOTES, LEGENDS, AND SUMMARIES	X		
G0-03	CODE MATRIX	X		
G0-04	EXITING SCHEDULES AND LIFE SAFETY DIAGRAMS	X		
G0-05	ACCESSIBILITY NOTES	X		
G0-06	ACCESSIBILITY NOTES	X		
G0-07	ACCESSIBILITY DIAGRAMS	X		
G0-08	ACCESSIBLE UNIT DIAGRAMS	X		
G0-09	ACCESSIBLE KITCHEN AND BATHROOM PLANS AND INTERIOR ELEV.	X		
G0-10	ACCESSIBLE KITCHEN AND BATHROOM PLANS AND INTERIOR ELEV.	X		
G0-11	ACCESSIBLE KITCHEN AND BATHROOM PLANS AND INTERIOR ELEV.	X		
G0-12	ACCESSIBLE KITCHEN AND BATHROOM PLANS AND INTERIOR ELEV.	X		
G0-13	ACCESSIBLE KITCHEN AND BATHROOM PLANS AND INTERIOR ELEV.	X		
03 CIVIL				
C0-00	COVER SHEET	X		
C1-00	SITE DEMOLITION PLAN	X		
C2-00	SITE GEOMETRY PLAN	X		03/14/2018
C3-00	SITE UTILITY PLAN	X		03/14/2018
C4-00	SITE GRADING & PAVING PLAN	X		03/14/2018
C5-00	SITE EROSION CONTROL PLAN	X		03/14/2018
C6-00	SITE DETAILS	X		
C6-01	SITE DETAILS	X		
C6-02	SITE DETAILS	X		
C6-03	SITE DETAILS	X		
04 LANDSCAPE				
L1-0	LANDSCAPE PLAN	X		
L2-0	LANDSCAPE DETAILS	X		
05 ARCHITECTURAL - SITE PLAN				
A0-00	SITE PLAN	X		
07 ARCHITECTURAL				
A1-01	FIRST FLOOR PLAN	X	02/01/2018	
A1-02	SECOND-FOURTH FLOOR PLAN TYPICAL	X	02/01/2018	
A1-03	ROOF PLAN	X		
A1-05	ENLARGED FIRST FLOOR PLAN WEST SIDE	X	02/01/2018	
A1-06	ENLARGED FIRST FLOOR PLAN EAST SIDE	X	02/01/2018	
A1-07	ENLARGED FINISH PLANS	X		
A1-08	ENLARGED SECOND-FOURTH FLOOR PLAN WEST SIDE	X	02/01/2018	
A1-09	ENLARGED SECOND-FOURTH FLOOR PLAN EAST SIDE	X		
A1-10	FIRST FLOOR REFLECTED CEILING PLAN	X		
A1-11	SECOND-FOURTH FLOOR REFLECTED CEILING PLAN	X		
A1-12	ENLARGED LOBBY REFLECTED CEILING PLAN	X		
A2-01	EXTERIOR ELEVATIONS	X	02/01/2018	
A2-02	EXTERIOR ELEVATIONS	X		
A3-01	SCHEMATIC BUILDING SECTIONS	X	02/01/2018	
A3-02	EXTERIOR WALL SECTIONS	X		
A3-03	EXTERIOR WALL SECTIONS	X		
A3-04	EXTERIOR WALL SECTIONS	X	02/01/2018	
A4-01	STAIR PLANS AND SECTIONS	X	02/01/2018	
A4-02	ELEVATOR AND TRASH CHUTE SECTIONS	X	02/01/2018	
A5-01	EXTERIOR DETAILS	X		
A5-02	EXTERIOR DETAILS	X		
A5-03	BALCONY DETAILS	X		
A5-04	MASONRY DETAILS	X		
A5-05	ROOF DETAILS	X		
A5-06	ROOF DETAILS	X		
A5-10	INTERIOR ELEVATIONS	X		
A5-11	INTERIOR SECTIONS, ELEVATIONS, AND DETAILS	X		
A6-01	PARTITION SCHEDULE AND DETAILS	X		
A6-02	DOOR SCHEDULE AND DETAILS	X		
A6-03	WINDOW SCHEDULE AND DETAILS	X		
A6-04	SCHEDULES	X		
A6-05	FLOOR TRANSITION DETAILS	X		
A6-06	SIGNAGE SCHEDULE	X		
A7-00	FIRE SAFING DETAILS		02/01/2018	
A7-01	FIRE SAFING DETAILS		02/01/2018	
08 STRUCTURAL				
S0-01	GENERAL STRUCTURAL NOTES AND LOADING	X		
S0-02	TYPICAL STRUCTURAL DETAILS & DESIGN INFO	X		
S1-01	FIRST LEVEL FOUNDATION PLAN & NOTES	X	02/01/2018	
S1-02	SECOND LEVEL PLAN & NOTES	X		
S1-02A	SECOND LEVEL PC TRANSFER PLAN/LOADS	X		
S1-03	THIRD LEVEL TRUSS PLAN & NOTES	X		
S1-04	FOURTH LEVEL TRUSS PLAN & NOTES	X		
S1-05	ROOF LEVEL TRUSS PLAN & NOTES	X		
S2-01	SHEARWALL PLANS AND NOTES	X		
S2-02	SHEARWALL ELEVATIONS & NOTES	X		
S3-01	FOUNDATION SECTIONS & DETAILS	X		
S3-02	FOUNDATION SECTIONS & DETAILS	X		
S3-03	FOUNDATION SECTIONS & DETAILS	X		
S4-01	PC PLANK AND MASONRY WALL SECTS / DETAILS	X		
S4-02	PC PLANK AND MASONRY WALL SECTS / DETAILS	X		
S4-03	PC PLANK AND COLUMN BRG SECTS / DTL'S	X		
S5-01	TRUSS FRAMING SECTS / DETAILS	X		
S5-02	TRUSS FRAMING SECTS / DETAILS	X		
S6-01	WOOD FRAMING SECTS / DLT'S & NAILING SCHEDULE	X		
S7-01	WALL LINTEL SECTS / DETAILS AND MASONRY INFO	X		
09 FIRE PROTECTION				
FP1-01	FIRST FLOOR PLAN	X	02/01/2018	
FP1-02	SECOND-FOURTH FLOOR PLAN TYPICAL	X		
10 PLUMBING				
P1-00	UNDERGROUND PLUMBING PLAN	X	02/01/2018	03/14/2018
P1-01	FIRST FLOOR PLAN	X	02/01/2018	
P1-02	SECOND-FOURTH FLOOR PLAN TYPICAL	X		
P1-03	ROOF PLAN	X		
P2-00	RISER DIAGRAMS, SCHEDULES & NOTES	X	02/01/2018	
11 MECHANICAL				
M1-01	FIRST FLOOR PLAN	X	02/01/2018	03/14/2018
M1-02A	PARTIAL PLAN WEST SECOND-FOURTH FLOOR PLAN TYPICAL	X	02/01/2018	03/14/2018
M1-02B	PARTIAL PLAN EAST SECOND-FOURTH FLOOR PLAN TYPICAL	X	02/01/2018	03/14/2018
M1-03	ROOF PLAN	X	02/01/2018	03/14/2018
M2-00	SCHEDULES AND NOTES	X	02/01/2018	
12 ELECTRICAL				
E0-00	ELECTRICAL SYMBOLS AND NOTES	X	02/01/2018	
E1-00	ELECTRICAL SITE AND NOTES	X		
E1-01A	PARTIAL PLAN WEST FIRST FLOOR PLAN TYPICAL	X	02/01/2018	
E1-01B	PARTIAL PLAN EAST FIRST FLOOR PLAN TYPICAL	X	02/01/2018	
E1-02A	PARTIAL PLAN WEST SECOND-FOURTH FLOOR PLAN TYPICAL	X	02/01/2018	
E1-02B	PARTIAL PLAN EAST SECOND-FOURTH FLOOR PLAN TYPICAL	X	02/01/2018	
E1-03A	PARTIAL PLAN WEST ROOF PLAN TYPICAL	X	02/01/2018	
E1-03B	PARTIAL PLAN EAST ROOF PLAN TYPICAL	X	02/01/2018	
E6-00	ELECTRICAL SINGLE LINE DIAGRAM	X	02/01/2018	
E6-01	ELECTRICAL LOAD CALCULATIONS	X		
E7-00	ELECTRICAL PANEL SCHEDULES	X	02/01/2018	
E7-01	ELECTRICAL EQUIPMENT CONNECTION SCHEDULE	X	02/01/2018	
E9-00	COMMUNICATION DETAILS AND NOTES	X		

FitzGerald
Associates Architects
912 W. Lake St. Chicago, Illinois
t 312-563-9100 f 312-563-1919
www.fitzgeraldassociates.net

CONSULTANT:

11144

Ravinia

515-555 Roger Williams Avenue Highland Park, IL 60035

CLIENT:
Imperial Realty Co.

4747 W. Peterson Ave. Suite 200 Chicago, IL 60646

2 Owner Revisions 03/14/18
1 Permit Corrections 01 02/01/18
Issue for Permit / Bid 03/24/17
Issue for Design Development 11/12/14

DESCRIPTION DATE



LIST OF DRAWINGS AND REVISIONS

G0-01

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LIST OF ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	LV	LOW VOLTAGE
A/C	AIR CONDITIONER	M.O.	MASONRY OPENING
ACP	ACOUSTICAL CEILING PANEL	M/C	MEDICINE CABINET
AD	AREA DRAIN	MAS'Y	MASONRY
ALT.	ALTERNATE	MAX	MAXIMUM
ALUM	ALUMINUM	MECH	MECHANICAL
B/	BOTTOM OF	MFR	MANUFACTURER(S)
BD	BOARD	MICRO	MICROWAVE
BLDG	BUILDING	MIN	MINIMUM
BSMT	BASEMENT	MISC	MISCELLANEOUS
C.T.	CERAMIC TILE	MTL	METAL
CAB	CABINET	NIC	NOT IN CONTRACT
CFM	CUBIC FEET PER MINUTE	NO.	NUMBER
CL	CENTER LINE	NOM	NOMINAL
CLG	CEILING	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	O.C.	ON CENTER
CO	CO DETECTOR	OI	ORNAMENTAL IRON
CONC	CONCRETE	OSD	OPEN SITE DRAIN
CPT	CARPET	P	PANTRY
D.	DEEP	PL	PLATE
DEMG	DEMISING	PLAM	PLASTIC LAMINATE
DIA	DIAMETER	PT	PAINT
DL	DEAD LOAD	QT	QUARRY TILE
DN	DOWN	R	RADIUS
DS	DOWNSPOUT	R.O.	ROUGH OPENING
DW	DISHWASHER	REF	REFRIGERATOR
EL	ELEVATION	REQ'D	REQUIRED
ELEC	ELECTRICAL(A)	REV	REVISION
ELEV	ELEVATOR	RNG	RANGE
EQ	EQUAL	S&R	SHELF & ROD
EXSTG	EXISTING	S.F.	SQUARE FEET
FD	FLOOR DRAIN	SC	SOLID CORE
FND	FOUNDATION	SD	SMOKE DETECTOR
FP	FIRE PLACE	SH	SHELF
FPHB	FROST PROOF HOSE BIB	SS	STAINLESS STEEL
FRTW	FIRERETARDANT TREATED WOOD	STD	STANDARD
FURN	FURNACE	STL	STEEL
GA	GAUGE	T&G	TONGUE & GROOVE
GD	GARBAGE DISPOSAL	T/	TOP OF
GFI	GROUND FAULT INTERRUPTER	THK	THICK(NESS)
GYP BD	GYPSSUM BOARD	TYP.	TYPICAL
H.P.	HIGH POINT	U.N.O.	UNLESS NOTED OTHERWISE
HC	HOLLOW CORE	V.I.F.	VERIFY IN FIELD
HM	HOLLOW METAL	VERT.	VERTICAL
HORZ	HORIZONTAL	VT	VINYL TILE
HT	HEIGHT	VWL	VINYL WOOD LAMINATE
INCL	INCLUDE(D) (ING)	W	WIDE
INSUL	INSULATION	W.I.C.	WALK IN CLOSET
JT	JOINT	WD	WASHER / DRYER
K.S.	KITCHEN SINK	WC	WATER CLOSET
L	LINEN CLOSET	WD	WOOD
L.P.	LOW POINT	WH	WATER HEATER
LAM	LAMINATE	WP	WATER PROOF
LAV	LAVATORY	WWF	WELDED WIRE FABRIC
LL	LIVE LOAD		

GENERAL NOTES

- INCLUDED AS PART OF THESE DOCUMENTS IS THE "GENERAL CONDITIONS FOR CONSTRUCTION", AIA DOCUMENT A-201, ARTICLE 1 THRU 14 INCLUSIVE.
- GENERAL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH ALL CITY OF HIGHLAND PARK, STATE AND NATIONAL CODES AND ORDINANCES.
- MAINTAIN THROUGHOUT THE CONSTRUCTION PERIOD, A CERTIFICATE OF INSURANCE FOR ALL LIABILITIES, WITH A HOLD HARMLESS CLAUSE, PROTECTING THE OWNER AND ARCHITECT.
- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS, POLICIES AND PROCEDURES OF THE OWNER.
- ALL WORK SHALL BE OF THE HIGHEST QUALITY FOLLOWING THE CONTRACT DOCUMENTS, PROJECT SPECIFICATIONS AND RECOMMENDATIONS, AND THE BEST ACCEPTED TRADE PRACTICES AND STANDARDS.
- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, DIMENSIONS, MAJOR ELEMENTS AND MATERIALS. THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL COMPLETION OF THE PROJECT. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTOR SHALL FURNISH ALL OF THOSE ITEMS AND LABOR REQUIRED FOR THE FULL COMPLETION OF THIS PROJECT. ACCEPTANCE BY THE OWNER SHALL BE CONDITIONS OF THE CONTRACT.
- THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS CONTRARY TO THE CONSTRUCTION DOCUMENTS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS FROM DAMAGE DUE TO THE CONSTRUCTION OPERATION, AND REPAIR OR REPLACE ANY ELEMENTS DAMAGED DURING THE PROJECT.
- DRAWINGS AND SPECIFICATIONS ARE TO BE ISSUED TO THE SUBCONTRACTORS IN COMPLETE SETS SO THAT THE FULL EXTENT OF WORK IS SHOWN AND COORDINATION OF WORK IS MADE POSSIBLE.
- THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL INCOMING UTILITIES.

DRAWINGS

- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS SHALL GOVERN. THESE DRAWINGS MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN.
- THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL PARTITION LAYOUTS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH ANY FRAMING.
- THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTION OF ANY WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
- DETAILS SHOWN ARE INDICATIVE OF PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK.
- DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE SHOWN, WHERE SPECIFIC DETAILS, DIMENSIONS OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- NOTES AND REFERENCES RELATIVE TO DIFFERENT CONSTRUCTION MATERIALS, DETAILS, ASSEMBLIES AND SYSTEMS APPEAR ON VARIOUS SHEETS. SUCH NOTES AND REFERENCES ON ANY ONE SHEET ARE APPLICABLE TO RELATED DRAWINGS THROUGHOUT THE DRAWING SET.
- DIMENSIONS OF STAIRS AND SHAFTS ARE CLEAR INSIDE PLAN OPENINGS UNLESS NOTED OTHERWISE.
- SEE ROOM FINISH SCHEDULE FOR MATERIAL FINISHES APPLIED TO SCHEDULED PARTITIONS.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD CONSTRUCTION SUCH THAT FURRING RUNS DO NOT EXCEED 30'-0" IN EITHER DIRECTION WITHOUT PERIMETER RELIEF.
- COORDINATE PLACEMENT OF ALL CEILING ELEMENTS, INCLUDING BUT NOT LIMITED TO ELEMENTS OF FIRE PROTECTION, MECHANICAL AND ELECTRICAL SYSTEMS.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT MOLECULAR BREAKDOWN.

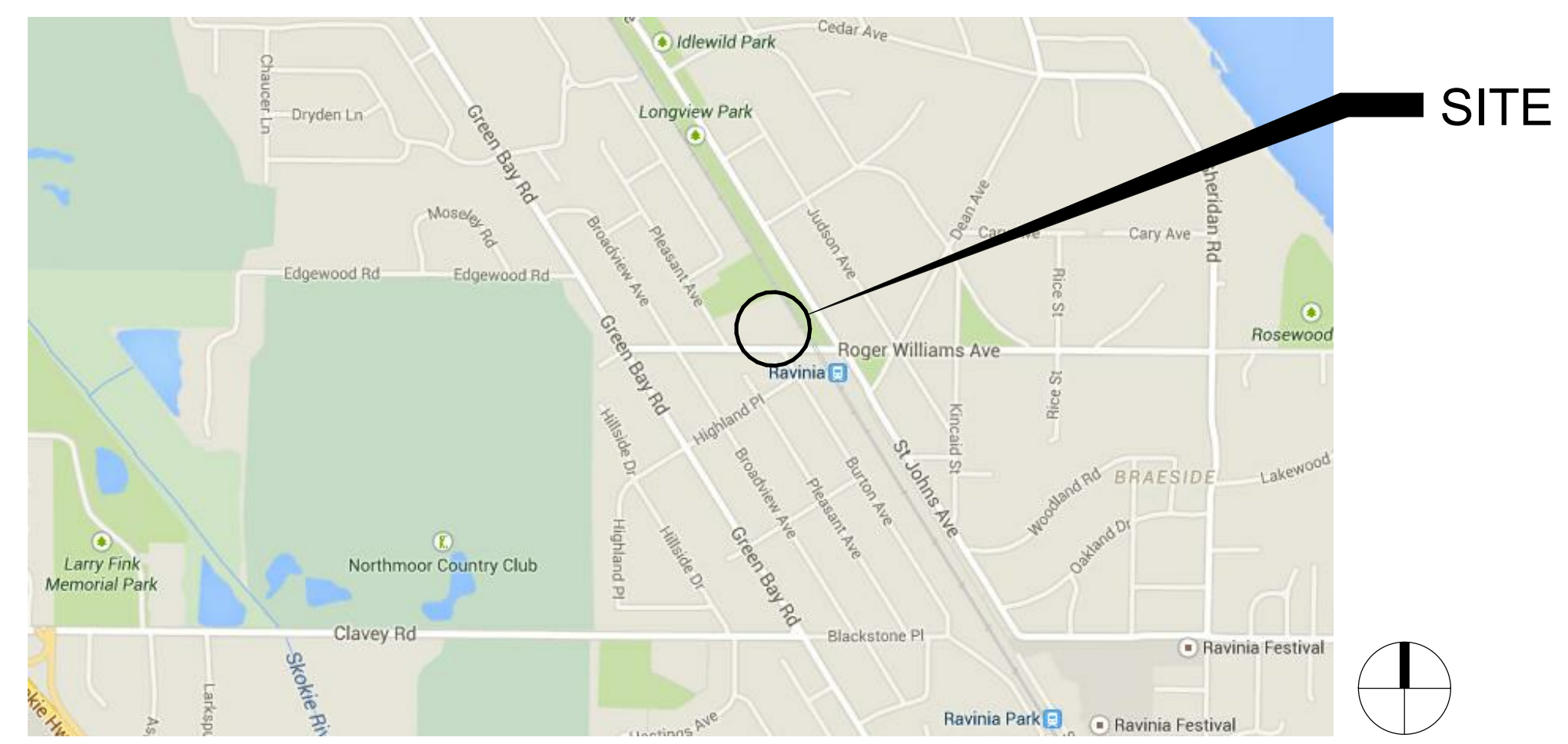
COORDINATION

- REFER TO ALL DRAWINGS AND SPECIFICATIONS FOR FULL COODINATION OF WORK.
- REFER TO SITE SURVEY FOR SITE INFORMATION. CONTRACTOR TO VERIFY ALL INFORMATION.
- THE GENERAL CONTRACTOR SHALL COORDINATE ADDITIONAL SUPPORT OR CONCEALED BLOCKING FOR INSTALLATION OF HANDRAILS, MILLWORK, WALL PANELS, WINDOW TREATMENTS, GRAB BARS AND ALL OTHER SURFACE MOUNTED COMPONENTS.
- REFER TO MEP/FP DRAWINGS FOR EXTENT OF CONCRETE EQUIPMENT PADS. THE CONTRACTOR SHALL COORDINATE THE SIZE AND LOCATION OF THE CONCRETE PADS WITH THE EQUIPMENT INSTALLER.
- THE GENERAL CONTRACTOR'S SUBCONTRACTORS SHALL COMPLETELY HOOK-UP AND CONNECT ALL EQUIPMENT AND FURNISH ALL NECESSARY APPENDAGES. THE COMPLETED SYSTEMS SHALL BE FULLY OPERATIONAL.
- THE PREMISES SHALL BE KEPT IN A BROOM SWEEP FINISH CONDITION DURING ALL PHASES OF THE CONSTRUCTION. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR CLEANING UP AND DISPOSING OF THEIR LITTER AND LEFT OVER MATERIALS ON A REGULAR BASIS AND LEAVE THE PROJECT IN A BROOM FINISH CONDITION UPON COMPLETION OF THEIR PORTION OF THIS PROJECT.
- ALL WORK SHALL BE COORDINATED WITH ALL OTHER TRADES IN ORDER TO AVOID INTERFERENCES. PRESERVE MAXIMUM HEAD ROOM AND AVOID OMISSIONS.
- THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND BARRICADES AROUND THE ENTIRE SITE AS REQUIRED BY THE VILLAGE OF GLENVIEW TO BE PROTECTED AND AT ANY OPENINGS THAT MIGHT PRESENT A HAZARD.
- ALL SUBSTITUTED EQUIPMENT, MATERIALS OR PRODUCTS WILL REQUIRE THE CONTRACTORS RESPONSIBLE FOR THESE INSTALLATIONS TO FULLY COORDINATE WITH ALL RELATED CONTRACTORS RESPECTIVE TO REQUIRED DIMENSIONS, CLEARANCES, MEP CONNECTIONS, ETC. REQUIRED FOR A FULLY FUNCTIONAL INSTALLATION. SUBSTITUTING CONTRACTOR IS RESPONSIBLE FOR ALL ADDITIONAL RELATED COST ASSOCIATED WITH THE SUBSTITUTION. THIS INCLUDES RELATED CONTRACTORS COSTS OR ALTERATION COSTS TO ADAPT ANOTHERS INSTALLED WORK.
- PRODUCT / SYSTEM SUBMITTALS AND COORDINATION SHOP DRAWING SUBMITTALS NOT SUBSTITUTED IN A TIMELY MANNER TO ALLOW ALL RELATED WORK TO BE INSTALLED TO ALLOW SUCH PRODUCT / SYSTEMS PROPER INSTALLATION WILL BE THE CONTRACTOR'S RESPONSIBILITY FOR ALL COSTS, CHANGES OR ALTERATIONS NECESSARY FOR PROPER INSTALLATION.
- PROPOSED CHANGES TO ANY CONSTRUCTION MATERIALS, DETAILS, ASSEMBLIES AND SYSTEMS, ETC. SHALL BE REVIEWED AND FOUND ACCEPTABLE BY THE ARCHITECT.

CODES AND STANDARDS

- THE ELECTRICAL CONTRACTOR SHALL INSTALL SMOKE & CARBON MONOXIDE DETECTORS AS SHOWN ON THE PROJECT DRAWINGS, WITHIN 15'-0" OF ALL BEDROOMS AND AS REQUIRED BY CODE.
- INTERIOR FINISHES SHALL NOT EXCEED CLASS 1, 0-25 FLAMESPREAD, 200 SMOKE.
- ALL WINDOW GLASS, MIRRORS, FLOORS AND WALL TILE SHALL BE CLEANED AND WASHED UPON COMPLETION OF THE PROJECT BY THE GENERAL CONTRACTOR.
- PROVIDE 1" MIN. CLEARANCE BETWEEN 'B' LABEL FLUES AND ANY COMBUSTIBLE MAT'L PROVIDED THAT THE FIRST 3'-0" ABOVE THE FURNACE HAS 3" CLEARANCE.
- ALL DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO BE READILY OPENED WITHOUT USE OF A KEY FROM THE SIDE FROM WHICH EGRESS IS MADE.
- ALL GLAZED DOORS, ALL SKYLIGHTS AND ALL GLAZED PANELS MORE THAN 18" IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR WHERE THE SILL OF THE GLAZED PANEL IS LESS THAN 24" ABOVE THE FLOOR SHALL BE GLAZED WITH SAFETY GLAZING MATERIALS. NO WINDOW SILLS SHALL HAVE A SILL HEIGHT OF LESS THAN 2'-0" ABOVE THE FLOOR UNLESS NOTED OTHERWISE.
- ALL OPENINGS, IN FIRE RATED, FLOORS AND WALLS INCLUDING SPACES BETWEEN DUCTS, PIPES, CONDUIT, ETC. SHALL BE CLOSED OFF BY AN APPROVED FIRE SAFING MATERIAL TO MAINTAIN FIRE RATING CONTINUITY OF THE FIRE RATED FLOOR AND WALL CONSTRUCTION. ALL OPENINGS AND PENETRATIONS SHALL BE SEALED TO PREVENT THE PASSAGE OF SMOKE AND FLAMES IN FIRE RATED ASSEMBLIES.
- ALL JOINTS OF ANY CONSTRUCTION ASSEMBLY REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED TESTED ASSEMBLY AND SHALL PREVENT THE PASSAGE OF SMOKE AND FLAME.
- FLAME SPREAD RATING AND SMOKE DEVELOPED CLASSIFICATION OF INSTALLED MATERIALS SHALL CONFORM TO ALL APPLICABLE CODES.
- ALL DEMISING WALLS AND INTERIOR PARTITIONS SHALL EXTEND TO THE UNDERSIDE OF THE FIRE RESISTANCE RATED CEILING/FLOOR, OR CEILING/ROOF ASSEMBLY, ABOVE UNLESS NOTED OTHERWISE.
- PROVIDE FOR VERTICAL MOVEMENT AT HEAD OF ALL CONCRETE MASONRY AND GYPSUM BOARD CONSTRUCTION WALLS. FOR METAL STUD FRAMING, CONNECT THE HEAD TRACK TO UNDERSIDE OF STRUCTURE. CUT STUDS TO ALLOW FOR VERTICAL MOVEMENT AND DO NOT FASTEN TO TRACK. FASTEN GYPSUM BOARD TO STUDS ONLY.
- PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AND FOR ACCESS TO OPERABLE PARTS OF SYSTEMS CONCEALED BY FIXED CONSTRUCTION. SUBMIT SHOP DRAWINGS SHOWING LOCATIONS OF ALL ACCESS PANELS FOR ARCHITECT'S REVIEW PRIOR TO INSTALLATION.
- PROVIDE LATERAL BRACING TO STRUCTURE ABOVE FINISHED CEILING FOR PARTITIONS EXCEEDING UNSUPPORTED HEIGHTS INDICATED ON PARTITION SCHEDULE.
- PROVIDE SOUND ATTENUATION BLANKETS AS INDICATED.
- PROVIDE CONTINUOUS GYPSUM BOARD CANTS IN ELEVATOR SHAFTS WHERE HORIZONTAL SURFACES PROJECT INTO SHAFTS MORE THAN 2 INCHES.

SITE LOCATION MAP



SYMBOL LEGEND

	DETAIL SHEET NUMBER		WINDOW MARK - SEE WINDOW SCHEDULE
	LARGE SCALE DETAIL		DOOR MARK - SEE DOOR SCHEDULE
	ELEVATION MARKER		ROOM NUMBER
	SECTION SHEET NUMBER		KEYNOTE
	PARTITION TYPE - SEE PARTITION SCHEDULE		UNIT/ROOM NUMBER
	REVISION		DOOR NUMBER

MATERIAL LEGEND

	EARTHWORK		STONE
	GRAVEL		STEEL
	CONCRETE		WOOD
	BRICK		RIGID INSULATION
	CLAY TILE		SPRAY INSULATION
	TERRA COTTA		BATT INSULATION
	CONCRETE MASONRY		GYPSUM BOARD
	GLAZED BLOCK		ACOUSTIC SOUND MAT

BUILDING AREA SUMMARY

Level	Height	Gross Areas		Net Areas - Allowable (FAR)				Net Areas - Not Allowable (FAR)	
		Gross Area	Dwelling	Retail	Circulation	Mechanical	Amenity	Parking	Balcony
04 FOURTH FLOOR T/O GYP TOPPING	10' - 8"	11404 SF	9943 SF	0 SF	1154 SF	26 SF	0 SF	0 SF	281 SF
03 THIRD LEVEL T/O GYP TOPPING	10' - 8"	11404 SF	9943 SF	0 SF	1154 SF	26 SF	0 SF	0 SF	281 SF
02 SECOND FLOOR T/O TOPPING	10' - 8"	11404 SF	9943 SF	0 SF	1154 SF	26 SF	0 SF	0 SF	281 SF
01 FIRST LEVEL T/O SLAB	15' - 4"	11016 SF	0 SF	5481 SF	441 SF	806 SF	842 SF	3445 SF	0 SF
Grand total		45229 SF	29829 SF	5481 SF	3904 SF	885 SF	842 SF	3445 SF	843 SF

UNIT AREA SUMMARY

ROOM NUMBER	ROOM NAME	RENTABLE AREA	QTY
02 SECOND LEVEL - 04 FOURTH LEVEL			
X01	UNIT 01	757 SF	3
X02	UNIT 02	670 SF	3
X03	UNIT 03	1129 SF	3
X04	UNIT 04	1142 SF	3
X05	UNIT 05	1150 SF	3
X06	UNIT 06	1197 SF	3
X07	UNIT 07	857 SF	3
X08	UNIT 08	1142 SF	3
X09	UNIT 09	1110 SF	3
X10	UNIT 10	749 SF	3
02 SECOND LEVEL - 04 FOURTH LEVEL			
		9904 SF	

ACCESSIBLE UNIT SUMMARY

2ND-4TH FLOOR	ACCESSIBLE UNIT SCHEDULE	
	1 - BEDROOM	2 - BEDROOM
TYPE 'A' UNITS (20% OF TOTAL)	307, 407	203, 208, 308, 403
TYPE 'B' UNITS	ALL REMAINING UNITS 201, 202, 207, 210, 301, 302, 310, 401, 402, 410	ALL REMAINING UNITS 204, 205, 206, 209, 303, 304, 305, 306, 309, 404, 405, 406, 408, 409

LIST OF APPLICABLE CODES

- 2009 INTERNATIONAL BUILDING CODE - PLUS H.P. AMENDMENTS
- 2009 INTERNATIONAL RESIDENTIAL CODE - PLUS H.P. AMENDMENTS
- 2009 INTERNATIONAL MECHANICAL CODE - PLUS H.P. AMENDMENTS
- 2009 INTERNATIONAL FUEL GAS CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 2014 ILLINOIS STATE PLUMBING CODE
- 2005 NATIONAL ELECTRIC CODE
- 2009 INTERNATIONAL PROPERTY MAINTENANCE CODE - PLUS H.P. AMENDMENTS
- 1997 ILLINOIS ACCESSIBILITY CODE
- 2009 INTERNATIONAL FIRE CODE - PLUS H.P. AMENDMENTS
- 2009 NFPA 1 - NATIONAL FIRE CODE
- 2010 NFPA 13, 13D & 13R - FIRE SPRINKLER CODE
- 2011 NFPA 25 - STANDARDS FOR INSPECTION, TESTING, AND MAINTENANCE OF WATER-BASED FIRE PROTECTION SYSTEMS
- 2010 NFPA 72 EDITION - NATIONAL FIRE ALARM CODE
- 2010 AMERICANS WITH DISABILITIES ACT
- FAIR HOUSING ACT

FitzGerald
Associates Architects
912 W. Lake St. Chicago, Illinois
t 312-563-9100 f 312-563-1919
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CONSULTANT:

11144

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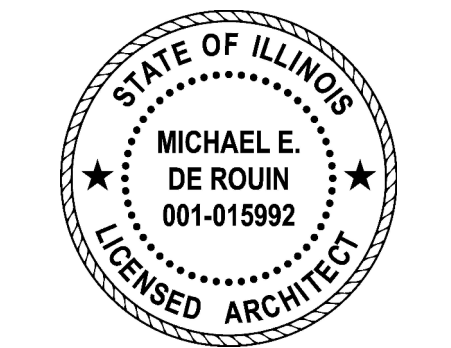
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ABBREVIATIONS,
GENERAL
NOTES,
LEGENDS, AND
SUMMARIES

G0-02

CODE MATRIX - INTERNATIONAL BUILDING CODE 2009

Table with columns: SECTION, DESCRIPTION, CODE REQUIREMENT 1, PROVIDED 1, CODE REQUIREMENT 2, PROVIDED 2, NOTES. Rows include occupancy groups (303, 309, 310, 311.3), fire resistance ratings (601, 602, 705.8, 709), and egress requirements (1003, 1009, 1014, 1015).

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CONSULTANT:

11144 Ravinia

515-555 Roger Williams Avenue Highland Park, IL 60035

Imperial Realty Co.

4747 W. Peterson Ave. Suite 200 Chicago, IL 60646

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CODE MATRIX

G0-03

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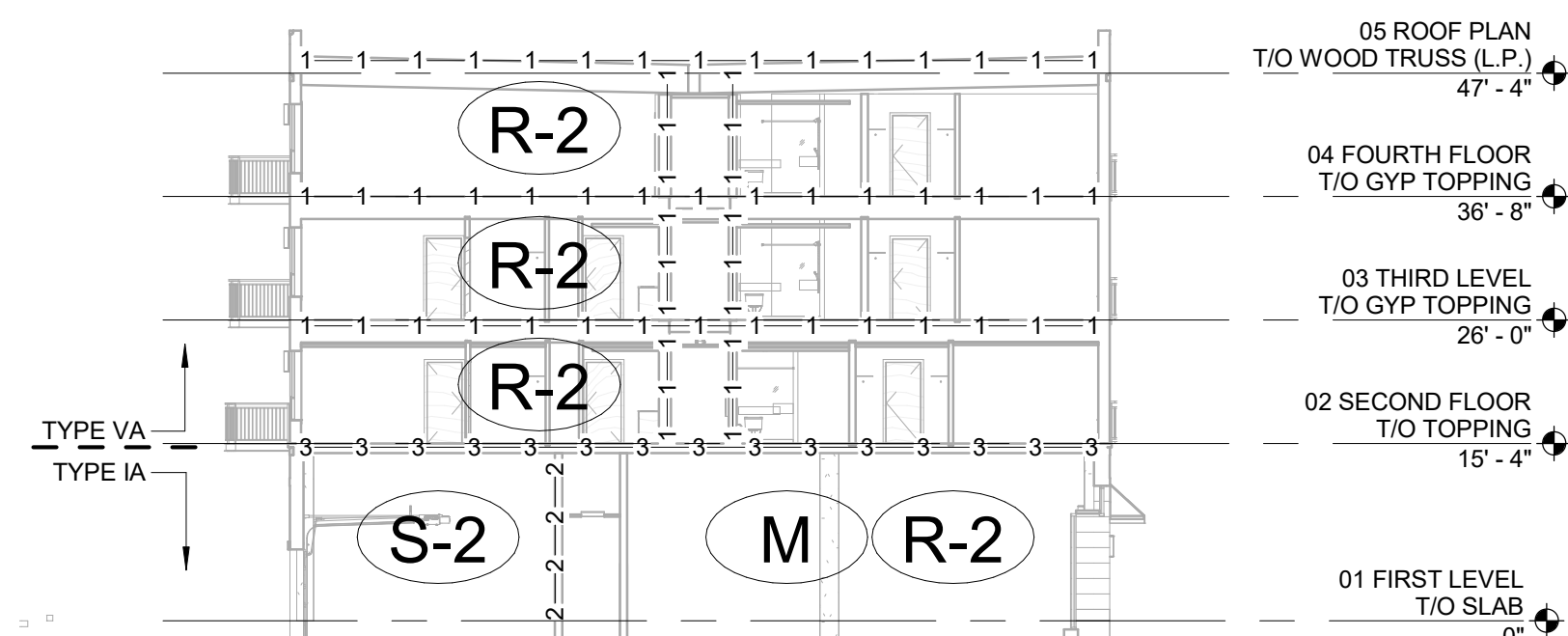
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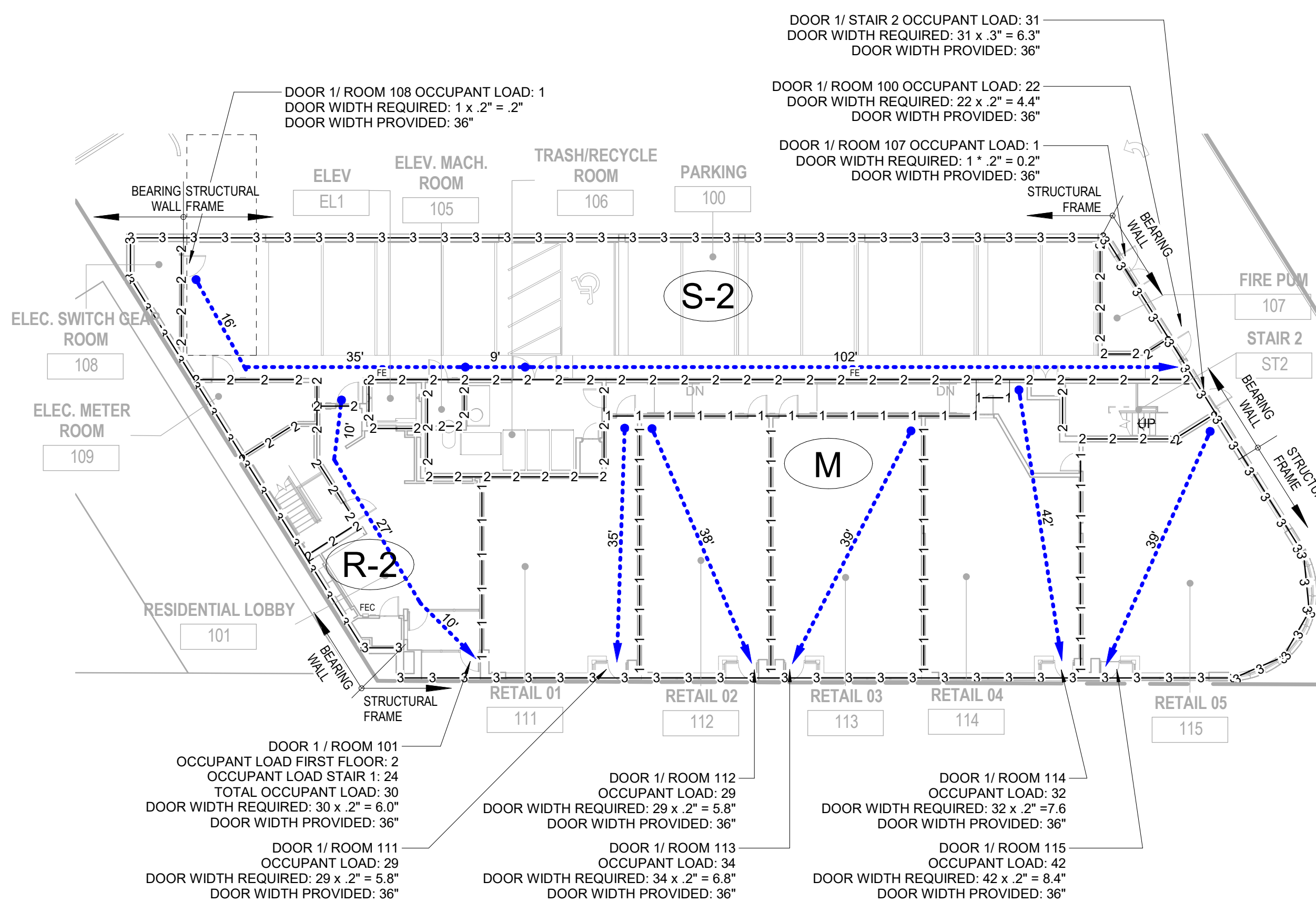
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A1 LIFE SAFETY BUILDING SECTION
1/16" = 1'-0"

B2 LIFE SAFETY- 02 SECOND FLOOR - 04 FLOURTH FLOOR
1/16" = 1'-0"



A2 LIFE SAFETY- 01 FIRST FLOOR
1/16" = 1'-0"

LIFE SAFETY LEGEND

- 1-1-1-1 1 HOUR FIRE SEPARATION
- 2-2-2-2 2 HOUR FIRE SEPARATION
- 3-3-3-3 3 HOUR FIRE SEPARATION
- 15' PATH OF EGRESS
- FE FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER CABINET
- X LETTER INDICATES OCCUPANCY TYPE

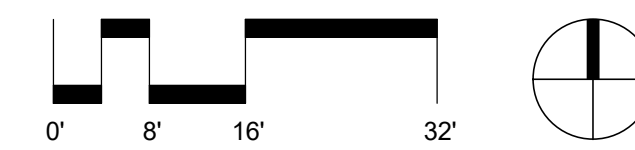
02 LEVEL-04 LEVEL EXIT CAPACITY...

Number	Occupancy	Floor Area per Occupant	Gross Area	Occupant Load
DOOR 1/ STAIR 1				
X10	RESIDENTIAL	200 SF	749 SF	4
X09	RESIDENTIAL	200 SF	1110 SF	6
X02	RESIDENTIAL	200 SF	670 SF	4
X01	RESIDENTIAL	200 SF	757 SF	4
X03	RESIDENTIAL	200 SF	1129 SF	6
			4415 SF	24

Number	Occupancy	Floor Area per Occupant	Gross Area	Occupant Load
DOOR 1/ STAIR 2				
X08	RESIDENTIAL	200 SF	1142 SF	6
X07	RESIDENTIAL	200 SF	857 SF	5
X06	RESIDENTIAL	200 SF	1197 SF	6
X05	RESIDENTIAL	200 SF	1150 SF	6
X11	RESIDENTIAL	200 SF	714 SF	4
X04	RESIDENTIAL	200 SF	1142 SF	6
			6203 SF	33

01 LEVEL EXIT CAPACITY SCHEDULE

Number	Name	Occupancy	Floor Area per Occupant	Gross Area	Occupant Load
DOOR 1/ ROOM 100					
105	ELEV. MACH. ROOM	MECHANICAL	300 SF	43 SF	1
106	TRASH/RECYCLE ROOM	MECHANICAL	300 SF	347 SF	2
109	ELEC. METER ROOM	MECHANICAL	300 SF	166 SF	1
100	PARKING	PARKING	200 SF	3444 SF	18
				4000 SF	22
DOOR 1/ ROOM 101					
101	RESIDENTIAL LOBBY	RESIDENTIAL	200 SF	620 SF	4
101A	VESTIBULE	RESIDENTIAL	200 SF	79 SF	1
101B	PACKAGE	RESIDENTIAL	200 SF	34 SF	1
				733 SF	6
DOOR 1/ ROOM 107					
107	FIRE PUM	MECHANICAL	300 SF	128 SF	1
				128 SF	1
DOOR 1/ ROOM 108					
108	ELEC. SWITCH GEAR ROOM	MECHANICAL	300 SF	126 SF	1
				126 SF	1
DOOR 1/ ROOM 111					
111	RETAIL 01	RETAIL 01	30 SF	851 SF	29
				851 SF	29
DOOR 1/ ROOM 112					
112	RETAIL 02	RETAIL 02	30 SF	854 SF	29
				854 SF	29
DOOR 1/ ROOM 113					
113	RETAIL 03	RETAIL 03	30 SF	998 SF	34
116	TRASH CORRIDOR	MECHANICAL	300 SF	458 SF	2
				1456 SF	36
DOOR 1/ ROOM 114					
114	RETAIL 04	RETAIL 04	30 SF	933 SF	32
				933 SF	32
DOOR 1/ ROOM 115					
115	RETAIL 05	RETAIL 05	30 SF	1239 SF	42
				1239 SF	42



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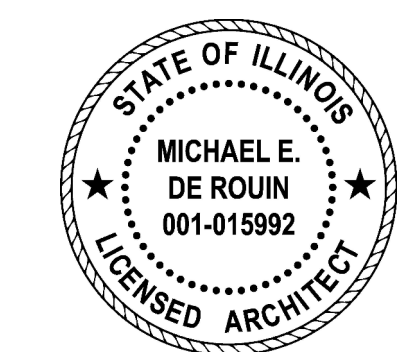
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EXITING SCHEDULES AND LIFE SAFETY DIAGRAM

G0-04

GENERAL ACCESSIBILITY NOTES

ACCESSIBLE ROUTES

- 1) ALL COMMON USE AND PUBLIC SPACES WITHIN THE BUILDING SHALL BE ACCESSIBLE.
- 2) A MINIMUM OF ONE ACCESSIBLE ROUTE SHALL CONNECT ALL ACCESSIBLE ENTRANCES WITH PORTIONS OF THE BUILDING THAT ARE ACCESSIBLE.
- 3) A MINIMUM OF ONE ACCESSIBLE ROUTE SHALL BE PROVIDED FROM THE PUBLIC SIDEWALK, PARKING, AND PUBLIC TRANSPORTATION FACILITIES TO AND THROUGH THE ACCESSIBLE SPACES WITHIN THE BUILDING.
- 4) ALL ACCESSIBLE ROUTES SHALL BE STABLE, FIRM, AND SLIP RESISTANT.
- 5) THERE SHALL BE NO OPENINGS GREATER THAN 1/2". GRATES OR SIMILAR OPENINGS SHALL BE LOCATED SO THAT THE LONG DIMENSION OF THE OPENING IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.
- 6) SIDEWALKS ALONG THE ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM SLOPE OF 1:20 AND A MAXIMUM CROSS SLOPE OF 1:50
- 7) CHANGES IN LEVEL ALONG THE ACCESSIBLE ROUTE SHALL BE 1/2" VERTICAL MAXIMUM OR 1/2" VERTICAL MAXIMUM WITH A 1:2 MAXIMUM BEVEL.
- 8) AN ACCESSIBLE ROUTE OF 36" WIDE OR 32" WIDE FOR A MAXIMUM LENGTH OF 24" SHALL BE PROVIDED TO CONNECT ALL ACCESSIBLE SPACES.
- 9) AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH OF LESS THAN 60" MUST PROVIDE FOR PASSING SPACES AT INTERVALS OF 200 FEET MAXIMUM.
- 10) OBJECTS PROTRUDING FROM THE WALL CANNOT BE GREATER THAN 4" FROM THE WALL AND MUST BE MOUNTED BETWEEN 27" - 80" A.F.F. IF AN OBJECT PROTRUDES MORE THAN 4", IT MUST BE MOUNTED ABOVE 80" A.F.F.
- 11) OBJECTS MOUNTED TO A POST MAY OVERHANG THE ACCESSIBLE ROUTE 12" AND MUST BE MOUNTED BETWEEN 27" - 80" A.F.F.

ACCESSIBLE PARKING

- 1) PARKING SPACES AND ACCESS AISLES SHALL HAVE A MAXIMUM SLOPE OF 1:48; IF GOVERNMENT FUNDING IS PROVIDED, THE SLOPE SHALL BE A MAXIMUM OF 1:50.
- 2) ACCESSIBLE PARKING SPACES SHALL HAVE A SIGN WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY INDICATING A "\$250.00 FINE". IT SHALL BE MOUNTED ON A POST OR WALL WITH THE BOTTOM EDGE 60" A.F.F., WITHIN 60" OF THE FRONT OF THE PARKING SPACE AND CENTERED WITHIN THE 16'-0" WIDE PARKING SPACE

AUDIO-VISUAL ALARMS & INTERCOM SYSTEMS

- 1) WHERE EMERGENCY WARNING SYSTEMS ARE REQUIRED IN ALL COMMON SPACES, THEN THEY MUST BE BOTH VISUAL AND AUDIBLE.
- 2) ALL VISUAL ALARMS THROUGHOUT THE PUBLIC AND COMMON SPACES ARE TO BE SYNCHRONIZED; THE FIRE ALARM SYSTEM IS TO COMPLY WITH ICC/ANSI A117.1 - 2009 CHAPTER 702.
- 3) VISUAL ALARMS AND CONDUIT SHALL BE INSTALLED IN UNITS AS INDICATED ON THE PLANS.
- 4) THE INTERCOM SYSTEM IS REQUIRED TO HAVE BRAILLE LETTERING AND BE ABLE TO PROVIDE A VISUAL SIGNAL IN THE ACCESSIBLE UNITS, IF ACCESSIBLE UNITS ARE PROVIDED.

HANDRAILS

- 1) HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS AND RAMPS.
- 2) HANDRAILS SHALL BE CONTINUOUS WITHIN THE FULL LENGTH OF EACH STAIR FLIGHT AND RAMP RUN, INCLUDING THE INSIDE RAIL OF A SWITCHBACK OR DOGLEG STAIR OR RAMP.
- 3) HANDRAILS NOT LOCATED AT THE INSIDE OF A RAMP SHALL EXTEND 12" PAST BOTH THE TOP AND BOTTOM RUNS, EXTENSIONS SHALL RETURN TO THE WALL OR FLOOR.
- 4) HANDRAILS NOT LOCATED AT THE INSIDE FACE OF THE STAIR SHALL EXTEND BEFORE EXTENSIONS 12" BEYOND THE LANDING NOSING AT THE TOP RUN AND 12" PLUS THE WIDTH OF ONE TREAD BEYOND THE LAST STAIR NOSING AT THE BOTTOM RUN.
- 5) TOP SURFACE OF HANDRAILS SHALL BE LOCATED 34" ABOVE THE STAIR NOSING OR RAMP SURFACE.
- 6) CLEARANCE BETWEEN THE HANDRAIL AND THE ADJACENT SURFACE SHALL BE 1 1/2".
- 7) HANDRAILS SHALL NOT PROJECT MORE THAN 4" INTO THE RAMP OR STAIR WIDTH.
- 8) THE GRIPPING SURFACE OF THE HANDRAIL SHALL HAVE A WIDTH OR DIAMETER OF 1 1/2" - 1 1/2".

SIGNAGE

- 1) REQUIRED SIGNAGE FOR PARKING SPACES RESERVED FOR INDIVIDUALS WITH DISABILITIES, ACCESSIBLE PASSENGER LOADING ZONES, ACCESSIBLE ENTRANCES WHEN ALL ARE NOT ACCESSIBLE, NON-ACCESSIBLE ENTRANCES THAT HAVE DIRECTIONAL SIGNAGE TO INDICATE THE ROUTE TO THE NEAREST ACCESSIBLE ENTRANCE, ACCESSIBLE TOILET ROOMS WHEN NOT ALL ARE ACCESSIBLE, NON-ACCESSIBLE TOILET ROOMS THAT HAVE DIRECTIONAL SIGNAGE TO INDICATE THE ROUTE TO THE NEAREST ACCESSIBLE TOILET ROOMS, DIRECTIONAL OR INFORMATIONAL SIGNAGE AND PERMANENT ROOM SIGNAGE SHALL COMPLY WITH THE PROVISIONS OF THE ILLINOIS ACCESSIBILITY CODE, AND ICC/ANSI A117.1 - 2009.
 - a. LETTERS AND NUMBERS SHALL BE RAISED AT LEAST 1/32" (3.2 MM) UPPER CASE, SANS SERIF OR SIMPLE SERIF TYPE, AND SHALL BE ACCOMPANIED WITH GRADE 2 BRAILLE. RAISED CHARACTERS SHALL BE AT LEAST 5/8" (16 M) HIGH, BUT NO HIGHER THAN 2" (50 MM). PICTOGRAMS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE 6" (152 MM) MINIMUM IN HEIGHT.
 - b. THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATTE, OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
 - c. WHERE PERMANENT IDENTIFICATION IS PROVIDED, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE NO WALL SPACE EXISTS TO THE LATCH SIDE OF THE DOOR, INCLUDING DOUBLE DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT SHALL BE 60" A.F.F. TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION SHALL ALLOW A PERSON TO APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.

- 2) FACILITIES WITH ELEMENTS REQUIRED TO BE ACCESSIBLE SHALL BE IDENTIFIED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.

EMERGENCY EVACUATION SIGNAGE

- 1) AREA OF RESCUE ASSISTANCE SIGN LOCATED ON THE CORRIDOR SIDE NEXT TO THE LATCH SIDE OF THE DOOR
 - a. RAISED LETTERS, BRAILLE, CONTRASTING COLOR, 60" A.F.F.
- 2) TO BE LOCATED ADJACENT TO SIGN #1: WILL IDENTIFY THE NEXT EXIT DISCHARGE FLOOR FROM THE FLOOR YOU ARE EXITING
 - a. RAISED LETTERS, BRAILLE, CONTRASTING COLOR
 - b. 6" HIGH FLOOR NUMBER DESIGNATIONS LOCATED INSIDE OF STAIRWELL, ADJACENT TO THE LATCH SIDE OF FLOOR.
 - a. RAISED LETTERS, BRAILLE, CONTRASTING COLOR, 60" A.F.F.
- 4) PROVIDE SPOTLIGHT IN CEILING; BEAM TO BE DIRECTED TO AREA OF RESCUE ASSISTANCE SIGN (#1); LIGHT TO BE ON EMERGENCY BACK UP SYSTEM.

FEDERAL - FAIR HOUSING AMENDMENTS ACT/STATE OF ILLINOIS - ILLINOIS ACCESSIBILITY CODE 1997/MUNICIPALITY ICC/ANSI A117.1 - 2003: TYPE 'A'

- 1) AREA OF RESCUE ASSISTANCE SIGN LOCATED ON THE CORRIDOR SIDE NEXT TO THE LATCH SIDE OF THE DOOR
 - a. RAISED LETTERS, BRAILLE, CONTRASTING COLOR, 60" A.F.F.
- 2) TO BE LOCATED ADJACENT TO SIGN #1: WILL IDENTIFY THE NEXT EXIT DISCHARGE FLOOR FROM THE FLOOR YOU ARE EXITING
 - a. RAISED LETTERS, BRAILLE, CONTRASTING COLOR
 - b. 6" HIGH FLOOR NUMBER DESIGNATIONS LOCATED INSIDE OF STAIRWELL, ADJACENT TO THE LATCH SIDE OF FLOOR.
 - a. RAISED LETTERS, BRAILLE, CONTRASTING COLOR, 60" A.F.F.
- 4) PROVIDE SPOTLIGHT IN CEILING; BEAM TO BE DIRECTED TO AREA OF RESCUE ASSISTANCE SIGN (#1); LIGHT TO BE ON EMERGENCY BACK UP SYSTEM.

REQUIREMENTS FOR FHAA/IAAC/TYPE 'A' DWELLING UNITS

ADAPTABLE DWELLING UNITS

FEDERAL - FAIR HOUSING AMENDMENTS ACT/STATE OF ILLINOIS - ILLINOIS ACCESSIBILITY CODE 1997/MUNICIPALITY ICC/ANSI A117.1 - 2003: TYPE 'A'

FHAA SCOPE:

- MULTISTORY DWELLING UNITS IN ELEVATOR BUILDINGS, THE STORY OF THE UNIT SERVED BY THE ELEVATOR:
- A) IS THE PRIMARY ENTRY LEVEL OF THE UNIT.
 - B) IS SUBJECT TO COMPLIANCE WITH FHAA REQUIREMENTS 2-7, AND
 - C) CONTAINS A BATHROOM OR POWDER ROOM SUBJECT TO COMPLIANCE WITH FHAA REQUIREMENT 7. MULTISTORY DWELLING UNITS IN NON-ELEVATOR BUILDINGS ARE NOT COVERED UNITS, I.E. NOT SUBJECT TO FHAA REQUIREMENTS.

IAAC SCOPE:

- 20 PERCENT OF DWELLING UNITS ARE COVERED IN MULTI-STORY HOUSING BUILDINGS THAT ARE FOUR OR MORE STORIES CONTAINING TEN OR MORE UNITS EITHER FOR SALE OR LEASE.

ANSI TYPE A SCOPE:

- PERCENTAGE OF COVERED UNITS VARIED BY MUNICIPALITY.

PRIMARY ENTRANCE - 1003.2

1003.3.1 LOCATION:

- IAAC: AT LEAST ONE ROUTE INTO AND WITHIN THE UNIT TO ALL ROOMS AND SPACES AND PRIVATE PATIOS, TERRACES, BALCONIES, CARPORTS AND GARAGES DESIGNATED FOR ADAPTABLE UNITS. TYPE 'A': AT LEAST ONE ROUTE SHALL CONNECT ALL UNITS' SPACES AND ELEMENTS (EXCEPT UNFINISHED ATTICS AND BASEMENTS) WITHOUT PASSING THROUGH BATHROOMS, TOILET ROOMS, CLOSETS OR SIMILAR IF ONLY ONE ROUTE.

ACCESSIBLE ROUTE - 1003.3

1003.3.2 304 TURNING SPACE:

1003.3.3 COMPONENTS:

- WALKING SURFACES WITH A SLOPE NOT STEEPER THAN 1V:20H, RAMPS, ELEVATORS, AND PLATFORM LIFTS.

307.4 HEAD ROOM:

- MINIMUM (MIN) CLEAR 80 INCHES

307.-307.4 GUARDRAIL OR BARRIER:

- GUARDRAIL OR OTHER BARRIER (FOR CANE DETECTION), WITH DETECTABLE BOTTOM EDGE AT NO MORE THAN 27 INCHES ABOVE FINISHED FLOOR (AFF), REQUIRED WHERE HEAD ROOM ON CIRCULATION PATH IS LESS THAN 80 INCHES AFF AND WHERE OBJECTS PROTRUDE INTO PATHS BEYOND ALLOWED LIMIT OF 4 INCHES BETWEEN, BUT NOT INCLUDING, 27" AND 80 INCHES AFF.

400.310 A) 9) EGRESS:

- IAAC: ROUTE SHALL SERVE AS MEANS OF EGRESS OR CONNECT TO AN ACCESSIBLE AREA OF RESCUE ASSISTANCE.

TYPE 'A' UNIT REQUIREMENTS (CONT'D)

WALKING SURFACES - 1003.4/403

302.1 FLOOR SURFACE

- STABLE, FIRM, AND SLIP-RESISTANT.

302.2 CARPET:

- SECURELY ATTACHED, WITH FIRM CUSHION, PAD OR BACKING OR NONE; MAX PILE 1/2 INCH; EDGES FASTENED AND TRIMMED. IAAC - SEASONAL MATS ATTACHED OR NON-SLIP BACKING.

302.3 OPENINGS

- LESS THAN 1/2 INCH CLEAR WIDTH EXCEPT AT VERTICAL TRANSPORTATION ENTRANCES; LONGER DIMENSION OF OPENINGS PERPENDICULAR TO DOMINANT DIRECTION OF TRAVEL.

403.3 SLOPE

- RUNNING SLOPE MAX 1V:20H; CROSS SLOPE MAX 1V:48H EXCEPT IAC 1V:50H.

303, 405, 407, 408, 409 CHANGES IN LEVEL

- 1) MAX VERTICAL CHANGE 1/4 INCH;
- 2) NON-RAMPED CHANGE: MAX HEIGHT 1/2 INCH WITH BEVEL MAX SLOPE 1V:2H; MAY INCORPORATE MAX 1/4 INCH VERTICAL CHANGE;
- 3) RAMPED CHANGE (1/2 INCH): MAX 30 INCHES RISE EACH SEGMENT WITH MAX SLOPE 1V:12H;
- 4) EXCEPT IN EXISTING CONDITIONS, RAMP RISE MAX 3 INCHES WITH MAX 1V:8H AND MAX 6 INCHES WITH MAX 1V:10H;
- 5) MECHANICAL MEANS - ELEVATORS, LIMITED-USE/LIMITED-APPLICATION ELEVATORS, PRIVATE RESIDENCE ELEVATORS AND PLATFORM LIFTS.

- IAAC NOTE: ACCESSIBLE ROUTE DOES NOT INCLUDE STAIRS, STEPS, OR ESCALATORS.

403.5, 403.5.1, 403.5.2 CLEAR WIDTH AND PASSING SPACE

- 1) MIN 32 INCHES FOR MAX SEGMENT LENGTH OF 24 INCHES, AND IF IN SERIES - WITH MIN 36 INCHES FOR MIN SEGMENT LENGTH OF 48 INCHES BETWEEN;
- 2) MIN 36 INCHES FOR MAX 200 FEET SEGMENTS WITH PASSING SPACE BETWEEN OF MIN 60 INCHES SQUARE, OR AT AN INTERSECTION OF ROUTES WITH A 'T' TURNING SPACE EXTENDING 8 INCHES BEYOND THE INTERSECTION;
- 3) AT SWITCHBACK ROUTES WITH LESS THAN 48 INCHES BETWEEN ROUTES - LANDING LENGTH EITHER MIN 48 INCHES WITH ROUTES MIN 42 INCHES (LENGTH 48 INCHES) AT THE LANDING OR MIN 60 INCHES WITH ROUTES MIN 36 INCHES
- 4) IAAC: A SWITCHBACK ROUTE WITH MIN 48 INCHES BETWEEN ROUTES - LINKING SEGMENT MIN 36 INCHES WIDE.

DOORS AND DOORWAYS 1003.5/404

MANUAL DWELLING UNIT PRIMARY ENTRANCE AND ALL PASSAGE DOORWAYS NOT OPERATED ONLY BY SECURITY PERSONNEL:

404.2.2 CLEAR OPENING WIDTH

- 1) DOUBLE-LEAF DOORS AND GATES: AT LEAST ONE OPERABLE LEAF OF MIN 32 INCHES FROM FACE OF DOOR TO FRAME STOP WITH DOOR OPEN 90 DEGREES;
- 2) SINGLE LEAF SWING DOORS: MIN 32 INCHES FROM FACE OF DOOR TO FRAME STOP WITH DOOR OPEN 90 DEGREES;
- 3) DOORS, AND DOORWAYS AND PASSAGE OPENINGS WITH NO DOOR >24 INCHES IN DEPTH - MIN 36 INCHES CLEAR OPENING WIDTH;
- 4) ALL OPENINGS: NO PROJECTIONS BELOW 34 INCHES AFF, AND
- 5) MAX 4 INCHES PROJECTION FROM 34 TO 80 INCHES AFF.

TYPE 'A' EXCEPTIONS:

- 1) CLOSERS AND HARDWARE STOPS PERMITTED TO PROJECT FROM MIN 78 INCHES AFF.
- 2) IN ALTERATIONS, LATCH SIDE FRAME STOP PERMITTED TO PROJECT MAX 5/8 INCH INTO CLEAR WIDTH.

404.2.3 CLEAR MANEUVERING CLEARANCE

- 1) MIN MANEUVERING CLEARANCES ON PUSH AND PULL SIDES OF MANUAL DOORWAYS, AND PASSAGE OPENINGS WITH NO DOOR, ARE REQUIRED AS DIAGRAMMED, MEASURED PERPENDICULAR TO DOORWAY OR WALL SURFACE AND PARALLEL TO DOORWAY OR OPENING FROM JAMB.
- 2) RECESSED DOORS WHERE ANY OBSTRUCTION WITHIN 18 INCHES OF THE LATCH SIDE PROJECTS MORE THAN 8 INCHES PERPENDICULAR BEYOND THE FACE OF DOOR, APPROACH SHALL BE FORWARD ONLY.
- 3) (IAAC) ALL DOORS REQUIRE MANEUVERING SPACE. TYPE 'A' EXCEPTION:
 - 1) EXEMPT TOILET ROOMS AND BATHROOMS DOOR MANEUVERING CLEARANCE NOT REQUIRED INSIDE THOSE ROOMS.

404.2.3.5

- FLOOR SURFACE SEE FLOOR SURFACE ABOVE AND SLOPE MAX 1V:48H

404.2.4 THRESHOLDS

- IF PROVIDED, MAX HEIGHT 1/2 INCH WITH BEVEL MAX SLOPE 1V:2H; MAY INCLUDE MAX 1/4 INCH VERTICAL CHANGE;

EXCEPTIONS:

- 1) EXISTING THRESHOLDS;
- 2) ALTERED THRESHOLDS OF MAX 3/4 INCH HEIGHT WITH BEVELED EDGE EACH SIDE WITH MAX SLOPE 1V:2H FOR HEIGHT EXCEEDING 1/4 INCH
- 3) EXTERIOR SLIDING DOOR THRESHOLDS MAX HEIGHT 3/4 INCH WITH MAX SLOPE 1V:2H.

404.2.5 TWO DOORS IN SERIES

- DISTANCE BETWEEN SWINGING AND/OR PIVOTING DOORS:

- 1) MIN 48 INCHES BEYOND DOOR SWING(S), AND
- 2) PROVIDE A 5 FOOT TURNING CIRCLE OR 'T'.

404.2.6 DOOR HARDWARE

- 1) HANDLES, PULL, LATCHES, LOCKS AND OTHER OPERABLE PARTS GRASPABLE WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO OPERATE.
 - 2) LOCATED MIN 34 INCHES AND MAX 48 INCHES AFF.
 - 3) HARDWARE SHALL EXPOSED AND OPERABLE FROM BOTH SIDES ON SLIDING DOORS WHEN FULLY OPEN.
- EXCEPTION: SECURITY ONLY LOCKS NOT USED FOR NORMAL OPERATION ARE PERMITTED IN ANY LOCATION.

404.2.7.1 CLOSERS

- ADJUSTED TO MIN 5 SECONDS FROM 90 DEGREES OPEN TO 12 DEGREES OPEN.

404.2.7.2 SPRING HINGES

- ADJUSTED TO MIN 1.5 SECONDS FROM 70 DEGREES OPEN POSITION TO CLOSED.

404.2.8 DOOR OPENING FORCE

- 1) FIRE DOORS - MIN FORCE ALLOWED BY AUTHORITY HAVING JURISDICTION.
- 2) PUSH / PULL OPEN INTERIOR HINGED DOORS - MAX 5.0 POUNDS.
- 3) PUSH / PULL OPEN SLIDING OR FOLDING DOORS - MAX 5.0 POUNDS.
- 4) THESE FORCES NOT APPLICABLE TO RETRACT LATCH BOLTS OR DISENGAGE HARDWARE THAT HOLDS DOOR CLOSED.

404.2.9 DOOR SURFACE

- WITHIN 10 INCHES VERTICAL OF FLOOR, SMOOTH SURFACE ON PUSH SIDE, FULL WIDTH OF DOOR, PARTS CREATING V OR H JOINTS IN SUCH SURFACE SHALL BE WITHIN 1/16 INCH OF THE DOOR PLANE. CAVITIES CREATED BY KICK PLATES SHALL BE CAPPED.

EXCEPTIONS:

- 1) SLIDING DOORS.
- 2) STILE-LESS TEMPERED GLASS DOORS WITH BOTTOM RAIL OR SHOE (OF ANY HEIGHT) WITH TOP LEADING EDGE TAPERED AT MIN 60 DEGREES FROM HORIZONTAL.
- 3) DOORS NOT EXTENDING WITHIN 10 INCHES OF THE FLOOR.

404.2.10 VISION LITES

- MAX 43 INCHES AFF TO BOTTOM OF ONE VIEWING PANEL OF GLASS OF DOORS, OR ADJACENT SIDELITES, WITH ONE OR MORE GLAZING PANELS, EXCEPT UNLESS ALL SUCH PANELS ARE MIN 66 INCHES AFF.

404.3 AUTOMATIC DOORS

- 1) FULL POWERED AUTOMATIC DOORS - ANSI / BHMA A156.10;
- 2) POWER ASSIST AND LOW-ENERGY DOORS - ANSI / BHMA A156.19;
- 3) EXCEPTION: DOORS OR GATES OPERATED ONLY BY SECURITY PERSONNEL.

404.3.1 CLEAR WIDTH

- MIN 32 INCHES IN POWER-ON AND POWER-OFF MODE WITH LEAFS OPEN.

404.3.2 CLEARANCES

- MANEUVERING CLEARANCES AT POWER-ASSISTED DOORS AND AS ABOVE.

404.3.3 THRESHOLDS

- SEE THRESHOLDS ABOVE.

404.3.4 IN SERIES

- SEE TWO DOORS IN SERIES ABOVE.

404.3.5 CONTROL SWITCHES

- MANUALLY OPERATED CONTROL SWITCHES SHALL COMPLY WITH REQUIREMENTS FOR OPERABLE PARTS AND WITH CLEAR FLOOR SPACE BEYOND ARC OF THE DOOR SWING.

OPERABLE PARTS/CONTROLS 1003.9/309

1003.9

- THE FOLLOWING SHALL COMPLY WITH OPERABLE PARTS REQUIREMENTS: LIGHTING CONTROLS; ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS; ENVIRONMENTAL CONTROLS, APPLIANCE CONTROLS, OPERABLE WINDOWS OPERATING HARDWARE, PLUMBING FIXTURE CONTROLS, AND SECURITY OR INTERCOM SYSTEMS USER CONTROLS.

EXCEPTIONS:

- 1) RECEPTACLE OUTLETS SERVING A DEDICATED USE.
- 2) ONE RECEPTACLE OUTLET IS EXEMPT WHERE THE FOLLOWING ARE MET:
 - (a) IT IS ABOVE A LENGTH OF COUNTERTOP UNINTERRUPTED BY A SINK OR APPLIANCE;
 - (b) AT LEAST ONE, AND ALL, OTHER RECEPTACLE OUTLETS COMPLIANT WITH OPERABLE PARTS IS/ARE PROVIDED IN THE SAME LENGTH OF COUNTERTOP.
- 3) FLOOR RECEPTACLE OUTLETS.
- 4) HVAC DIFFUSERS.
- 5) CONTROLS MOUNTED ON CEILING FANS.
- 6) WHERE REDUNDANT CONTROLS OTHER THAN LIGHT SWITCHES ARE PROVIDED FOR A SINGLE ELEMENT, ONE CONTROL IN EACH SPACE SHALL NOT BE REQUIRED TO BE ACCESSIBLE.

309 OPERABLE PARTS REQUIREMENTS

309.2, 305 CLEAR FLOOR SPACE

- SHALL BE PROVIDED A CLEAR FLOOR SPACE, WITH A FLOOR SURFACE AS REQUIRED ABOVE WITH SLOPE NOT STEEPER THAN 1V:48H; MEASURING MIN 30 INCHES BY MIN 48 INCHES, WITH EITHER A FORWARD OR PARALLEL APPROACH. KNEE AND TOE CLEARANCES ARE PERMITTED AS DESCRIBED FOR LAVATORIES.

309.3, 308 REACH RANGES

- WITHIN ONE OR MORE REACH RANGES:
 - 1) MIN 15 INCHES TO MAX 48 INCHES AFF FOR FORWARD REACH, WITH LESS THAN 20 INCHES (IAAC) DEEP COUNTERTOP OBSTRUCTION, AND MAX 44 INCHES AFF WITH 20 TO MAX 25 INCHES DEEP COUNTERTOP OBSTRUCTION.
 - 2) MIN 15 INCHES TO MAX 48 INCHES AFF FOR SIDE REACH, WITH MAX 10 INCHES DEEP AND MAX 34 INCHES HIGH CURB-LIKE OBSTRUCTION, AND MAX 46 INCHES AFF WITH GREATER THAN 10 TO MAX 24 INCHES DEEP CABINET OBSTRUCTION.

309.4 OPERATION AND FORCE

- OPERABLE WITH ONE HAND AND NOT REQUIRE GRASPING, PINCHING, OR WRIST TWISTING, WITH MAX FORCE OF 5.0 POUNDS.

TYPE 'A' UNIT REQUIREMENTS (CONT'D)

LAUNDRY 1003.10/611

1003.10 611

- 1) MIN CLEAR FLOOR SPACE 30 INCHES BY 48 INCHES PARALLEL APPROACH CENTERED ON THE APPLIANCE.
- 2) CONTROLS, DOORS, LINT SCREENS, COMPARTMENTS FOR CLEANING PRODUCTS, ETC. SHALL COMPLY WITH OPERABLE PARTS REQUIREMENTS.
- 3) DOOR MAX 36 AFF FOR TOP LOADING MACHINES;
- 4) BOTTOM OF LAUNDRY COMPARTMENT OPENING MIN 15 INCHES AND MAX 34 INCHES AFF FOR FRONT LOADING MACHINES.

TOILET/BATHING FACILITIES 1003.11

1003.11.1 SCOPE

- AT LEAST ONE TOILET AND BATHING FACILITY WITH AT LEAST ONE LAVATORY, ONE WATER CLOSET AND EITHER A BATHTUB OR SHOWER, AS DESCRIBED HEREIN FOR TYPE 'A', IN A SINGLE TOILET/BATHING AREA SHALL COMPLY. (IAAC - "BATHROOMS IN ADAPTABLE DWELLING UNITS SHALL COMPLY WITH THE SPACE REQUIREMENTS...")

1003.11.2, 305.3 DOORS

- DOORS MAY SWING INTO FIXTURE CLEAR FLOOR SPACE ONLY WHEN THERE IS A 30 X 48 CLEAR FLOOR SPACE BEYOND THE DOOR SWING WITH SUFFICIENT MAEUVERING SPACE TO ENTER, CLOSE THE DOOR, USE THE FIXTURES, REOPEN THE DOOR AND EXIT.

1003.11.3 CLEAR FLOOR SPACES

- CLEAR FLOOR SPACES AT FIXTURES AND REQUIRED TURNING SPACE MAY OVERLAP.

1003.11.5, 606 LAVATORIES

- 1) MIN 30 INCHES BY 48 INCHES FORWARD APPROACH CLEAR FLOOR SPACE CENTERED ON THE LAVATORY, OR 36 INCHES WIDE IF CLEAR FLOOR SPACE IS PART OF A TURNING SPACE "T".
- 2) MIN 28 INCHES (IAAC) VERTICAL KNEE CLEARANCE AT APRON / LEADING EDGE OF LAVATORY BOTTOM, MIN 27 INCHES VERTICAL CLEARANCE AT MIN 8 INCHES FROM LEADING EDGE OF LAVATORY, AND MIN 9 INCHES VERTICAL CLEARANCE AT PIPES AND SHIELD FOR A MIN 11 INCHES HORIZONTAL CLEARANCE FOR KNEES (LEGS) AND MAX 6 INCHES HORIZONTAL FOR TOES.
- 3) MIN 17 INCHES AND MAX 19 (IAAC) INCHES TOTAL HORIZONTAL CLEARANCE BENEATH THE LAVATORY.
- 4) MAX 34 INCHES AFF TO HIGHER OF EITHER LAVATORY RIM OR COUNTER SURFACE.
- 5) FAUCETS SHALL BE WITHIN AT LEAST ONE REQUIRED REACH RANGE AND OPERABLE WITH ONE HAND AND NOT REQUIRE GRASPING, PINCHING, OR WRIST TWISTING, WITH MAX FORCE OF 5.0 POUNDS. HAND-OPERATED METERING FAUCETS SHALL REMAIN OPEN FOR MIN 10 SECONDS.
- 6) INSULATE WATER SUPPLY AND WASTE PIPE OR CONFIGURE TO AVOID CONTACT.
- 7) SURFACES BENEATH LAVATORIES SHALL NOT BE SHARP OR ABRASIVE.
- 8) A CABINET IS PERMITTED UNDER A LAVATORY PROVIDED IT CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE LAVATORY. FINISH FLOOR SHALL EXTEND UNDER THE CABINET, AND VERTICAL SURFACES BEHIND AND AT SIDES OF THE CABINET SHALL BE FINISHED.

1003.11.5 MIRRORS

- MAX 40 INCHES ABOVE FLOOR TO BOTTOM EDGE OF REFLECTIVE SURFACE.

400.360 C) 3) C) MEDICINE CABINETS

- MAX 44 INCHES ABOVE FLOOR TO TOP OF BOTTOM SHELF. (IAAC)

1003.11.7, 1003.11.7.1, 1003.11.7.2, 1003.11.7.3, 1003.11.5, 1003.11.7.4, 1003.11.7.5, 1003.9 WATER CLOSETS

- 1) TOILET SHALL BE LOCATED IN A CORNER WITH WALLS TO THE REAR AND ONE SIDE WITH 18 INCHES (IAAC) FROM SIDE WALL TO TOILET CENTERLINE. (IAAC) ALL WALLS SHALL BE FINISHED.
- 2) CLEAR FLOOR SPACE SHALL BE MIN 36 INCHES FROM THE REAR WALL AND MIN 60 INCHES FROM THE SIDE WALL. ACCESSORIES ARE PERMITTED TO OVERLAP THIS SPACE. A LAVATORY, AS OUTLINED ABOVE, IS PERMITTED WITHIN THIS CLEAR FLOOR SPACE WITH 18 INCHES CLEAR FROM SIDE OF LAVATORY TO TOILET CENTERLINE. (IAAC - WITH SUCH A LAVATORY, THE MIN 60 INCHES MAY BE REDUCED TO MIN 48 INCHES FOR A SIDE OR FORWARD APPROACH, AND THE MIN 56 INCHES INCREASED TO MIN 66 INCHES FOR A FORWARD APPROACH TO THE TOILET CENTERLINE.)
- 3) MIN 15 INCHES TO MAX 19 INCHES AFF TO TOP OF TOILET SEAT.
- 4) FLUSH CONTROLS SHALL COMPLY WITH OPERABLE PARTS AND BE TO OPEN SIDE OF THE TOILET AWAY FROM THE SIDE WALL.
- 5) GRAB BARS ARE NOT REQUIRED BUT REINFORCEMENT SHALL BE PROVIDED.
- 6) MAX 36 INCHES FROM REAR WALL TO FAR EDGE OF TOILET PAPER DISPENSER AND MIN 19 INCHES FROM FINISHED FLOOR TO TOILET PAPER ROLL CENTERLINE.

1003.11.8, 607 BATHTUBS

- 1) CLEAR FLOOR SPACE SHALL BE:
 - A) MIN 30 INCHES WIDE BY THE LENGTH OF THE TUB (MIN 60 INCHES) FOR PARALLEL APPROACH, OR THE LENGTH OF THE TUB AND PERMANENT HEAD END SEAT PLUS 12 INCHES (IAAC - MIN 75 INCHES (TUB OF 60 AND SEAT OF MIN 15 INCHES));
 - B) MIN 48 INCHES WIDE BY THE LENGTH OF THE TUB (MIN 60 INCHES) FOR FORWARD APPROACH.
- EXCEPT: TYPE 'A' PERMITS REMOVABLE COUNTERTOPS AND CABINETRY AT THE CONTROL WALL IN THE CLEAR FLOOR SPACE WITH FINISH FLOORING EXTENDING UNDER THE COUNTERTOP AND/OR CABINETRY. (IAAC - PERMITS COMPLIANT LAVATORY AT THE CONTROL WALL IN THE CLEAR FLOOR SPACE.)
- 2) GRAB BARS ARE NOT REQUIRED UNLESS DWELLING UNIT IS MADE ACCESSIBLE, BUT REINFORCEMENT SHALL BE PROVIDED.
- 3) CONTROLS, OTHER THAN DRAIN STOPPER, SHALL BE LOCATED ON AN END WALL VERTICALLY BETWEEN THE BATHTUB RIM AND GRAB BAR AND HORIZONTALLY BETWEEN THE OPEN SIDE OF THE TUB AND THE TUB FULL WIDTH CENTERLINE. CONTROLS SHALL COMPLY WITH OPERABLE PARTS.
- 4) HAND SHOWER WITH MIN 60 INCHES (IAAC) LONG HOSE, THAT CAN ALSO BE USED AS A FIXED SHOWER HEAD, WITH A NONPOSITIVE SHUT-OFF FEATURE CONTROL, SHALL BE PROVIDED. IF AN ADJUSTABLE-HEIGHT VERTICAL BAR MOUNT IS PROVIDED, IT SHALL NOT OBSTRUCT USE OF GRAB BARS.
- 5) ENCLOSURES SHALL NOT OBSTRUCT CONTROLS OR TRANSFER FROM WHEELCHAIRS ONTO SEATS, AND SHALL NOT HAVE TRACKS ON THE TUB RIM.
- 6) MAX 120 DEGREES F WATER TEMPERATURE.
- 7) REMOVABLE IN-TUB SEAT IS NOT REQUIRED UNLESS DWELLING UNIT IS MADE ACCESSIBLE.

1003.11.9, 6

TYPE 'A' UNIT REQUIREMENTS (CONT'D)

1003.12.4, 1003.12.4.1, 1003.12.4.2, 1003.12.4.3, 1003.12.4.4 SINKS (CONTINUED)

EXCEPT: A CABINET IS PERMITTED UNDER A SINK PROVIDED IT CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE SINK. FINISH FLOOR SHALL EXTEND UNDER THE CABINET, AND VERTICAL SURFACES BEHIND AND AT SIDES OF THE CABINET SHALL BE FINISHED.
EXCEPT: HEIGHT MAY BE ADJUSTABLE, OR RELOCATABLE, IN RANGE OF 29 TO 36 INCHES WITHOUT CUTTING THE COUNTER, OR DAMAGING ADJACENT CABINETS, WALLS, DOORS, AND STRUCTURAL ELEMENTS. PROVIDED ROUGH-IN PLUMBING SHALL BE LOCATED TO ACCEPT CONNECTIONS OF SUPPLY AND DRAIN PIPES FOR SINKS MOUNTED AT HEIGHT OF 29 INCHES. HOWEVER, WITH MIN KNEE CLEARANCE OF 27 INCHES BENEATH THE BOWL, ONLY HEIGHT OF 34 INCHES SATISFIES THE REQUIREMENTS.

1003.12.5 STORAGE

AT LEAST 5 PERCENT, OR AT LEAST ONE, OF EACH TYPE OF STORAGE (CABINETS, DRAWERS, SHELVES, ETC.) SHALL MEET THESE REQUIREMENTS UNLESS NOTED OTHERWISE:
1) MIN 30X48 PARALLEL OR FORWARD APPROACH CLEAR FLOOR SPACE TO ALL KITCHEN STORAGE.
2) (IAC) MAX 48 INCHES AFF FOR AT LEAST ONE SHELF OF ALL CABINETS AND STORAGE SHELVES MOUNTED ABOVE WORK COUNTERS.
3) (IAC) STORAGE SHALL BE WITHIN AT LEAST ONE REACH RANGE:
a) FORWARD REACH FROM 15 TO 48 INCHES AFF WITH CLEAR FLOOR SPACE ABUTTING THE STORAGE FACILITY; IF OVER AN OBSTRUCTION OF LESS THAN 20 INCHES DEPTH, THEN MAX 48 INCHES REACH HEIGHT, AND OF 20 TO MAX 25 INCHES DEPTH, THEN MAX 44 INCHES REACH HEIGHT.
b) SIDE REACH FROM 9 TO 54 INCHES AFF WITH CLEAR FLOOR SPACE PARALLEL TO AND MAX 10 INCHES FROM STORAGE FACILITY; IF OVER AN OBSTRUCTION OF 24 INCHES DEPTH AND MAX 34 INCHES HEIGHT, THEN MAX 46 INCHES REACH HEIGHT.
4) (IAC) PULLS OR HANDLES FOR CABINETS SHALL BE MOUNTED AS CLOSE AS POSSIBLE TO:
a) THE BOTTOM OF WALL CABINET DOORS.
b) THE TOP OF BASE CABINET DOORS.
5) (IAC) HARDWARE SHALL BE OPERABLE WITH ONE HAND AND NOT REQUIRE GRASPING, PINCHING, OR WRIST TWISTING, WITH MAX FORCE OF 5.0 POUNDS.

1003.12.5, 1003.12.6.1, 1003.9 APPLIANCES

1) (IAC) CONTROLS SHALL COMPLY WITH ACCESSIBLE OPERABLE PARTS REQUIREMENTS.
EXCEPT: BOTTOM-HINGED DOORS, WHEN IN OPEN POSITION, SHALL NOT BE REQUIRED TO COMPLY WITH REACH RANGES.
2) MIN 30X48 PARALLEL OR FORWARD APPROACH CLEAR FLOOR SPACE, UNLESS NOTED OTHERWISE, WHICH MAY OVERLAP.

1003.12.6.3 DISHWASHERS

1) POSITION CLEAR FLOOR SPACE ADJACENT TO THE DISHWASHER.
2) DOOR IN OPEN POSITION SHALL NOT OBSTRUCT CLEAR FLOOR SPACE FOR DISHWASHER OR AN ADJACENT SINK.
3) (IAC) RACK SPACE SHALL BE ACCESSIBLE FROM FRONT OF THE MACHINE.

1003.12.6.4 RANGES OR COOKTOPS

1) IF CLEAR FLOOR SPACE IS FORWARD APPROACH:
A) PROVIDE KNEE AND TOE CLEARANCE AS FOR LAVATORIES, EXCEPT VERTICAL CLEARANCE SHALL BE MIN 27 INCHES;
B) CLEAR FLOOR SPACE MAX 19 INCHES HORIZONTAL BENEATH THE APPLIANCE; AND
C) INSULATE OR CONFIGURE UNDERSIDE OF APPLIANCE TO PROTECT FROM BURNS, ABRASIONS, OR ELECTRICAL SHOCK.
2) LOCATION OF CONTROLS SHALL NOT REQUIRE REACHING ACROSS BURNERS.

1003.12.6.5, 1003.12.6.5.1, 1003.12.6.5.2 OVENS

1) LOCATE CONTROLS ON FRONT, ON EITHER SIDE OF THE DOOR.
2) PROVIDE A COUNTERTOP ADJACENT TO LATCH SIDE OF SIDE-HINGED DOOR AND (IAC) A PULL-OUT SHELF UNDER THE OVEN EXTENDING THE FULL WIDTH OF THE OVEN AND EXTENDING MIN 10 INCHES.
3) PROVIDE A COUNTERTOP TO EITHER SIDE OF BOTTOM-HINGED DOOR.
4) (IAC) OVENS SHALL BE SELF-CLEANING, OR BE ADJACENT TO AN ADJUSTABLE HEIGHT WORK-SURFACE AS ABOVE.

1003.12.6.6 REFRIGERATORS/FREEZERS

1) CLEAR FLOOR SPACE SHALL BE PARALLEL APPROACH.
2) CENTERLINE OF CLEAR FLOOR SPACE SHALL BE OFFSET MAX 24 INCHES FROM CENTERLINE OF DEDICATED SPACE FOR THE APPLIANCE.
3) COMBINATION REFRIGERATORS/FREEZERS SHALL HAVE:
A) MIN 50 PERCENT OF FREEZER SHELVES, INCLUDING BOTTOM OF COMPARTMENT, MAX 54 INCHES ABOVE THE FINISHED FLOOR WHEN SHELVES ARE INSTALLED AT MAX HEIGHTS POSSIBLE;
B) (IAC) MIN 50 PERCENT OF FREEZER COMPARTMENT BELOW 54 INCHES AFF; AND
C) (IAC) 100 PERCENT OF REFRIGERATOR SPACE AND CONTROLS BELOW 54 INCHES AFF.
4) FREEZERS SHALL BE SELF-DEFROSTING IF LESS THAN 100 PERCENT OF THE STORAGE VOLUME IS WITHIN REACH RANGES FOR KITCHEN STORAGE.

1003.12.6.7 TRASH COMPACTOR

MIN 30X48 PARALLEL OR FORWARD APPROACH CLEAR FLOOR SPACE.

OPERABLE WINDOWS 1003.13

1) WHERE PROVIDED, MIN ONE IN EACH SLEEPING, LIVING OR DINING SPACE, AND WHERE REQUIRED
2) OPERABLE WINDOWS SHALL HAVE OPERATING HARDWARE COMPLYING WITH ACCESSIBLE OPERABLE PARTS REQUIREMENTS.

STORAGE 1003.14

1003.14.1, 1003.14.2, 1003.14.3

WHERE STORAGE IS PROVIDED PROVIDE:
1) MIN 30 INCHES BY MIN 48 INCHES PARALLEL OR FORWARD APPROACH CLEAR FLOOR SPACE AT EACH STORAGE FACILITY.
2) A PORTION OF EACH STORAGE FACILITY, TOTALING A MIN OF 5 PERCENT OF EACH STORAGE TYPE (CABINETS, SHELVES, CLOSETS, DRAWERS, ETC.), SHALL COMPLY WITH ONE OF THE REQUIRED REACH RANGES:
A) FORWARD REACH FROM 15 TO 48 INCHES AFF WITH CLEAR FLOOR SPACE ABUTTING THE STORAGE FACILITY; IF OVER AN OBSTRUCTION OF LESS THAN 20 INCHES DEPTH (IAC), THEN MAX 48 INCHES REACH HEIGHT, AND OF 20 (IAC) TO MAX 25 INCHES DEPTH, THEN MAX 44 INCHES REACH HEIGHT.
B) SIDE REACH FROM 15 TO 48 INCHES AFF WITH CLEAR FLOOR SPACE PARALLEL TO AND MAX 10 INCHES FROM STORAGE FACILITY WITH OR WITHOUT AN OBSTRUCTION OF MAX 10 INCHES DEPTH AND MAX 34 INCHES HEIGHT; IF OVER AN OBSTRUCTION OF GREATER THAN 10 INCHES TO 24 INCHES DEPTH AND MAX 34 INCHES HEIGHT, THEN MAX 46 INCHES REACH HEIGHT.
3) OPERABLE PARTS SHALL COMPLY WITH ACCESSIBLE OPERABLE PARTS REQUIREMENTS.

EMERGENCY WARNING SYSTEM 400.350 C)

PERMANENT OR PORTABLE AUDIBLE AND VISUAL EMERGENCY WARNING SYSTEM SHALL BE INSTALLED IN ALL ADAPTABLE UNITS ON AN AS NEEDED BASIS AT THE REQUEST OF AN OCCUPANT (IAC)
A) FOR PERMANENT SYSTEM, FLASHING LIGHT BEAM SHALL BE VISIBLE IN ALL ROOMS.

**REFERENCE NUMBERS ARE TYPICALLY TO ANSI A117.1-2003 EXCEPT THOSE FORMATTED AS 400.3xx ARE TO IAC.

REQUIREMENTS FOR FHAA/IAC/TYPE 'B'

UNITS NOT IDENTIFIED AS ADAPTABLE

FEDERAL-FHAA/MUNICIPALITY-ICC/ANSI A117.1-2003: TYPE 'B'

FHAA SCOPE
1) MULTISTORY DWELLING UNITS IN ELEVATOR BUILDINGS, THE STORY OF THE UNIT SERVED BY THE ELEVATOR:
A) IS THE PRIMARY ENTRY LEVEL OF THE UNIT,
B) IS SUBJECT TO COMPLIANCE WITH FHAA REQUIREMENTS 2-7, AND
C) CONTAINS A BATHROOM OR POWDER ROOM SUBJECT TO COMPLIANCE WITH FHAA REQUIREMENT 7.
2) MULTISTORY DWELLINGS UNITS IN NON-ELEVATOR BUILDINGS ARE NOT COVERED UNITS, I.E. NOT SUBJECT TO FHAA REQUIREMENTS.

PRIMARY ENTRANCE 1004.2

LOCATED ON ACCESSIBLE ROUTE FROM PUBLIC AND COMMON AREAS,
BOTH EXTERIOR AND INTERIOR THAT SERVE THE UNIT. SHALL NOT BE TO A BEDROOM.

ACCESSIBLE ROUTE 1004.3

1004.3.1 LOCATION
AT LEAST ONE ROUTE SHALL CONNECT ALL UNIT SPACES AND ELEMENTS (EXCEPT ONE OF THE FOLLOWING: 1. RAISED OR 2. SUNKEN PORTION OF A LIVING, DINING OR SLEEPING ROOM, OR 3. MEZZANINE WITHOUT PLUMBING FIXTURES OR ENCLOSED HABITABLE SPACE) WITHOUT PASSING THROUGH BATHROOMS, TOILET ROOMS, CLOSETS OR SIMILAR IF ONLY ONE ROUTE, AND (FHAA) NOT BE INTERRUPTED BY AN EXEMPT AREA.
1004.3.2 COMPONENTS
WALKING SURFACES WITH A SLOPE NOT STEEPER THAN 1V:20H, DOORWAYS, RAMPS, ELEVATORS, AND PLATFORM LIFTS.

WALKING SURFACES 1004.4

1004.4.1 CLEAR WIDTH AND PASSING SPACE
1) MINIMUM (MIN) 32 INCHES FOR MAX SEGMENT LENGTH OF 24 INCHES, AND IF IN SERIES - WITH MIN 36 INCHES FOR MIN SEGMENT LENGTH OF 48 INCHES BETWEEN;
2) MIN 36 INCHES FOR MAX 200 FEET SEGMENTS WITH PASSING SPACE BETWEEN OF MIN 60 INCHES SQUARE, OR AT AN INTERSECTION OF ROUTES WITH A 'T' TURNING SPACE EXTENDING 48 INCHES BEYOND THE INTERSECTION;
3) AT SWITCHBACK ROUTES WITH LESS THAN 48 INCHES BETWEEN ROUTES - LANDING LENGTH EITHER MIN 48 INCHES WITH ROUTES MIN 42 INCHES (LENGTH 48 INCHES) AT THE LANDING OR MIN 60 INCHES WITH ROUTES MIN 36 INCHES.

1004.4.2 CHANGES IN LEVEL

1) MAXIMUM (MAX) VERTICAL CHANGE 1/4 INCH;
2) NON-RAMPED CHANGE: MAX HEIGHT 1/2 INCH WITH BEVEL MAX SLOPE 1V:2H; MAY INCORPORATE MAX 1/4 INCH VERTICAL CHANGE;
3) RAMPED CHANGE (> 1/2 INCH): MAX 30 INCHES RISE EACH SEGMENT WITH MAX SLOPE 1V:12H AND MAX CROSS SLOPE OF 1V:48H;
4) EXCEPT IN EXISTING CONDITIONS, RAMP RISE MAX 3 INCHES WITH MAX 1V:8H AND MAX 6 INCHES WITH MAX 1V:10H;
5) MECHANICAL MEANS - ELEVATORS AND PLATFORM LIFTS
EXCEPTION: MAX VERTICAL CHANGE 4 INCHES FROM TOP OF INSIDE FINISHED FLOOR DOWN TO OUTSIDE EXTERIOR DECK, PATIO OR BALCONY SURFACE THAT IS IMPERVIOUS. (FHAA EXCEPTIONS: 1. OTHERWISE AT SUCH LOCATIONS FOR PERVIOUS EXTERIOR SURFACES, MAX 1/2 INCH ALLOWED, OR LOWER IF REQUIRED BY LOCAL BUILDING CODE; 2. AT PRIMARY UNIT ENTRY, MAX 1/2 INCH ALLOWED FOR PERVIOUS EXTERIOR SURFACES THAT MAY BE PITCHED 1V:8H FOR DRAINAGE.)

TYPE 'B' UNIT REQUIREMENTS (CONT'D)

DOORS AND DOORWAYS 1004.5

DWELLING UNIT PRIMARY ENTRANCE DOORWAY 1004.5.1, 404

404.2.2 CLEAR OPENING WIDTH
1) DOUBLE-LEAF DOORS AND GATES: AT LEAST ONE OPERABLE LEAF OF MIN 32 INCHES FROM FACE OF DOOR TO FRAME STOP WITH DOOR OPEN 90 DEGREES.
2) SINGLE LEAF SWING DOORS: MIN 32 INCHES FROM FACE OF DOOR TO FRAME STOP WITH DOOR OPEN 90 DEGREES;
3) DOORS, AND DOORWAYS AND PASSAGE OPENINGS WITH NO DOOR >24 INCHES IN DEPTH - MIN 36 INCHES CLEAR OPENING WIDTH;
4) ALL OPENINGS: NO PROJECTIONS BELOW 34 INCHES ABOVE FINISHED FLOOR (AFF), AND
5) MAX 4 INCHES PROJECTION FROM 34 TO 80 INCHES AFF.
EXCEPTIONS:
1) CLOSERS AND HARDWARE STOPS PERMITTED TO PROJECT FROM MIN 78 INCHES AFF.
2) IN ALTERATIONS, LATCH SIDE FRAME STOP PERMITTED TO PROJECT MAX 5/8 INCH INTO CLEAR WIDTH.
404.2.3, 404.2.3.1-404.2.3.4 MANEUVERING CLEARANCE
1) MIN MANEUVERING CLEARANCES ON PUSH AND PULL SIDES OF MANUAL DOORWAYS, AND PASSAGE OPENINGS WITH NO DOOR, ARE REQUIRED AS DIAGRAMMED, MEASURED PERPENDICULAR TO DOORWAY OR WALL SURFACE AND PARALLEL TO DOORWAY OR OPENING FROM JAMB.
2) RECESSED DOORS WHERE ANY OBSTRUCTION WITHIN 18 INCHES OF THE LATCH SIDE PROJECTS MORE THAN 8 INCHES PERPENDICULAR BEYOND FACE OF DOOR, APPROACH SHALL BE FORWARD ONLY.
TYPE 'B' EXCEPTION:
1) DOOR MANEUVERING CLEARANCE NOT REQUIRED INSIDE OF PRIMARY UNIT ENTRY.

404.2.3.5 FLOOR SURFACE

STABLE, FIRM, AND SLIP-RESISTANT AND SLOPE MAX 1V:48H.
(FHAA: EXTERIOR MAY BE MAX 1V:8H FOR DRAINAGE.)

404.2.4 THRESHOLDS

IF PROVIDED, MAX HEIGHT 1/2 INCH WITH BEVEL MAX SLOPE 1V:2H; MAY INCLUDE MAX 1/4 INCH VERTICAL CHANGE;

EXCEPTIONS:

1) EXISTING THRESHOLDS;
2) ALTERED THRESHOLDS OF MAX 3/4 INCH HEIGHT WITH BEVELED EDGE EACH SIDE WITH MAX SLOPE 1V:2H FOR HEIGHT EXCEEDING 1/4 INCH.

404.2.5 TWO DOORS IN SERIES

DISTANCE BETWEEN SWINGING AND/OR PIVOTING DOORS:

1) MIN 48 INCHES BEYOND DOOR SWING(S), AND
2) PROVIDE A 5 FOOT TURNING CIRCLE OR 'T'.

404.2.6 DOOR HARDWARE

1) HANDLES, PULL, LATCHES, LOCKS AND OTHER OPERABLE PARTS GRASPABLE WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO OPERATE.
2) LOCATED MIN 34 INCHES AND MAX 48 INCHES AFF.
3) HARDWARE SHALL BE EXPOSED AND OPERABLE FROM BOTH SIDES ON SLIDING DOORS WHEN FULLY OPEN.
EXCEPTION: SECURITY ONLY LOCKS NOT USED FOR NORMAL OPERATION ARE PERMITTED IN ANY LOCATION.

404.2.7.1 CLOSERS

ADJUSTED TO MIN 5 DEGREES FROM 90 DEGREES OPEN TO 12 DEGREES OPEN.

404.2.7.2 SPRING HINGES

ADJUSTED TO MIN 1.5 SECONDS FROM 70 DEGREES OPEN POSITION TO CLOSED.

404.2.8 DOOR OPENING FORCE

1) FIRE DOORS - MIN FORCE ALLOWED BY AUTHORITY HAVING JURISDICTION.
2) PUSH / PULL OPEN INTERIOR HINGED DOORS - MAX 5.0 POUNDS.
3) PUSH / PULL OPEN SLIDING OR FOLDING DOORS - MAX 5.0 POUNDS.
4) THE FORCE IS NOT APPLICABLE TO RETRACT LATCH BOLTS OR DISENGAGE HARDWARE THAT HOLDS DOOR CLOSED.

404.2.9 DOOR SURFACE

WITHIN 10 INCHES VERTICAL OF FLOOR, SMOOTH SURFACE ON PUSH SIDE, FULL WIDTH OF DOOR, PARTS CREATING V OR H JOINTS IN SUCH SURFACE SHALL BE WITHIN 1/16 INCH OF THE DOOR PLANE. CAVITIES CREATED BY KICK PLATES SHALL BE CAPPED.
EXCEPTIONS:
1) SLIDING DOORS.
2) STILE-LESS TEMPERED GLASS DOORS WITH BOTTOM RAIL OR SHOE (OF ANY HEIGHT) WITH TOP LEADING EDGE TAPERED AT MIN 60 DEGREES FROM HORIZONTAL.
3) DOORS NOT EXTENDING WITHIN 10 INCHES OF THE FLOOR.

404.2.10 VISION LITES

MAX 48 INCHES AFF TO BOTTOM OF ONE VIEWING PANEL OF GLASS OF DOORS, OR ADJACENT SIDELITES, CONTAINING ONE OR MORE GLAZING PANELS, EXCEPT UNLESS ALL SUCH PANELS ARE MIN 66 INCHES AFF.

404.3 AUTOMATIC DOORS

1) FULL POWERED AUTOMATIC DOORS - ANSI / BHMA A156.10;
2) POWER ASSIST AND LOW-ENERGY DOORS - ANSI / BHMA A156.19;
3) EXCEPTION: DOORS OR GATES OPERATED ONLY BY SECURITY PERSONNEL.

404.3.1 CLEAR WIDTH

MIN 32 INCHES IN POWER-ON AND POWER-OFF MODE WITH LEAFS OPEN.

404.3.2 CLEARANCES

MANEUVERING CLEARANCES AT POWER-ASSISTED DOORS AND AS ABOVE.

404.3.3 THRESHOLDS

SEE THRESHOLDS ABOVE.

404.3.4 IN SERIES

SEE TWO DOORS IN SERIES ABOVE.

404.3.5 CONTROL SWITCHES

MANUALLY OPERATED CONTROL SWITCHES SHALL COMPLY WITH REQUIREMENTS FOR OPERABLE PARTS AND WITH CLEAR FLOOR SPACE BEYOND ARC OF THE DOOR SWING.

DWELLING UNIT USER PASSAGE DOORWAYS 1004.5.2

1004.5.2.1, 1004.5.2.4 CLEAR OPENING WIDTH

DOORWAYS: MIN 32 INCHES (FHAA), 31 3/4 INCHES (ANSI TYPE B);
1) SWINGING DOORS - MEASURED FROM FACE OF DOOR TO FRAME STOP WITH DOOR OPEN 90 DEGREES;
2) DOUBLE LEAF DOORS - MEASURED FROM FACE OF ACTIVE LEAF TO EDGE OF INACTIVE LEAF IF INACTIVE LEAF HAS OPERABLE PARTS HIGHER THAN 48 INCHES AND LOWER THAN 15 INCHES ABOVE THE FLOOR.
3) DEPTH OF PASSAGE OPENING IN DIRECTION OF TRAVEL - MAX 24 INCHES.

1004.5.2.2, 303 THRESHOLDS

1) MAXIMUM VERTICAL CHANGE 1/4 INCH;
2) NON-RAMPED CHANGE: MAX HEIGHT 1/2 INCH WITH BEVEL MAX SLOPE 1V:2H; MAY INCORPORATE MAX 1/4 INCH VERTICAL CHANGE;
3) RAMPED CHANGE (> 1/2 INCH): MAX 30 INCHES RISE EACH SEGMENT WITH MAX SLOPE 1V:12H;
EXCEPT: AT EXTERIOR SLIDING DOORS, MAX 3/4 INCH HEIGHT WITH BEVELED EDGE EACH SIDE WITH MAX SLOPE 1V:2H.

1004.5.2.3, 404.3 AUTOMATIC DOORS

SEE ABOVE FOR PRIMARY ENTRANCE DOOR.

OPERABLE PARTS/CONTROLS 1004.9

1004.9
FOLLOWING SHALL COMPLY WITH OPERABLE PARTS REQUIREMENTS:
LIGHTING CONTROLS, ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS, THERMOSTATS (FHAA), ENVIRONMENTAL CONTROLS, AND SECURITY OR INTERCOM SYSTEMS USER CONTROLS.
EXCEPTIONS:
1) RECEPTACLE OUTLETS SERVING A DEDICATED USE.
2) ONE RECEPTACLE OUTLET IS EXEMPT WHERE THE FOLLOWING ARE MET:
(a) IT IS ABOVE A LENGTH OF COUNTERTOP UNINTERRUPTED BY A SINK OR APPLIANCE.
(b) AT LEAST ONE, AND ALL, OTHER RECEPTACLE OUTLETS COMPLIANT WITH OPERABLE PARTS IS/ARE PROVIDED IN THE SAME LENGTH OF COUNTERTOP.
3) FLOOR RECEPTACLE OUTLETS.
4) HVAC DIFFUSERS.
5) CONTROLS MOUNTED ON CEILING FANS.
6) APPLIANCE CONTROLS OR SWITCHES.
7) PLUMBING FIXTURE CONTROLS.
(NOT LISTED ONE WAY OR THE OTHER: OPERABLE WINDOWS OPERATING HARDWARE)

309.2 CLEAR FLOOR SPACE

OPERABLE PARTS REQUIREMENTS:

1) SHALL BE PROVIDED A CLEAR FLOOR SPACE, WITH A FLOOR SURFACE AS REQUIRED ABOVE WITH SLOPE NOT STEEPER THAN 1V:48H; MEASURING MIN 30 INCHES BY MIN 48 INCHES; WITH EITHER A FORWARD OR PARALLEL APPROACH. KNEE AND TOE CLEARANCES ARE PERMITTED AS DESCRIBED FOR LAVATORIES.

309.3 REACH RANGES

2) WITHIN ONE OR MORE REACH RANGES:
a) MIN 15 INCHES TO MAX 48 INCHES AFF FOR FORWARD REACH, WITH MAX 20 INCHES DEEP COUNTERTOP OBSTRUCTION, AND MAX 44 INCHES AFF WITH 20 TO MAX 25 INCHES DEEP COUNTERTOP OBSTRUCTION
b) MIN 15 INCHES TO MAX 48 INCHES AFF FOR SIDE REACH, WITH MAX 10 INCHES DEEP AND MAX 34 INCHES HIGH CURB-LIKE OBSTRUCTION, AND MAX 46 INCHES AFF WITH GREATER THAN 10 TO MAX 24 INCHES DEEP CABINET OBSTRUCTION.

LAUNDRY 1004.10

1004.10.1 CLEAR FLOOR SPACES
MIN CLEAR FLOOR SPACE 30 INCHES BY 48 INCHES PARALLEL APPROACH CENTERED ON THE APPLIANCE.

TYPE 'B' UNIT REQUIREMENTS (CONT'D)

TOILET AND BATHING FACILITIES-GENERAL 1004.11

1004.11.3 SCOPE

EITHER ALL FIXTURES IN ALL TOILET AND BATHING ROOMS IN THE DWELLING UNIT SHALL COMPLY WITH OPTION 'A', OR ONLY ONE OF EACH TYPE OF FIXTURE SHALL BE LOCATED IN ONE TOILET AND BATHING ROOM AND SHALL COMPLY WITH OPTION 'B'; EXCEPT FIXTURES ON LEVELS NOT REQUIRED TO BE ACCESSIBLE. (FHAA CONSIDERS TUBS AND SHOWERS AS THE SAME KIND OF FIXTURE, I.E. BATHING FIXTURE.)

1004.11.1 CLEAR FLOOR SPACES

CLEAR FLOOR SPACES AT FIXTURES AND REQUIRED TURNING SPACE MAY OVERLAP. (FHAA - MANEUVERING SPACE REQUIRED FOR PERSON IN A WHEELCHAIR OR OTHER MOBILITY AID TO ENTER, CLOSE THE DOOR, USE FIXTURES, REOPEN DOOR AND EXIT.)

1004.11.1.1 DOORS

DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE FOR ANY FIXTURE, EXCEPT WHEN BEYOND THE DOOR SWING THERE IS A 30 X 48 CLEAR FLOOR SPACE THAT DOES NOT INCLUDE KNEE AND TOE CLEARANCES UNDER FIXTURES. (FHAA ALLOWS INCLUSION OF THE KNEE AND TOE CLEARANCES FOR MANEUVERING SPACE.)

1004.11.1.2 KNEE AND TOE CLEARANCE

1) MIN 27 INCHES VERTICAL KNEE CLEARANCE AT APRON / LEADING EDGE OF FIXTURE BOTTOM, MIN 27 INCHES VERTICAL CLEARANCE AT MIN 8 INCHES FROM LEADING EDGE OF FIXTURE, AND MIN 9 INCHES VERTICAL CLEARANCE FOR TOES AND SHIELD FOR A MIN 11 INCHES HORIZONTAL CLEARANCE FOR KNEES (LEGS) AND MAX 6 INCHES HORIZONTAL FOR TOES.
2) MIN 17 INCHES AND MAX 25 INCHES TOTAL HORIZONTAL CLEARANCE BENEATH THE FIXTURE.

1004.11.2 REINFORCEMENT

PROVIDED FOR FUTURE INSTALLATION OF GRAB BARS AND SHOWER SEATS AT ALL WATER CLOSETS, BATHTUBS AND SHOWER COMPARTMENTS AS DIAGRAMMED.
EXCEPT: NOT REQUIRED IN ROOM CONTAINING ONLY A LAVATORY AND A WATER CLOSET, AS LONG AS THESE FIXTURES ARE NOT THE ONLY LEVEL OF THE ACCESSIBLE UNIT.
EXCEPT: NOT REQUIRED FOR SHOWER SEAT IN SHOWER COMPARTMENTS LARGER THAN MIN 36X36.

1004.11.3.1 TOILET AND BATHING FACILITIES - OPTION 'A'

1004.11.3.1.1, 606 LAVATORIES

1) MIN 30X48 INCHES PARALLEL APPROACH CLEAR FLOOR SPACE CENTERED ON THE LAVATORY;
EXCEPT AN ACCESSIBLE SINK PERMITTED WITH FORWARD APPROACH AS FOLLOWS:
1) MIN 30X48 CLEAR FLOOR SPACE.
2) MIN 27 INCHES VERTICAL KNEE CLEARANCE AT APRON / LEADING EDGE OF LAVATORY BOTTOM, MIN 27 INCHES VERTICAL CLEARANCE AT MIN 8 INCHES FROM LEADING EDGE OF LAVATORY, AND MIN 9 INCHES VERTICAL CLEARANCE AT PIPES AND SHIELD FOR A MIN 11 INCHES HORIZONTAL CLEARANCE FOR KNEES (LEGS) AND MAX 6 INCHES HORIZONTAL FOR TOES.
3) MIN 17 INCHES AND MAX 25 INCHES TOTAL HORIZONTAL CLEARANCE BENEATH THE LAVATORY.
4) MAX 34 INCHES AFF TO HIGHER OF EITHER LAVATORY RIM OR COUNTER SURFACE.
5) FAUCETS SHALL BE OPERABLE WITH ONE HAND AND NOT REQUIRE GRASPING, PINCHING, OR WRIST TWISTING, WITH MAX FORCE OF 5.0 POUNDS. HAND-OPERATED METERING FAUCETS SHALL REMAIN OPEN FOR MIN 10 SECONDS. (REACH RANGE IS EXEMPT FOR FAUCETS AND SOAP DISPENSERS.)
6) INSULATE WATER SUPPLY AND WASTE PIPE OR CONFIGURE TO AVOID CONTACT.
7) SURFACES BENEATH LAVATORIES SHALL NOT BE SHARP OR ABRASIVE.

EXCEPT: CABINET NOT PERMITTED UNDER A LAVATORY PROVIDED IT CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE LAVATORY.
FINISH FLOOR SHALL EXTEND UNDER THE CABINET.

1004.11.3.1.2, 11.3.1.2.1, 11.3.1.2.2, 11.3.1.2.3 WATER CLOSETS

1) TOILET CENTERLINE SHALL BE MIN 18 INCHES CLEAR TO A WALL, BATHTUB OR LAVATORY OPPOSITE THE APPROACH AND MIN 15 INCHES CLEAR ON APPROACH SIDE.
2) TOILET SHALL BE POSITIONED TO ALLOW FOR FUTURE GRAB BAR ON SIDE WITH 18 INCHES CLEARANCE.
3) PARALLEL APPROACH CLEAR FLOOR SPACE - MIN 58 INCHES FROM REAR WALL AND MIN 48 INCHES FROM SIDE WALL, OR POINT 18 INCHES FROM TOILET CENTERLINE, OPPOSITE THE APPROACH. VANITY OR LAVATORY ON REAR WALL APPROACH SIDE WITH CLEARANCE INDICATED ABOVE IS PERMITTED TO OVERLAP THIS SPACE.
4) FORWARD APPROACH CLEAR FLOOR SPACE - MIN 66 INCHES FROM REAR WALL AND MIN 48 INCHES FROM SIDE WALL, OR POINT 18 INCHES FROM TOILET CENTERLINE, OPPOSITE THE APPROACH. VANITY OR LAVATORY ON REAR WALL APPROACH SIDE WITH CLEARANCE INDICATED ABOVE IS PERMITTED TO OVERLAP THIS SPACE.
5) PARALLEL OR FORWARD APPROACH CLEAR FLOOR SPACE - MIN 56 INCHES FROM REAR WALL AND MIN 42 INCHES FROM TOILET CENTERLINE ON PARALLEL APPROACH SIDE, AND 18 INCHES FROM TOILET CENTERLINE OPPOSITE THE PARALLEL APPROACH. (VANITY OR LAVATORY IS NOT PERMITTED TO OVERLAP THIS SPACE.)

1004.11.3.1.3, 11.3.1.3.1, 11.3.1.3.1, 11.3.1.3.2 BATHTUBS

1) CLEAR FLOOR SPACE FOR PARALLEL APPROACH SHALL BE:
A) MIN 60X30 INCHES ALONG THE TUB, EXCEPT AN ACCESSIBLE LAVATORY AT THE TUB CONTROL END SHALL BE PERMITTED IN THE CLEAR FLOOR SPACE; OR
B) MIN 48X30 INCHES ALONG THE TUB WHEN AT THE TUB CONTROL END THERE IS A LAVATORY WITH MIN 30X48 INCHES PARALLEL APPROACH CLEAR FLOOR SPACE CENTERED ON THE LAVATORY AND PERPENDICULAR TO THE TUB.
2) CLEAR FLOOR SPACE FOR FORWARD APPROACH SHALL BE:
A) MIN 60X48 INCHES PERPENDICULAR TO THE TUB, EXCEPT: A WATER CLOSET AT THE TUB CONTROL END SHALL BE PERMITTED IN THE CLEAR FLOOR SPACE.

11.3.1.3.3 SHOWERS

TOILET AND BATHING FACILITIES - OPTION 'B' 1004.11.3.2

1004.11.3.2.1, 11.3.2.1.1, 11.3.2.1.2, 11.3.2.1.3 LAVATORIES

SAME AS LAVATORIES UNDER OPTION 'A', EXCEPT MAX 34 INCHES AFF TO HIGHER OF EITHER LAVATORY RIM OR COUNTER SURFACE.

1004.11.3.2.2 WATER CLOSETS

SAME AS WATER CLOSETS UNDER OPTION 'A'.

11.3.2.1.3 BATHTUBS

CLEAR FLOOR SPACE FOR PARALLEL APPROACH SHALL BE:
A) MIN 48X30 INCHES ALONG THE TUB WITH NO OTHER FIXTURES PERMITTED IN THE CLEAR FLOOR SPACE.
11.3.2.3.3 SHOWERS

KITCHENS 1004.12

1004.12.1, 1004.12.1.1, 1004.12.1.2 CLEARANCE

MIN CLEARANCE SHALL BE MEASURED BETWEEN FRONTS OF OPPOSING CABINETS AND APPLIANCES, LEADING EDGES OF COUNTERTOPS, AND WALLS (CABINET AND APPLIANCE HANDLES AND HARDWARE ARE EXEMPT).
1) MIN 40 INCHES WITH CABINETS, APPLIANCES AND COUNTERTOPS ALONG A SINGLE WALL OR ALONG TWO PARALLEL WALLS.
2) MIN 60 INCHES WITH CABINETS, APPLIANCES AND COUNTERTOPS IN U-SHAPED ARRANGEMENT WITH THREE CONTIGUOUS SIDES TO ALLOW PARALLEL APPROACH TO ALL SIDES.

1004.12.2.1, 305.3, 606 SINKS

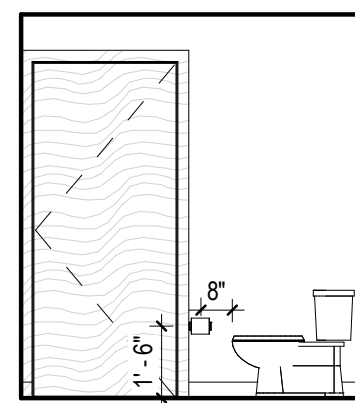
1) CENTERED ON THE BOWL MIN 30X48 PARALLEL APPROACH CLEAR FLOOR SPACE
EXCEPT AN ACCESSIBLE SINK PERMITTED WITH EITHER PARALLEL OR FORWARD APPROACH AS FOLLOWS:
1) MIN 30X48 CLEAR FLOOR SPACE
(OR 36 INCHES WIDE IF CLEAR FLOOR SPACE IS PART OF A TURNING SPACE 'T')
2) MIN 27 INCHES VERTICAL KNEE CLEARANCE AT APRON / LEADING EDGE OF LAVATORY BOTTOM, MIN 27 INCHES VERTICAL CLEARANCE AT MIN 8 INCHES FROM LEADING EDGE OF LAVATORY, AND MIN 9 INCHES VERTICAL CLEARANCE AT PIPES AND SHIELD FOR A MIN 11 INCHES HORIZONTAL CLEARANCE FOR TOES.
3) MIN 17 INCHES AND MAX 25 INCHES TOTAL HORIZONTAL CLEARANCE BENEATH THE LAVATORY.
4) MAX 34 INCHES AFF TO HIGHER OF EITHER LAVATORY RIM OR COUNTER SURFACE.
5) FAUCETS SHALL BE OPERABLE WITH ONE HAND AND NOT REQUIRE GRASPING, PINCHING, OR WRIST TWISTING, WITH MAX FORCE OF 5.0 POUNDS. HAND-OPERATED METERING FAUCETS SHALL REMAIN OPEN FOR MIN 10 SECONDS. (REACH RANGE IS EXEMPT FOR FAUCETS AND SOAP DISPENSERS.)
6) INSULATE WATER SUPPLY AND WASTE PIPE OR CONFIGURE TO AVOID CONTACT.
7) SURFACES BENEATH LAVATORIES SHALL NOT BE SHARP OR ABRASIVE.

1004.12.2.2 DISHWASHERS

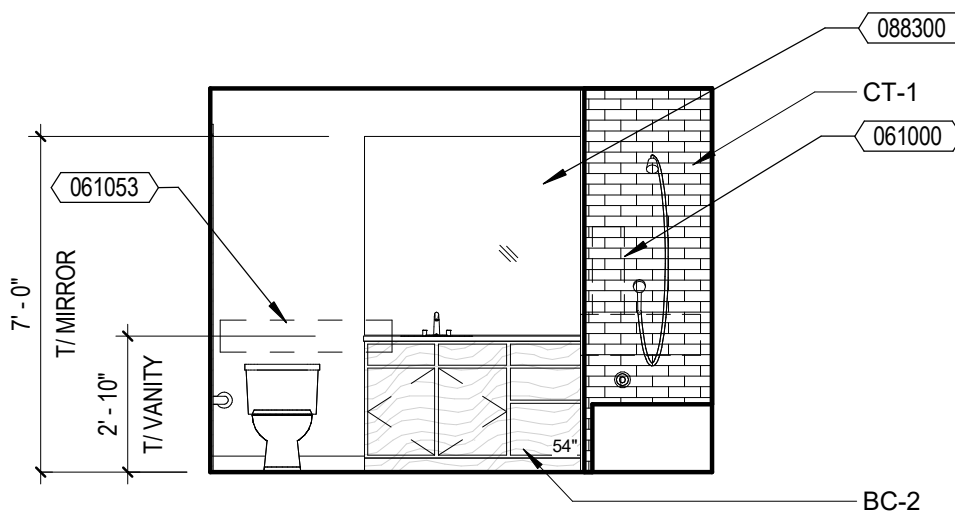
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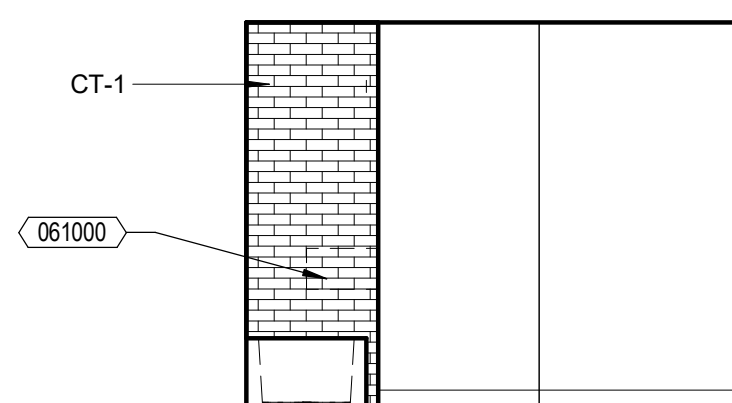
TYPE 'B' AT ALL UNITS



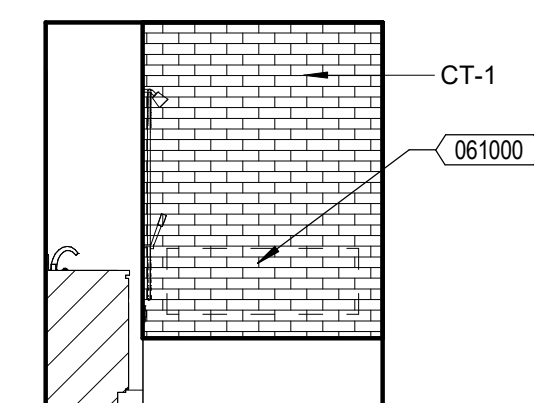
C1 BATH- NORTH UNIT X02
1/4" = 1'-0"



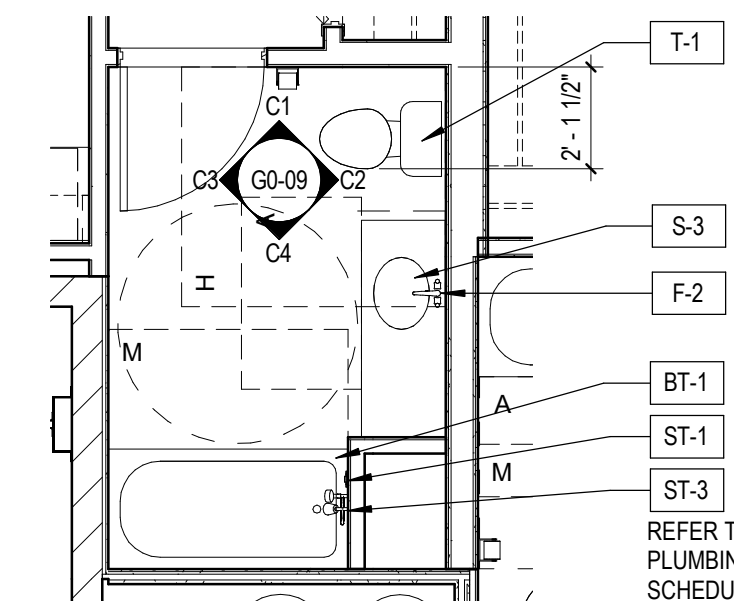
C2 BATH- EAST UNIT X02
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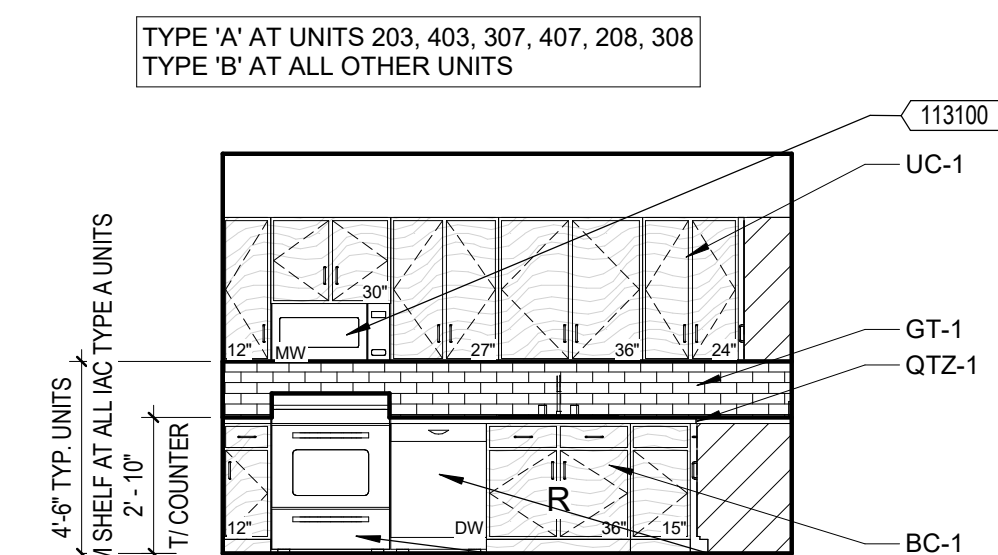
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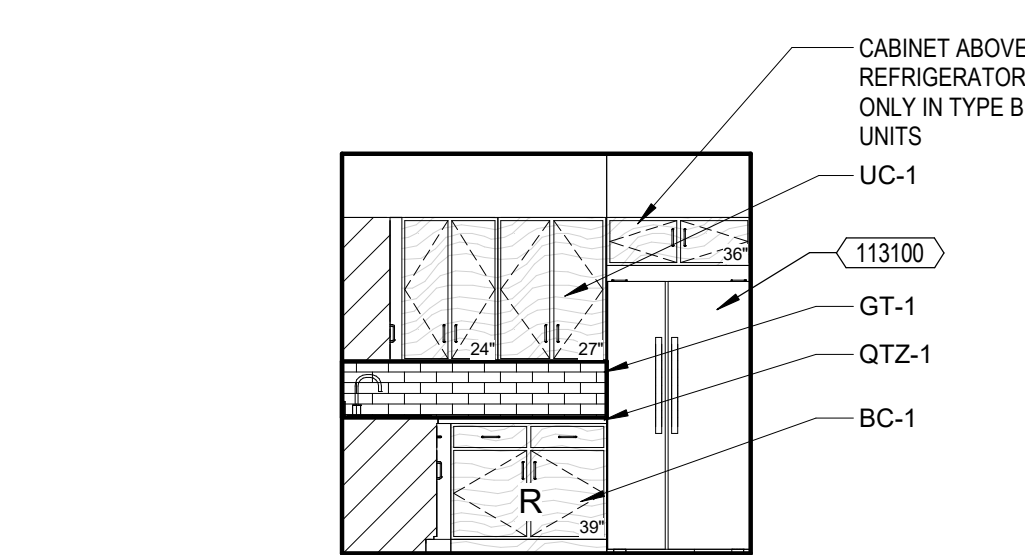
C4 BATH- SOUTH UNIT X02
1/4" = 1'-0"



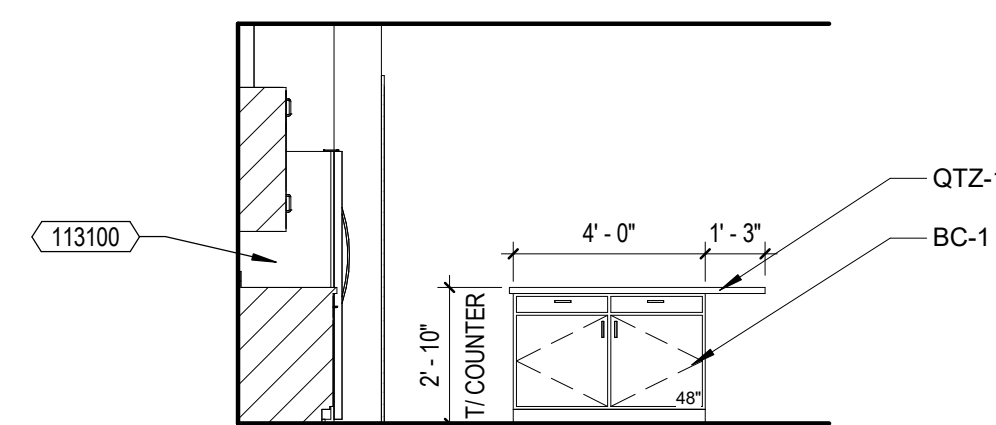
C5 BATH- PLAN UNIT X02
1/4" = 1'-0"



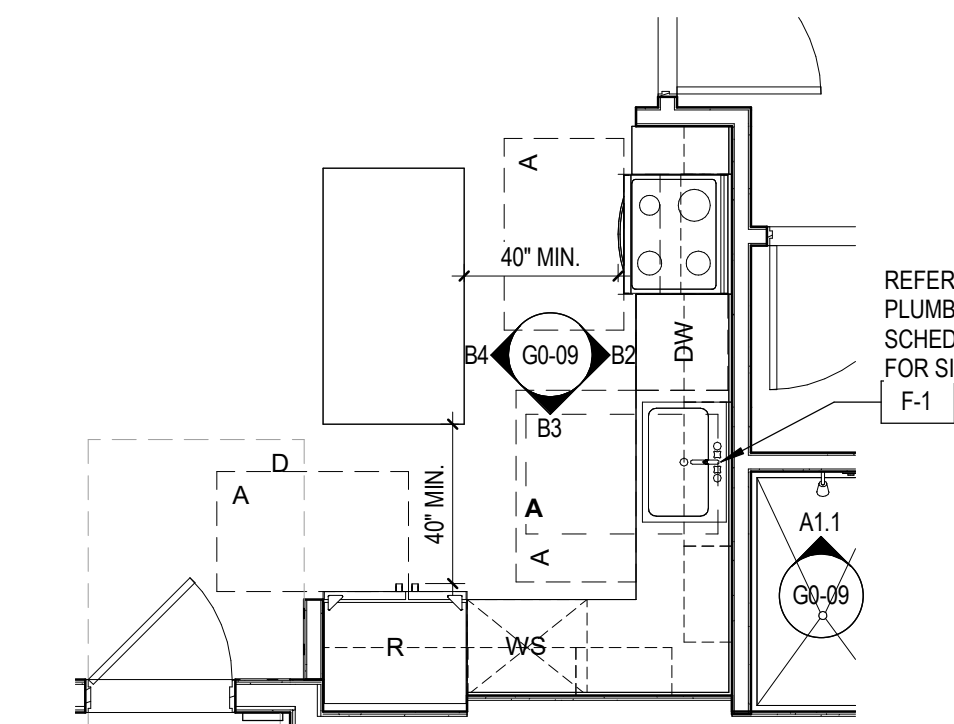
B2 KITCHEN- SINK X03/ X04/ X07/ X08/ X09
1/4" = 1'-0"



B3 KITCHEN- REFRIGERATOR X03/ X04/ X07/ X08/ X09
1/4" = 1'-0"

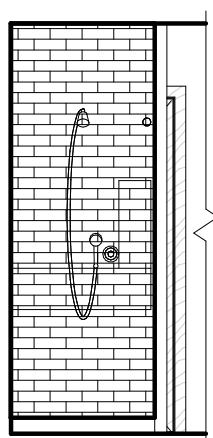


B4 KITCHEN- ISLAND X03/ X04/ X07/ X08/ X09
1/4" = 1'-0"

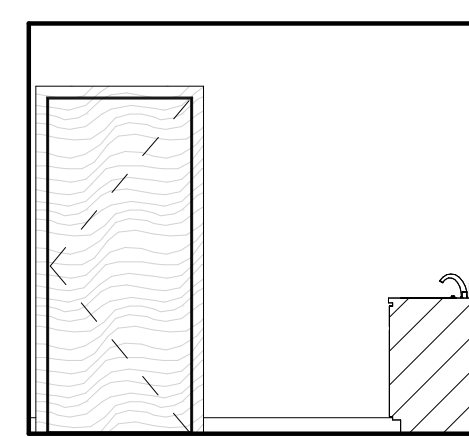


B5 KITCHEN- PLAN X03/ X04/ X07/ X08/ X09
1/4" = 1'-0"

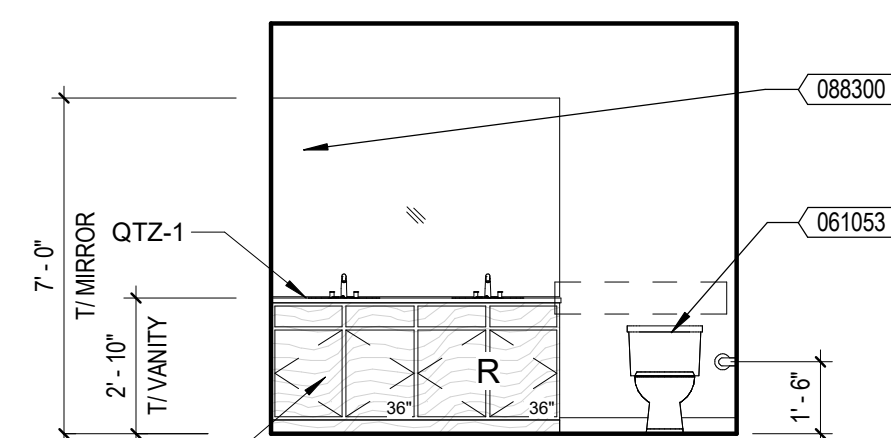
TYPE 'A' AT UNITS 203, 403, 208, 308
TYPE 'B' AT ALL OTHER UNITS



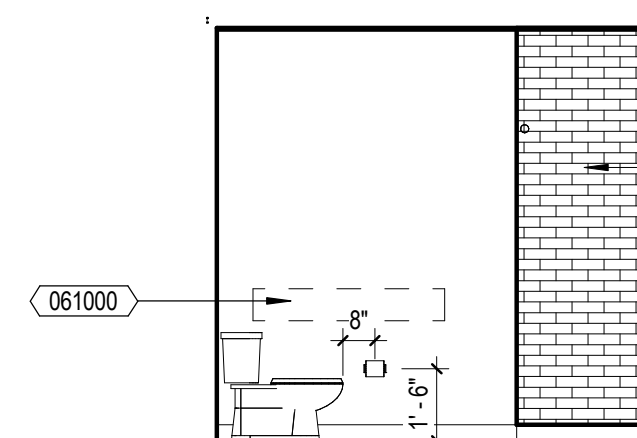
A1.1 BATH (MASTER)- SHOWER X03/ X04/ X08
1/4" = 1'-0"



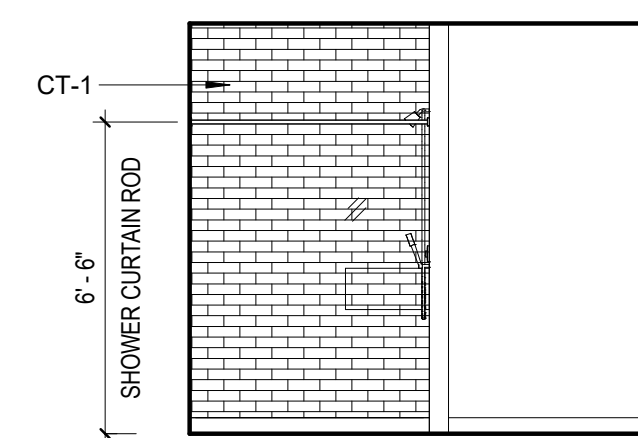
A1 BATH (MASTER)- DOOR X03/ X04/ X08
1/4" = 1'-0"



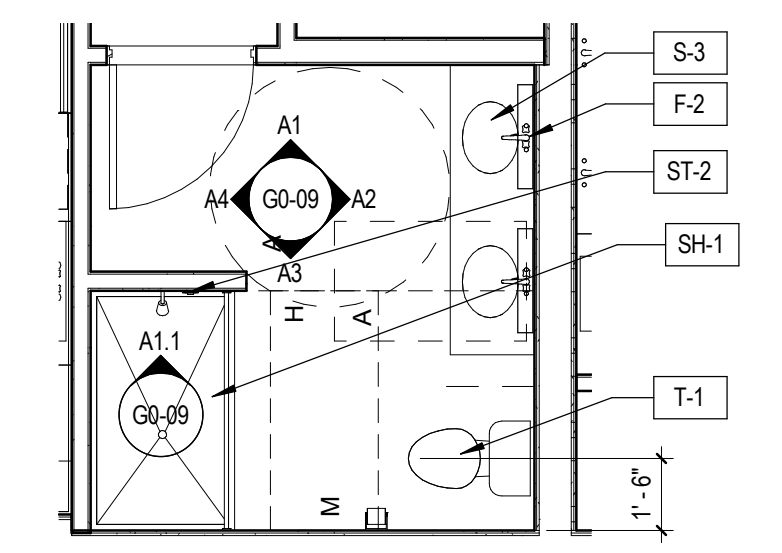
A2 BATH (MASTER)- VANITY X03/ X04/ X08
1/4" = 1'-0"



A3 BATH (MASTER)- TOILET X03/ X04/ X08
1/4" = 1'-0"



A4 BATH (MASTER)- SHOWER X03/ X04/ X08
1/4" = 1'-0"



A5 BATH (MASTER)- PLAN X03/ X04/ X08
1/4" = 1'-0"

PLAN NOTES

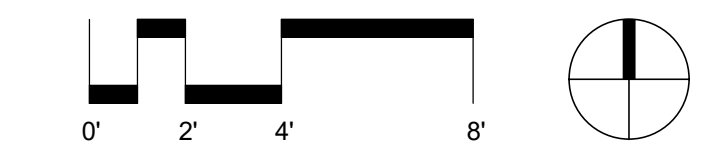
1. FOR ALL REMOVABLE BASE CABINETS AT IAC AND TYPE B UNITS:
 - A) CABINETS TO BE REMOVABLE WITHOUT REMOVAL OR REPLACEMENT OF WORK SURFACE
 - B) FINISH FLOOR SHALL EXTEND UNDERNEATH
 - C) WALL BEHIND AND SURROUNDING TO BE FINISHED

KEYNOTES

- 061000 ROUGH CARPENTRY
- 061053 MISCELLANEOUS ROUGH CARPENTRY
- 088300 MIRRORS
- 113100 RESIDENTIAL APPLIANCES

LEGEND

- GYPSUM BOARD WALL
- CMU WALL
- CONCRETE WALL
- 30" x 48" CLEAR FLOOR AREA REQUIRED FOR ACCESSIBILITY
- 60" x 66" CLEAR FLOOR AREA FOR ACCESSIBLE WATER CLOSETS, VANITIES OR LAVATORIES ON THE WALL BEHIND WATER CLOSET SHALL BE PERMITTED TO OVERLAP.
- 5'-0" CLEAR TURNING AREA REQUIRED FOR ACCESSIBILITY
- 60" x 60" "T" TURNING AREA REQUIRED FOR ACCESSIBILITY
- 36" WIDE DOOR OPENING WITH 18" MINIMUM CLEAR FLOOR AREA IN THE DIRECTION OF DOOR PULL, OR 12" MINIMUM CLEAR FLOOR AREA IN THE DIRECTION OF DOOR PUSH, ON LATCH SIDE, MINIMUM 60" DEEP
- 30" CLEAR FLOOR AREA FOR APPROACH TO BATHTUB
- 60" x 66" CLEARANCE FOR WATER CLOSETS IN TYPE A UNITS, WITH OTHER FIXTURES PERMITTED TO OVERLAP
- 30" WIDE ACCESSIBLE KITCHEN WORK SURFACE
- R REMOVABLE CABINETS. REFER TO ACCESSIBILITY NOTES AND CHART FOR REQUIRED LOCATIONS.



CONSULTANT:

11144

Ravinia

515-555 Roger Williams Avenue
Highland Park, IL 60035

CLIENT:
Imperial Realty Co.

4747 W. Peterson Ave.
Suite 200
Chicago, IL 60646

Issue for Permit / Bid 03/24/17
Issue for Design 11/12/14
Development

#	DESCRIPTION	DATE

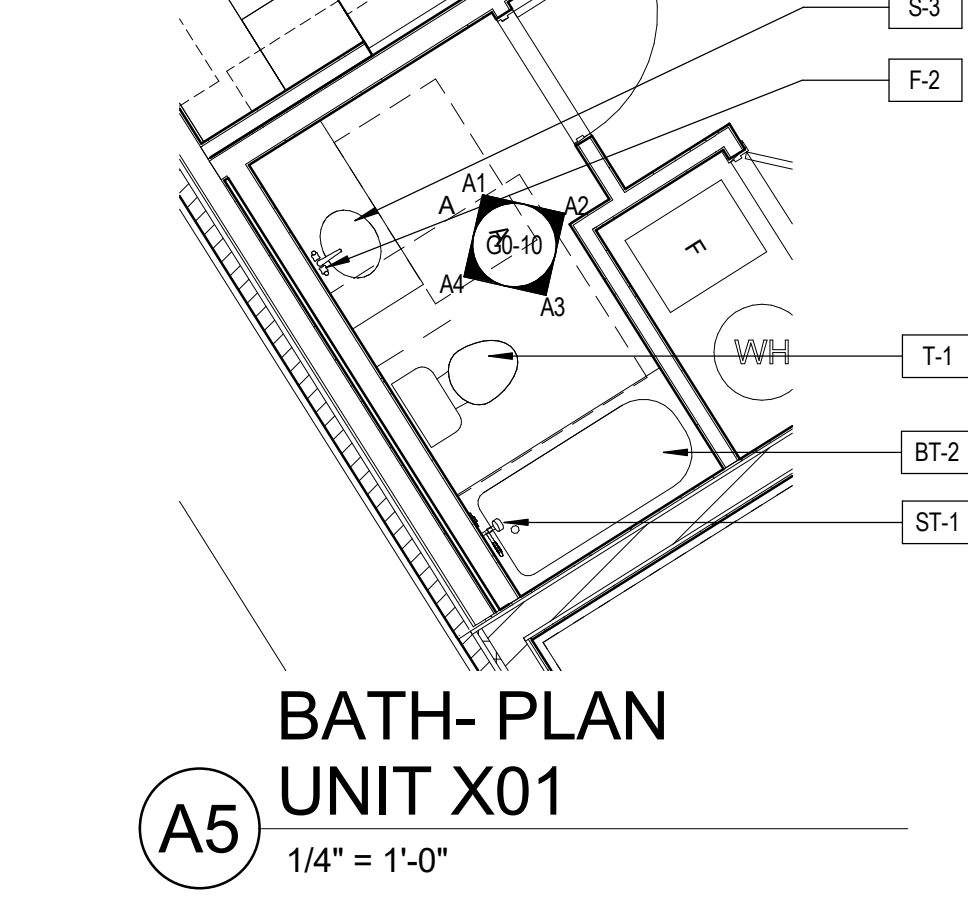
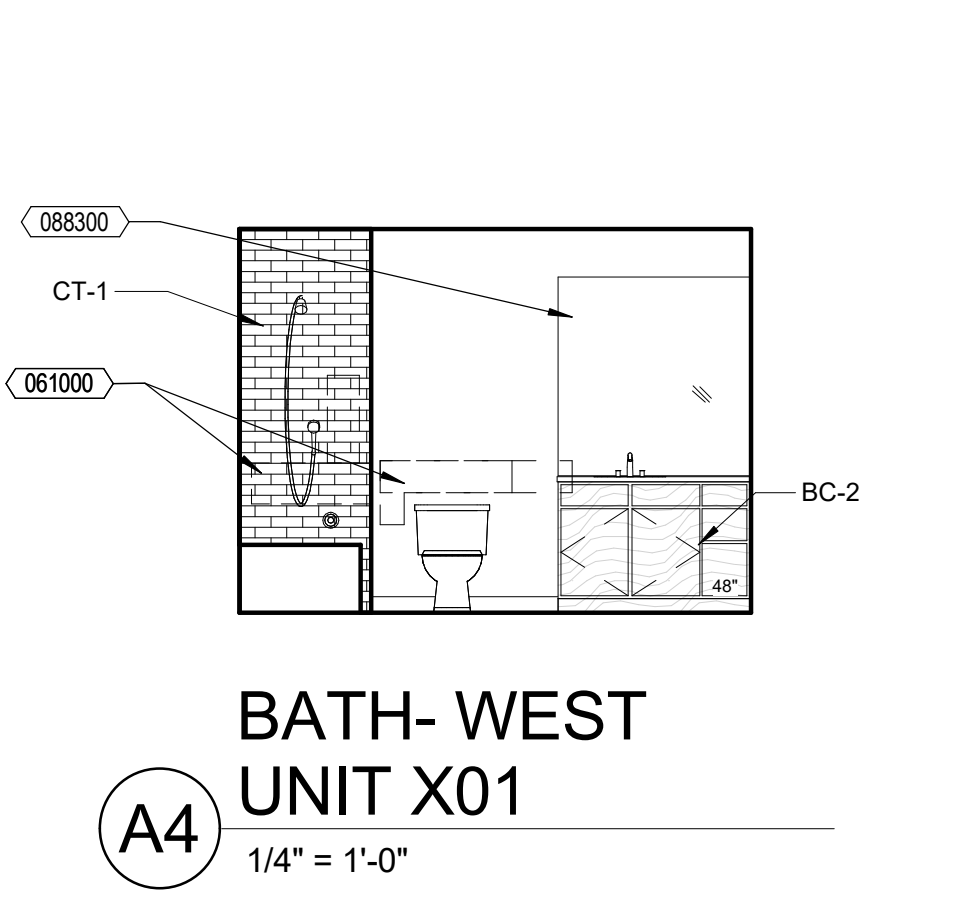
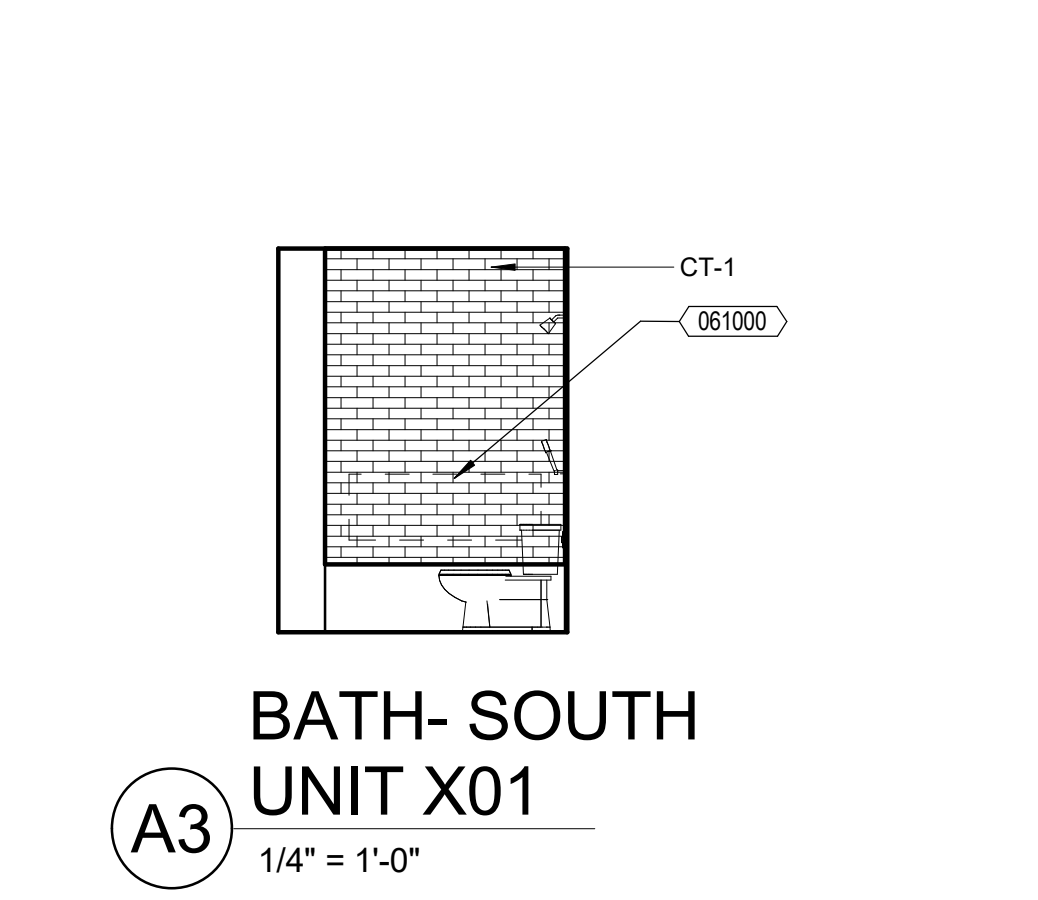
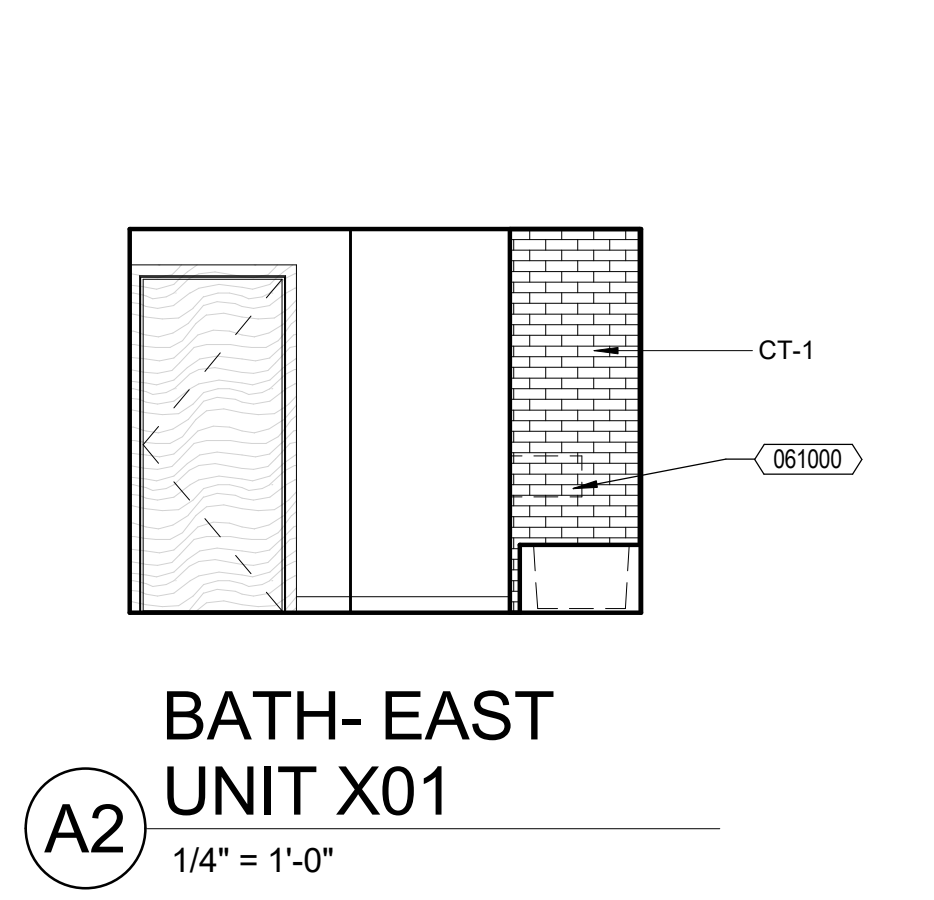
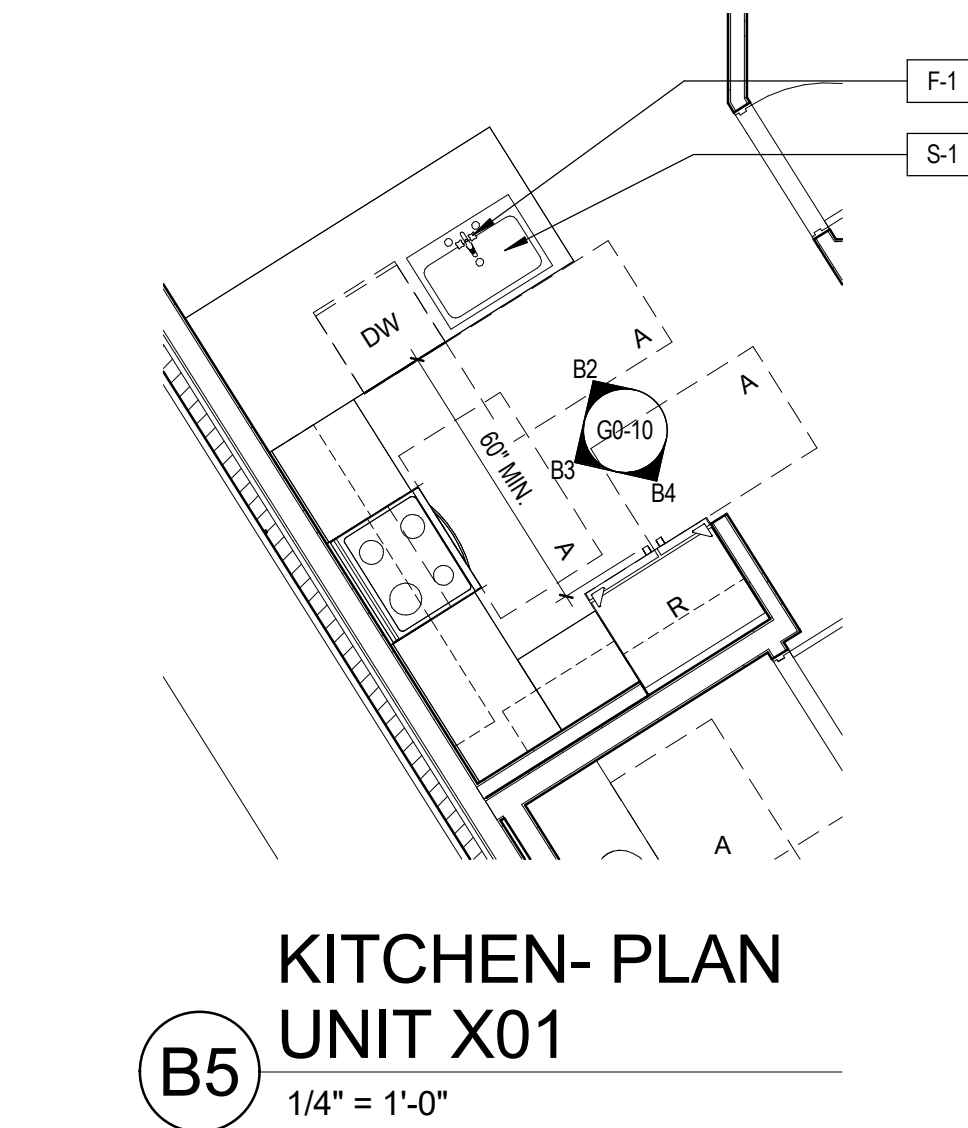
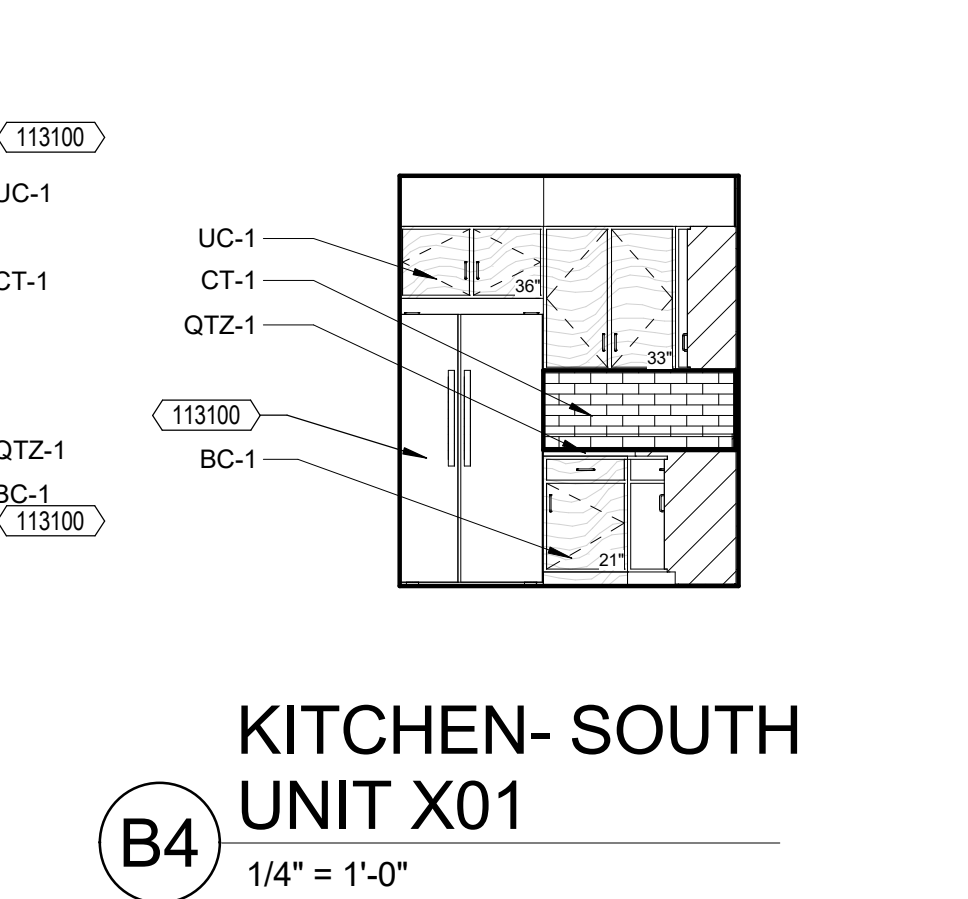
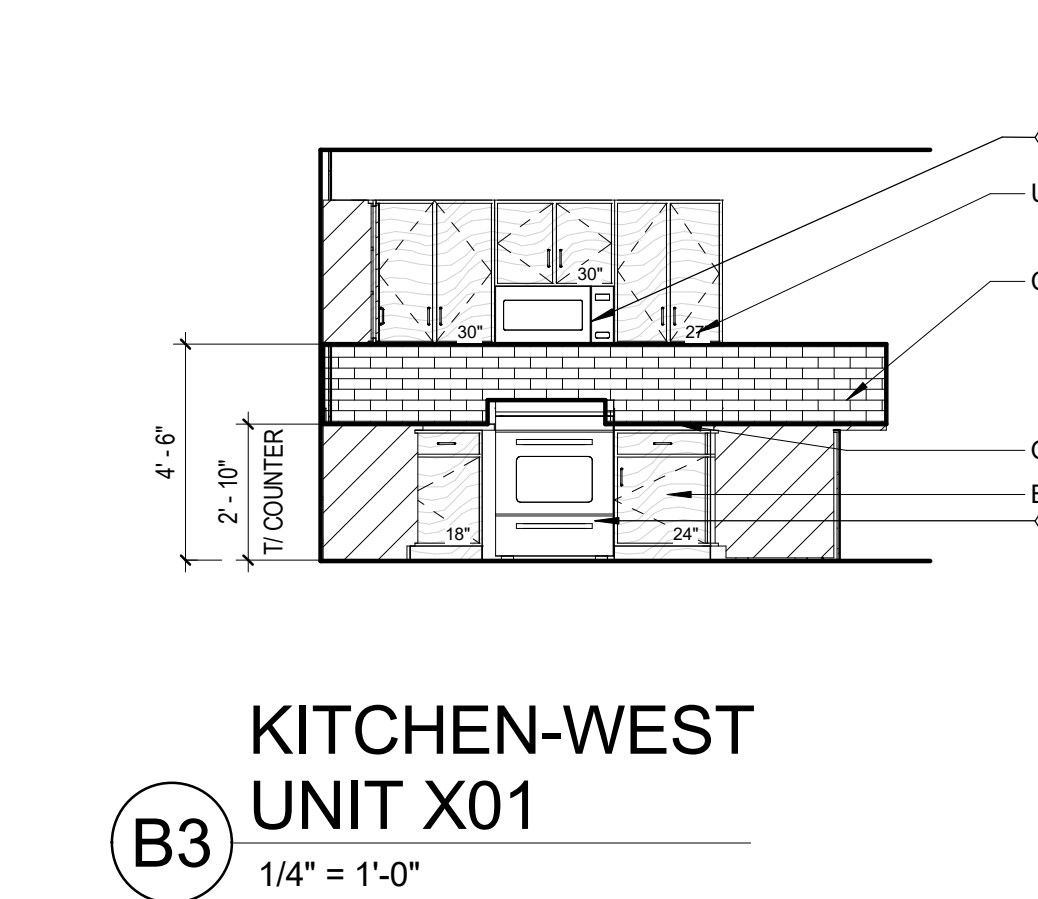
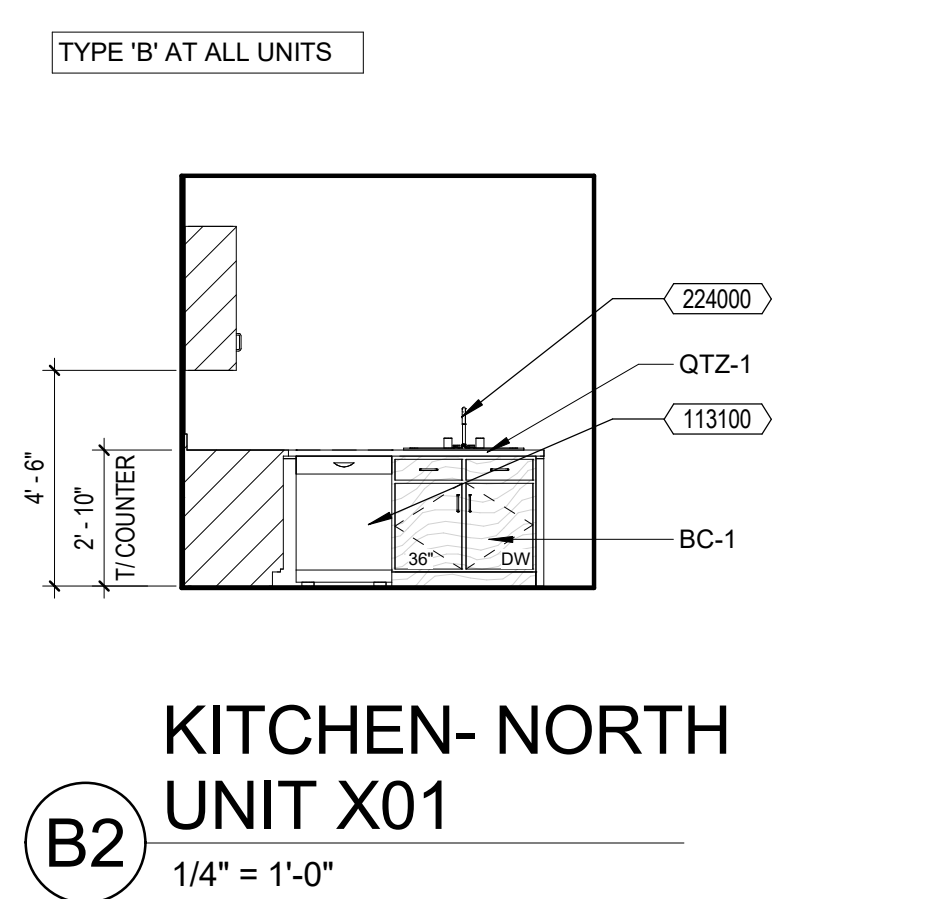
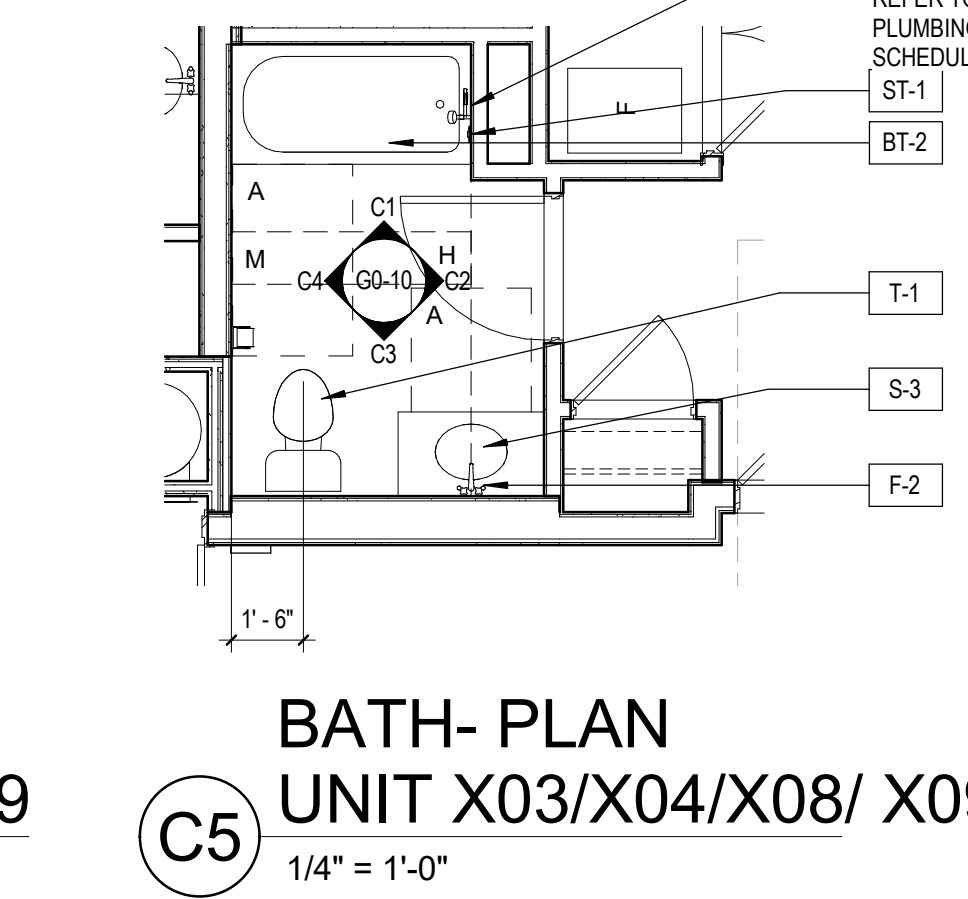
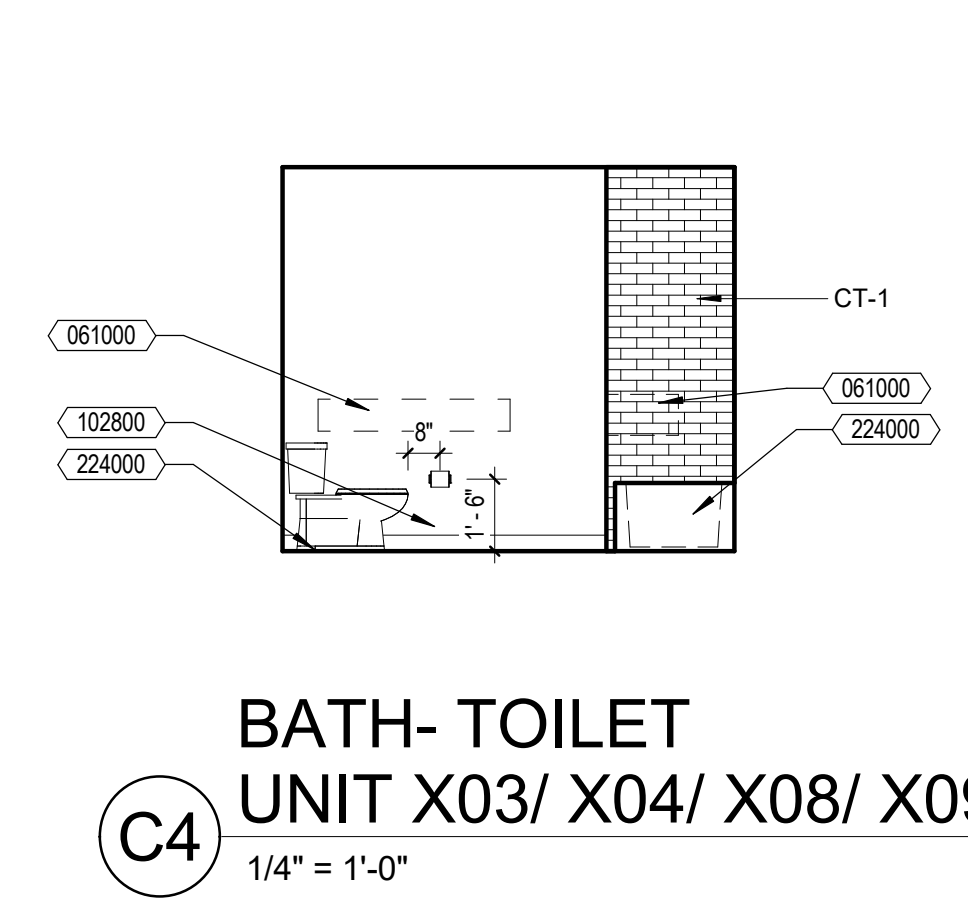
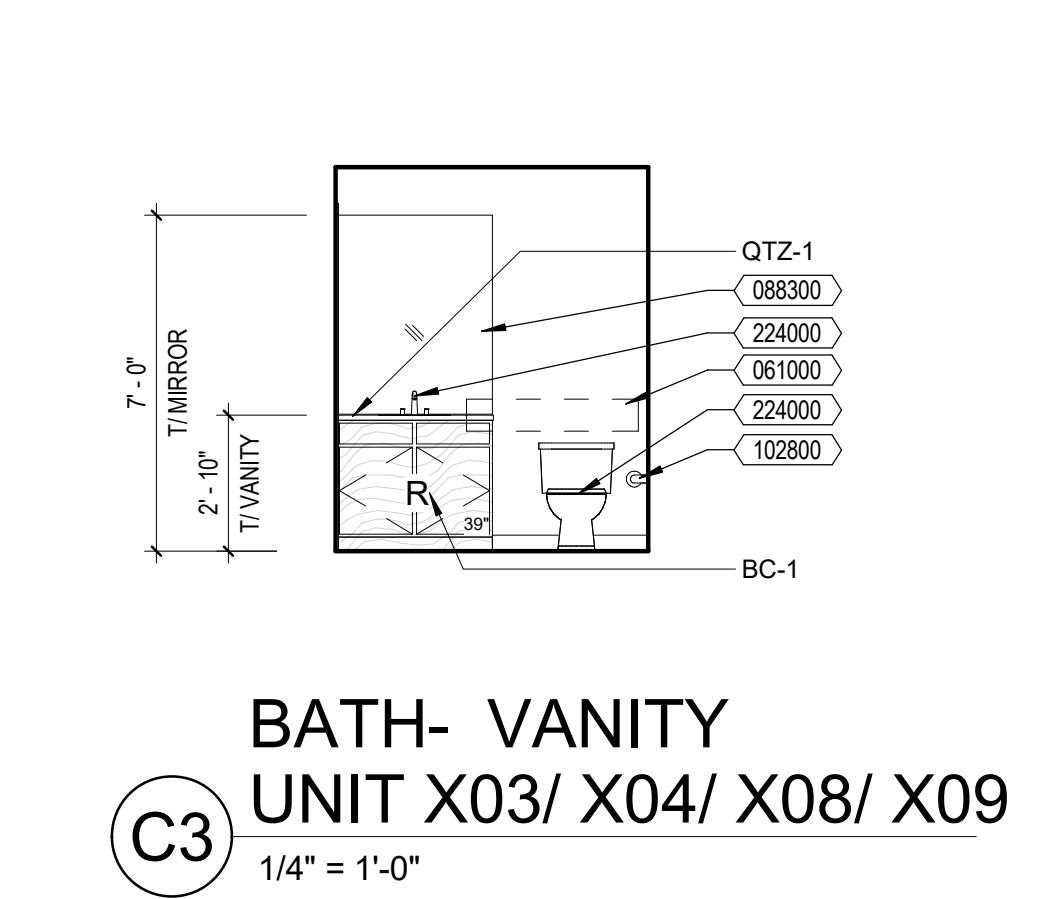
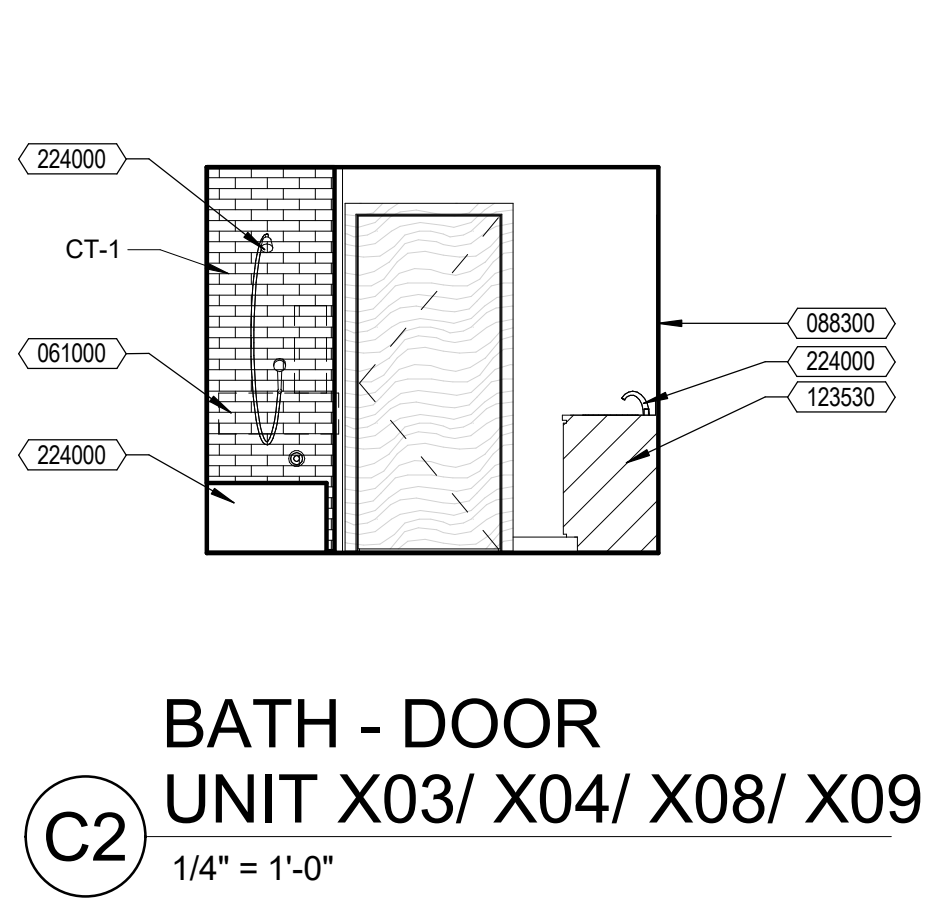
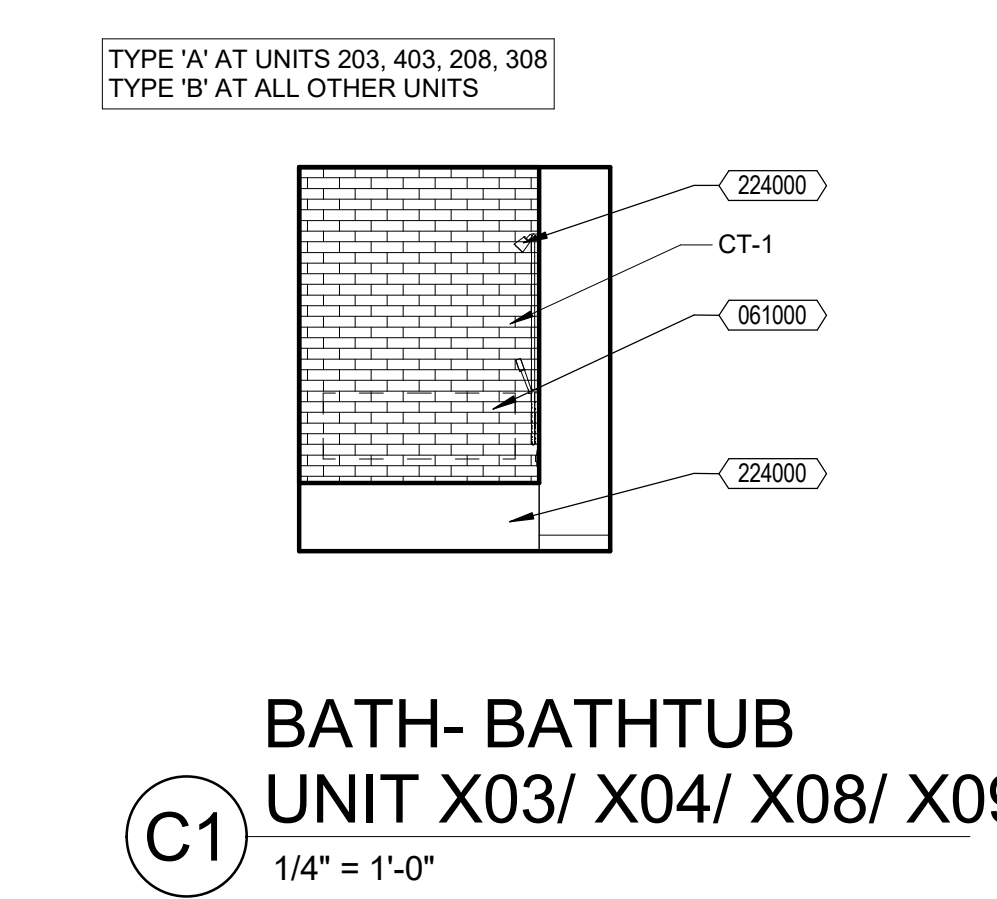
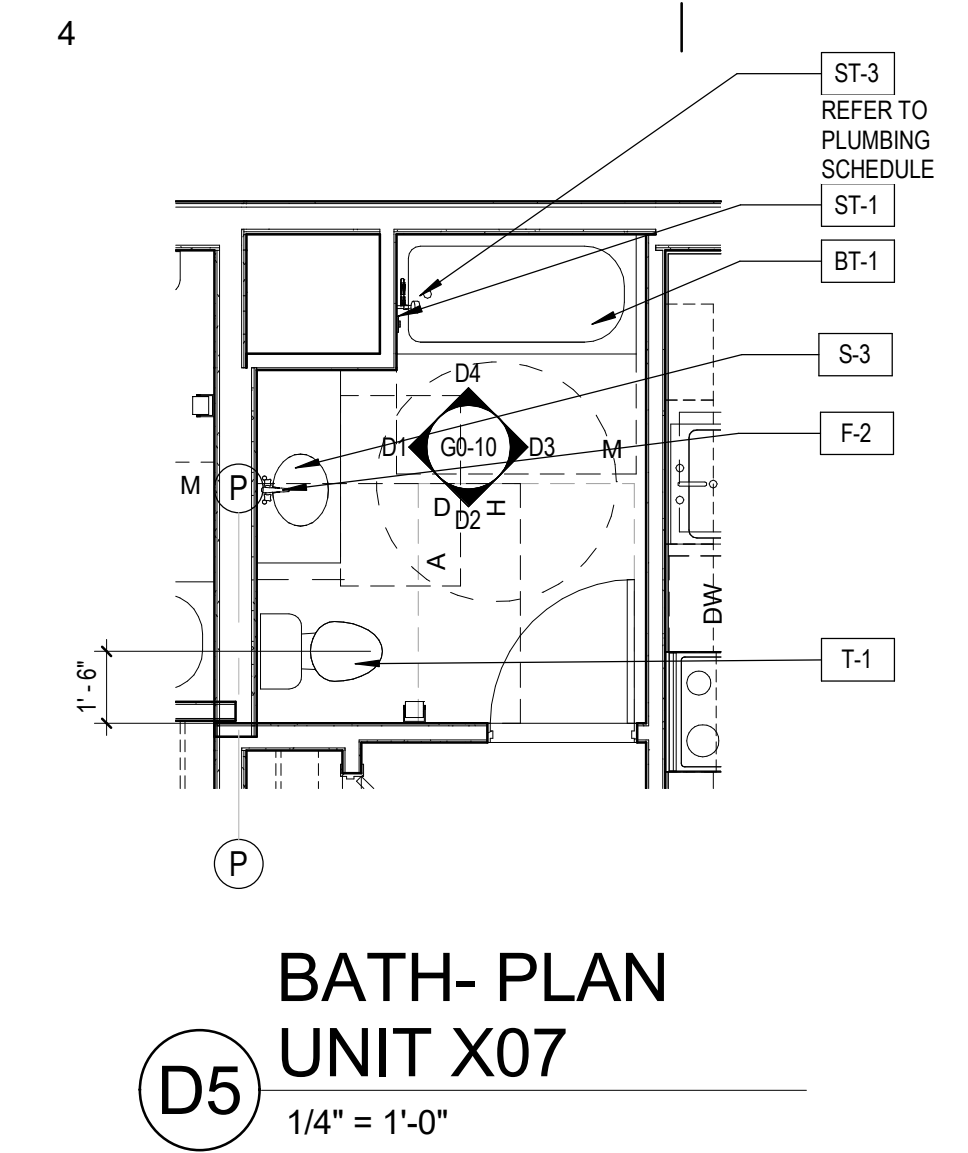
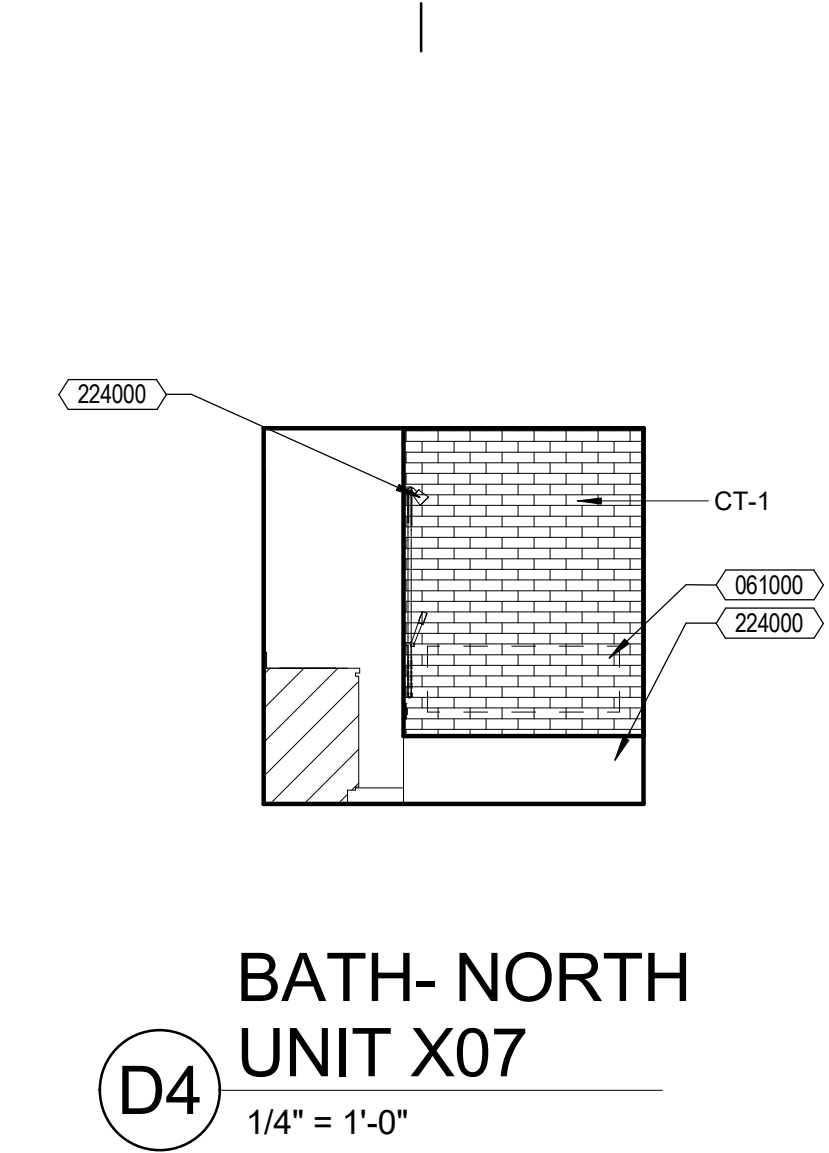
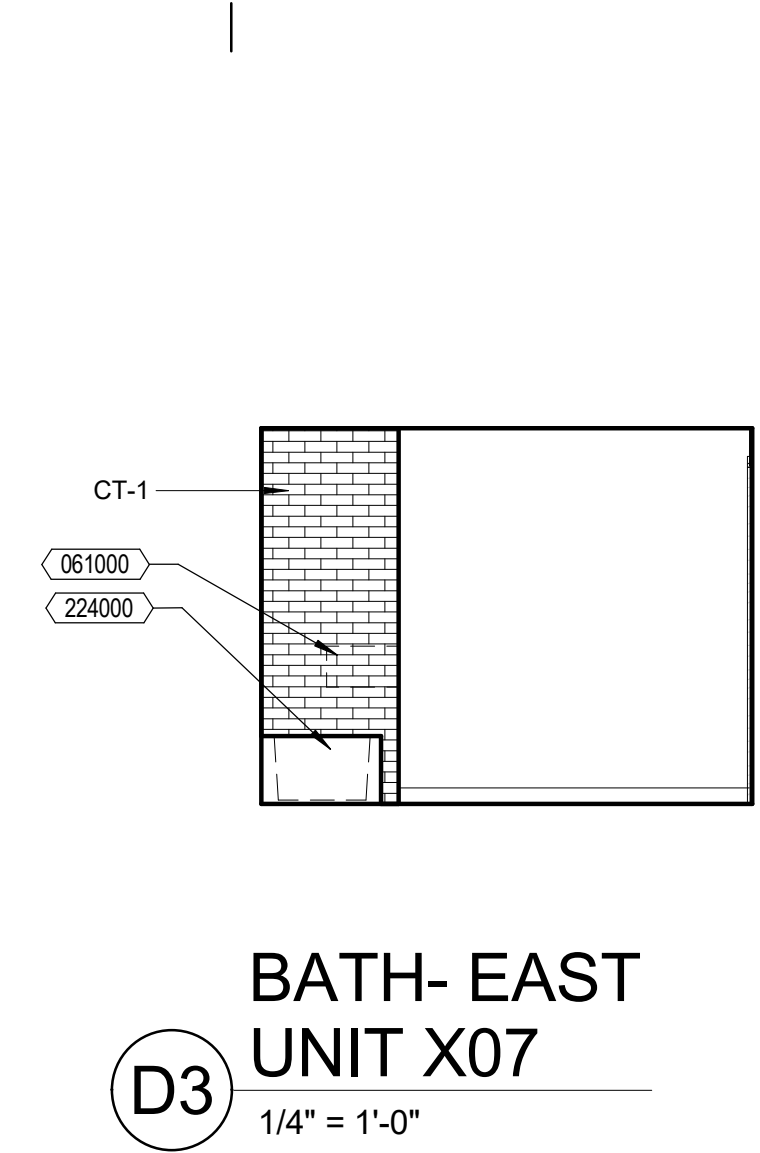
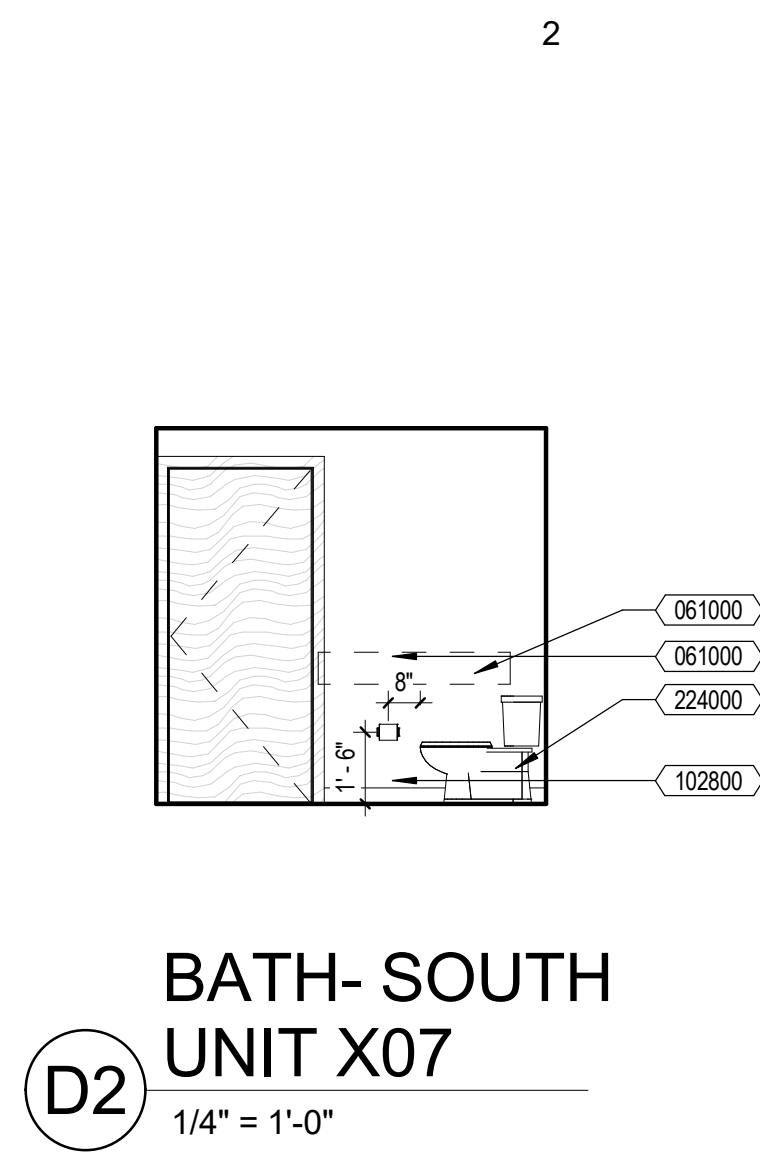
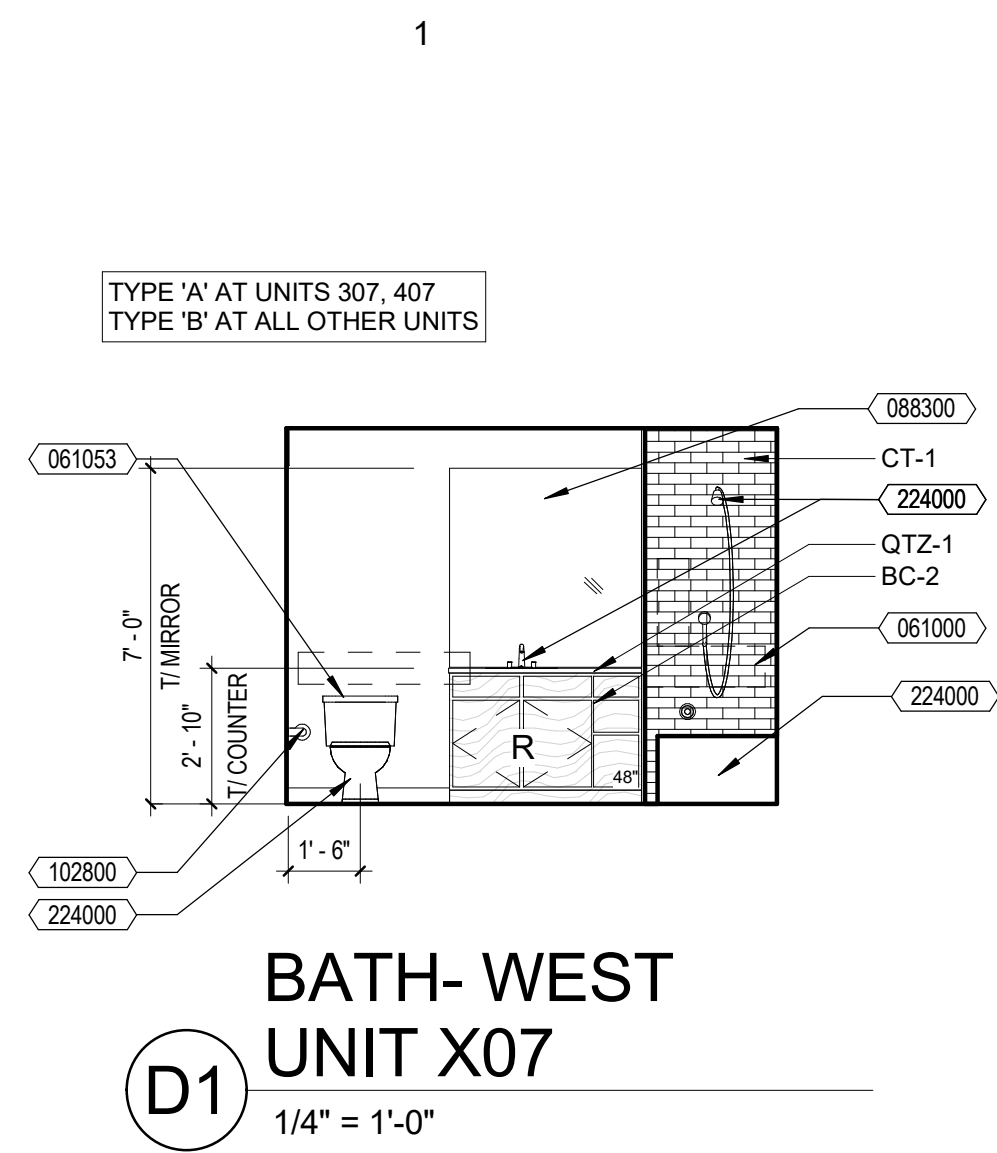


ACCESSIBLE KITCHEN AND BATHROOM PLANS AND INTERIOR ELEV.

G0-09

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PLAN NOTES

1. FOR ALL REMOVABLE BASE CABINETS AT IAC AND TYPE B UNITS:

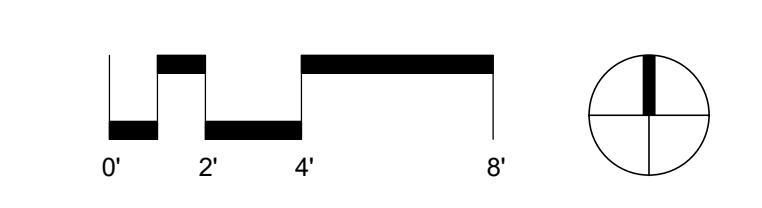
A) CABINETS TO BE REMOVABLE WITHOUT REMOVAL OR REPLACEMENT OF WORK SURFACE
B) FINISH FLOOR SHALL EXTEND UNDERNEATH
C) WALL BEHIND AND SURROUNDING TO BE FINISHED

KEYNOTES

061000	ROUGH CARPENTRY
061053	MISCELLANEOUS ROUGH CARPENTRY
088300	MIRRORS
102800	TOILET, BATH, AND LAUNDRY ACCESSORIES
113100	RESIDENTIAL APPLIANCES
123530	RESIDENTIAL CASEWORK
224000	RESIDENTIAL PLUMBING FIXTURES

LEGEND

- GYPSUM BOARD WALL
- CMU WALL
- CONCRETE WALL
- 30" x 48" CLEAR FLOOR AREA REQUIRED FOR ACCESSIBILITY
- 60" x 66" CLEAR FLOOR AREA FOR ACCESSIBLE WATER CLOSETS, VANITIES OR LAVATORIES ON THE WALL BEHIND WATER CLOSET SHALL BE PERMITTED TO OVERLAP.
- 5'-0" CLEAR TURNING AREA REQUIRED FOR ACCESSIBILITY
- 60" x 60" T" TURNING AREA REQUIRED FOR ACCESSIBILITY
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- 30" CLEAR FLOOR AREA FOR APPROACH TO BATHTUB
- 60" x 66" CLEARANCE FOR WATER CLOSETS IN TYPE A UNITS, WITH OTHER FIXTURES PERMITTED TO OVERLAP
- 36" WIDE ACCESSIBLE KITCHEN WORK SURFACE
- REMOVABLE CABINETS. REFER TO ACCESSIBILITY NOTES AND CHART FOR REQUIRED LOCATIONS.



FitzGerald
Associates Architects
912 W. Lake St. Chicago, Illinois
t 312-563-9100
f 312-563-1919
www.fitzgeraldassociates.net

CONSULTANT:

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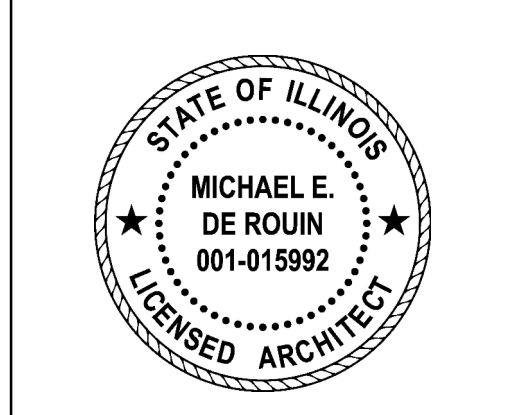
Ravinia

515-555 Roger Williams Avenue
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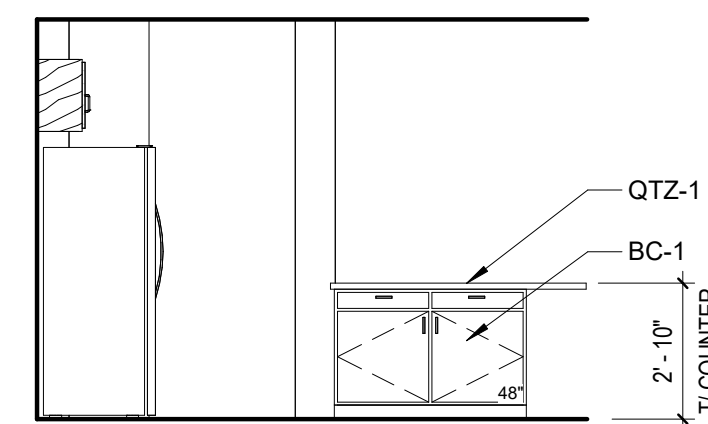
ACCESSIBLE KITCHEN AND BATHROOM PLANS AND INTERIOR ELEV.

G0-10

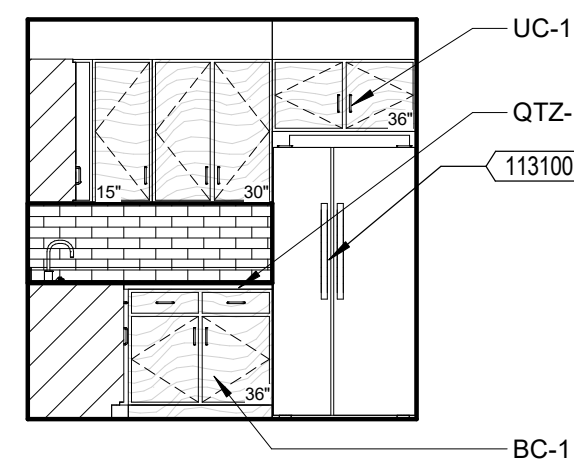
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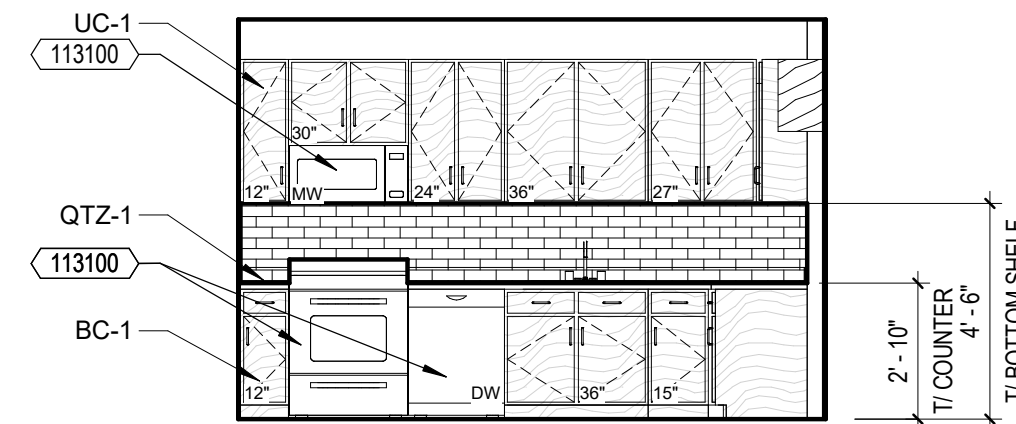
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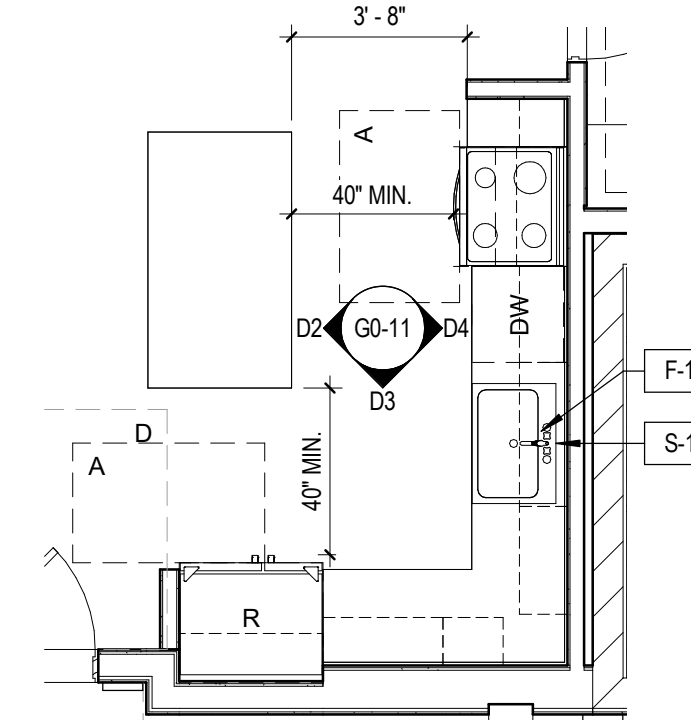
D2 KITCHEN-ISLAND UNIT X05
1/4" = 1'-0"



D3 KITCHEN- SOUTH UNIT X05
1/4" = 1'-0"

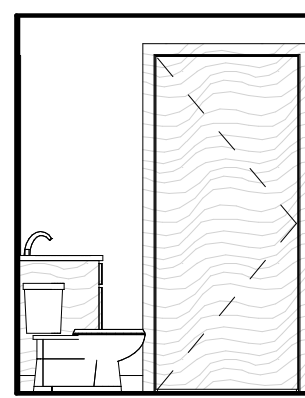


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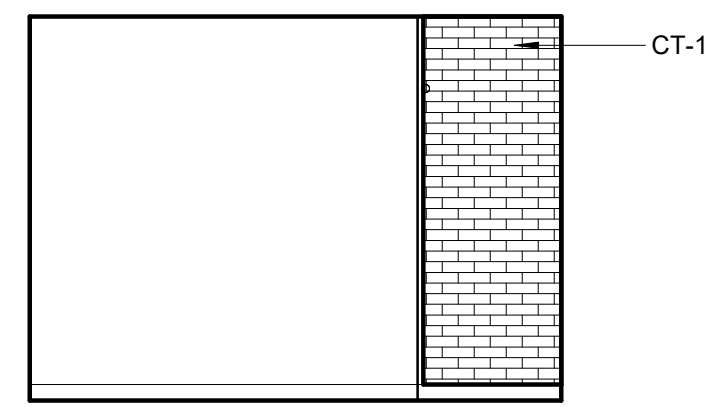


D5 KITCHEN- PLAN UNIT X05
1/4" = 1'-0"

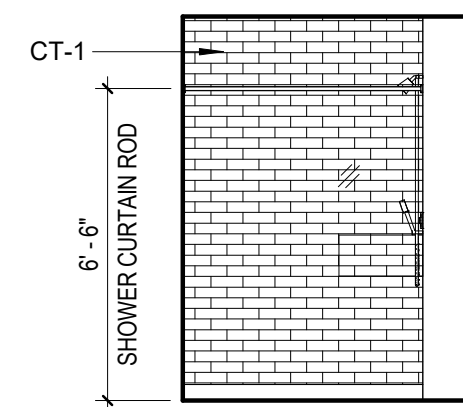
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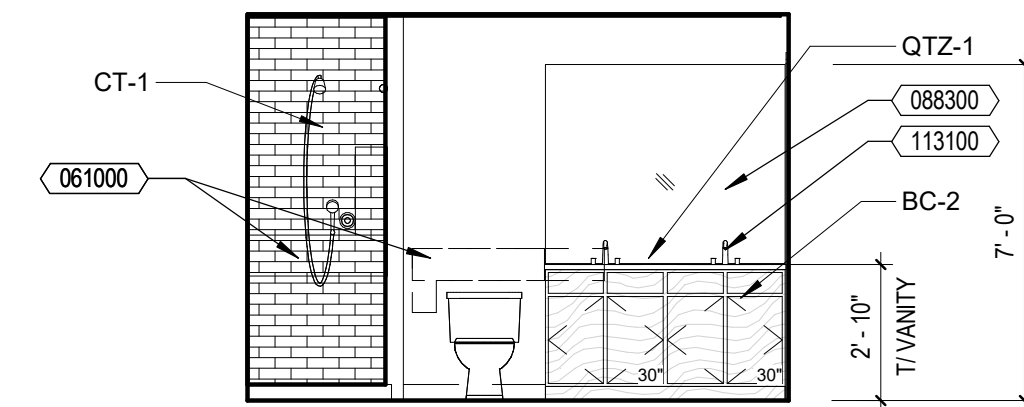
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1/4" = 1'-0"



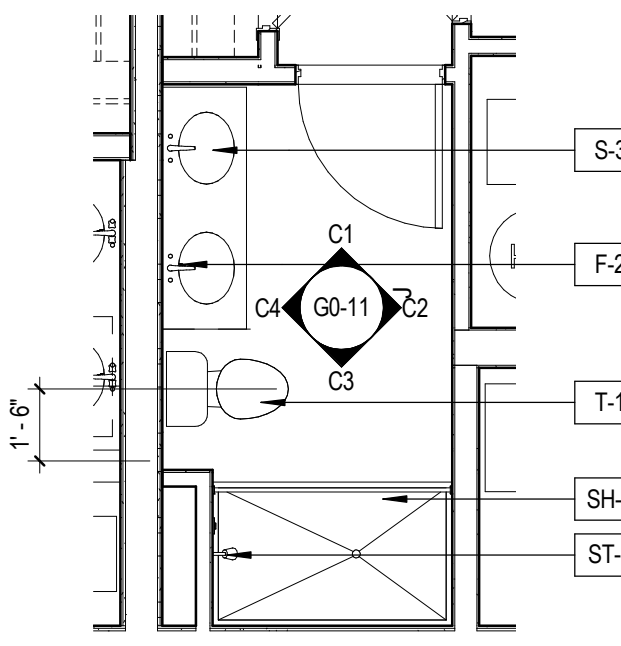
C2 BATH (MASTER)- EAST UNIT X05
1/4" = 1'-0"



C3 BATH (MASTER)- SOUTH UNIT X05
1/4" = 1'-0"

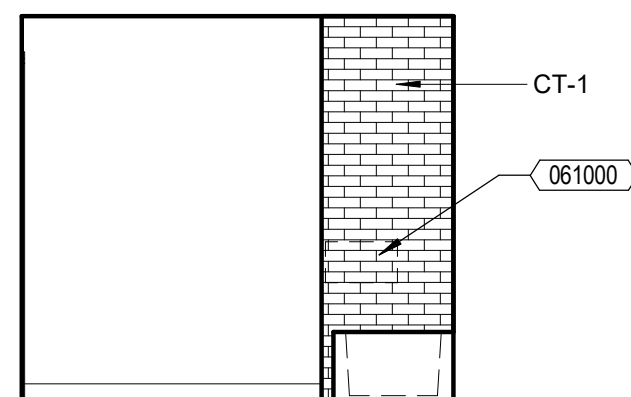


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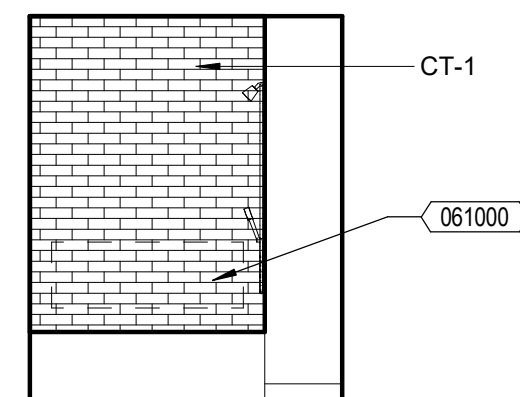


C5 BATH (MASTER)- PLAN UNIT X05
1/4" = 1'-0"

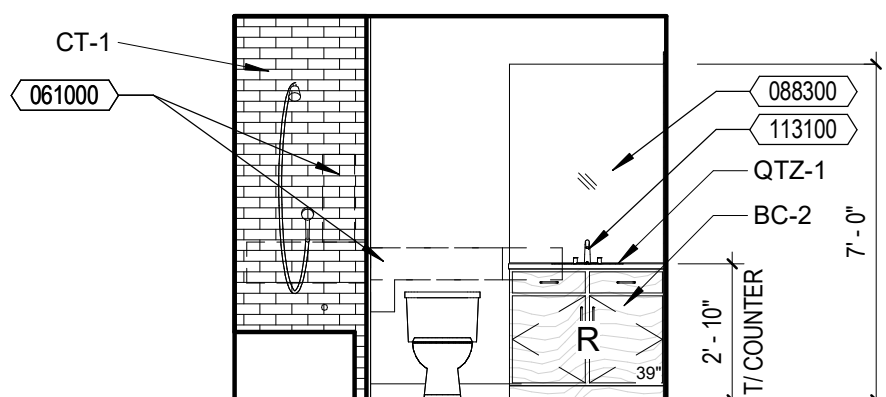
TYPE 'B' AT ALL UNITS



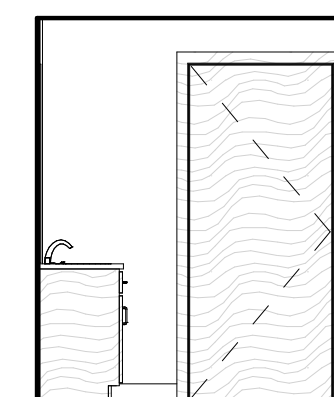
B1 BATH- NORTH UNIT X05
1/4" = 1'-0"



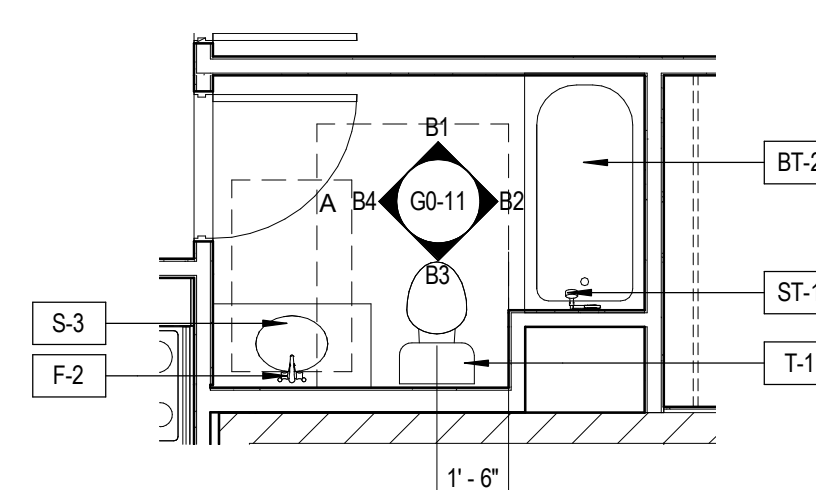
B2 BATH- EAST UNIT X05
1/4" = 1'-0"



B3 BATH- SOUTH UNIT X05
1/4" = 1'-0"

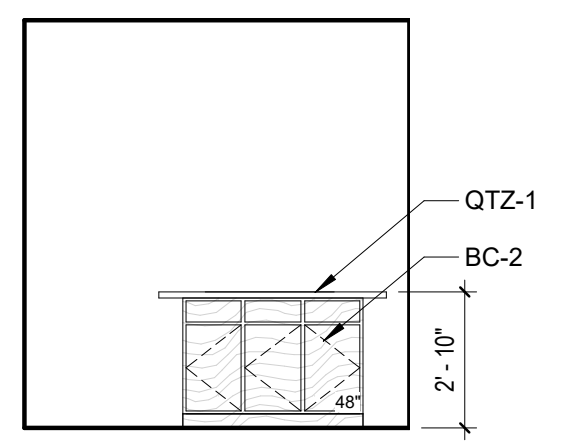


B4 BATH- WEST UNIT X05
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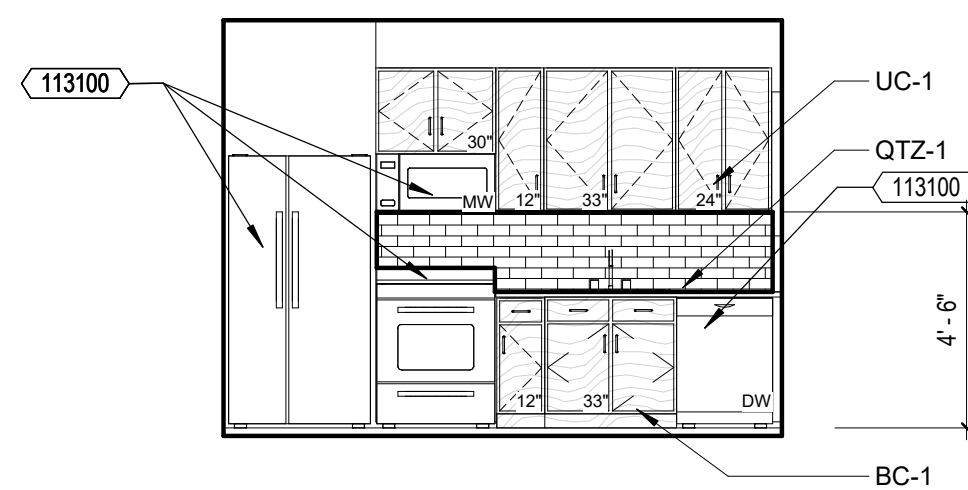


B5 BATH- PLAN UNIT X05
1/4" = 1'-0"

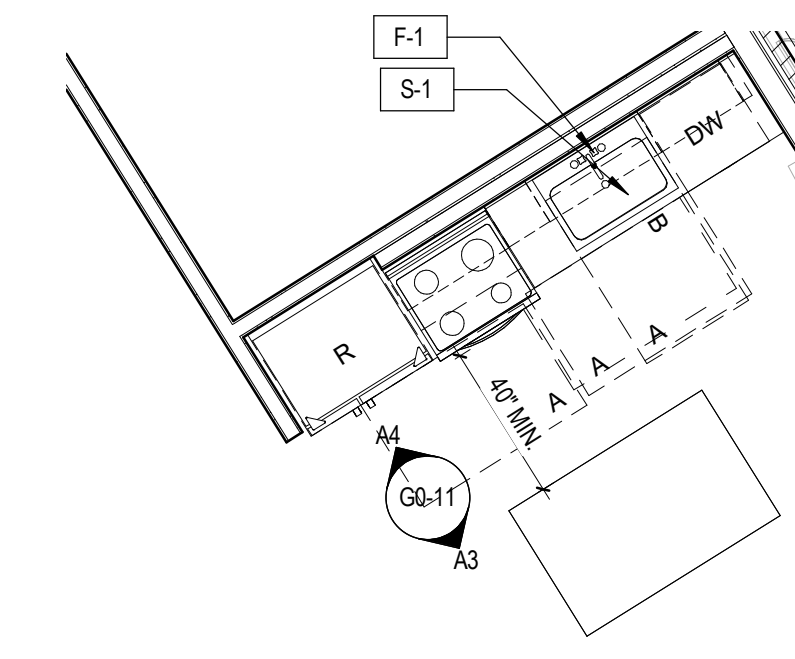
TYPE 'B' AT ALL UNITS



A3 KITCHEN-SOUTH UNIT X06
1/4" = 1'-0"



A4 KITCHEN- NORTH UNIT X06
1/4" = 1'-0"



A5 KITCHEN- PLAN UNIT X06
1/4" = 1'-0"

PLAN NOTES

- FOR ALL REMOVABLE BASE CABINETS AT IAC AND TYPE B UNITS:
 - A) CABINETS TO BE REMOVABLE WITHOUT REMOVAL OR REPLACEMENT OF WORK SURFACE
 - B) FINISH FLOOR SHALL EXTEND UNDERNEATH
 - C) WALL BEHIND AND SURROUNDING TO BE FINISHED

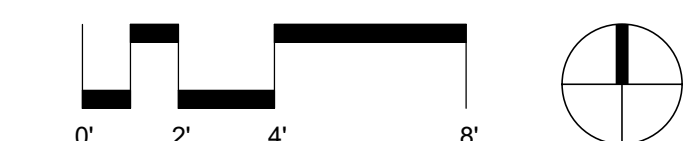
KEYNOTES

- 061000 ROUGH CARPENTRY
- 088300 MIRRORS
- 113100 RESIDENTIAL APPLIANCES

LEGEND

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- CMU WALL
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R REMOVABLE CABINETS. REFER TO ACCESSIBILITY NOTES AND CHART FOR REQUIRED LOCATIONS.



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Associates Architects
912 W. Lake St. Chicago, Illinois
312-563-9100
312-563-1919
www.fitzgeraldassociates.net

CONSULTANT:

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DESCRIPTION DATE

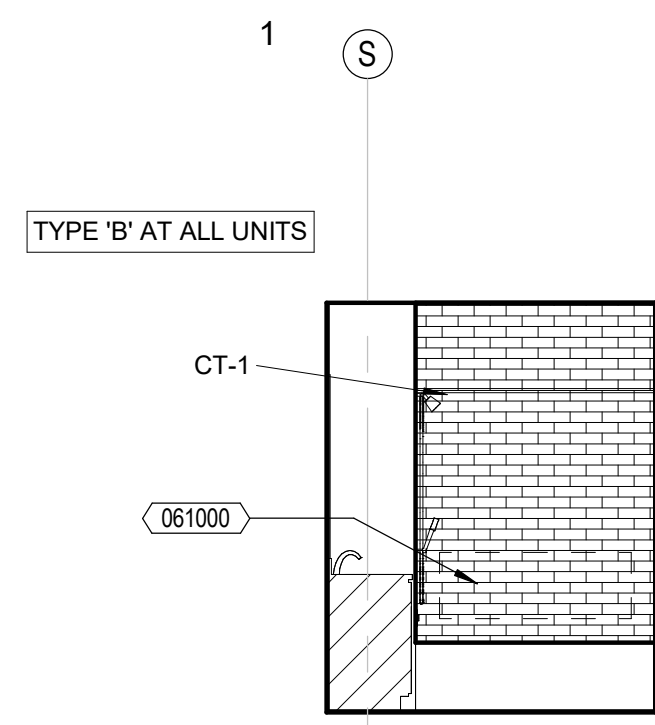


ACCESSIBLE KITCHEN AND BATHROOM PLANS AND INTERIOR ELEV.

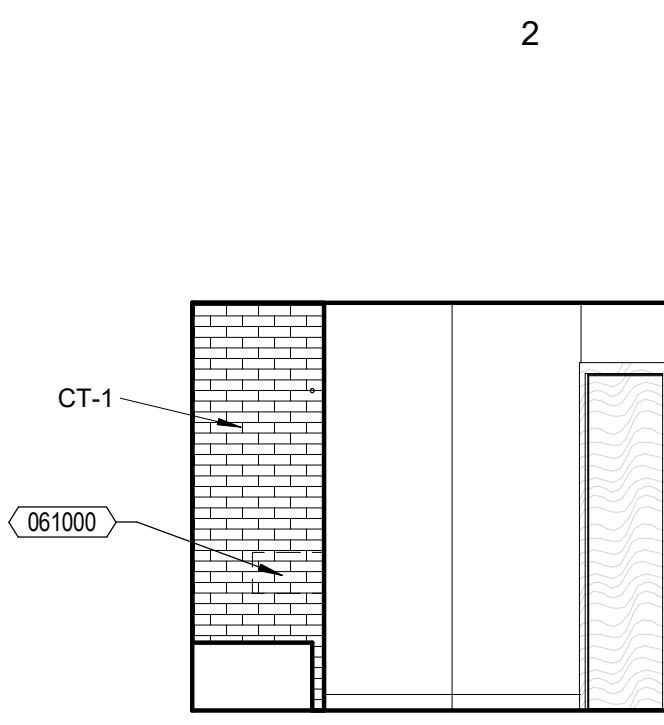
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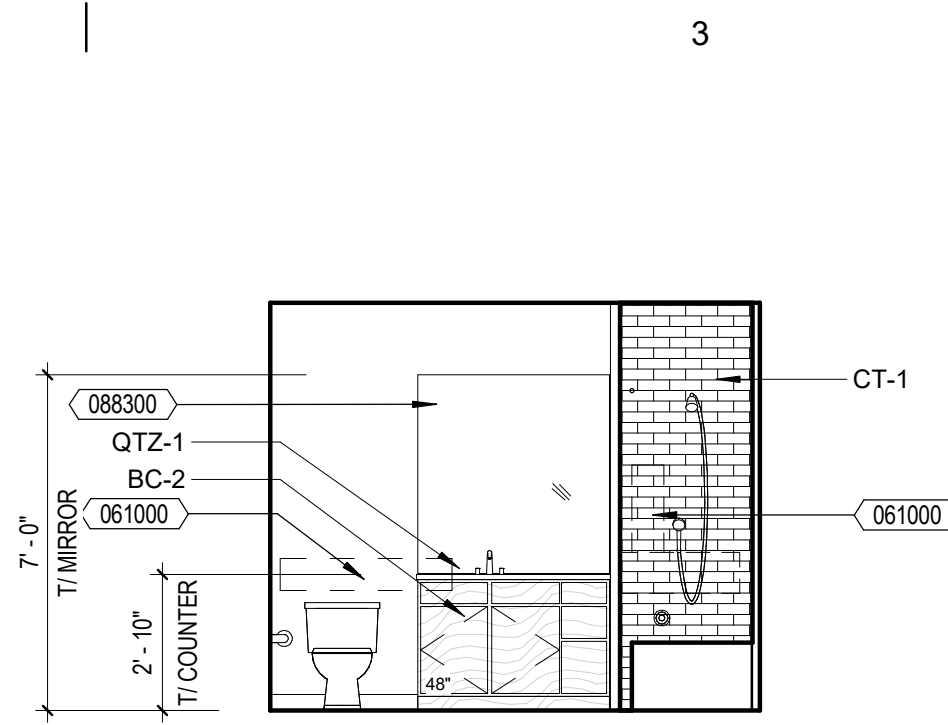
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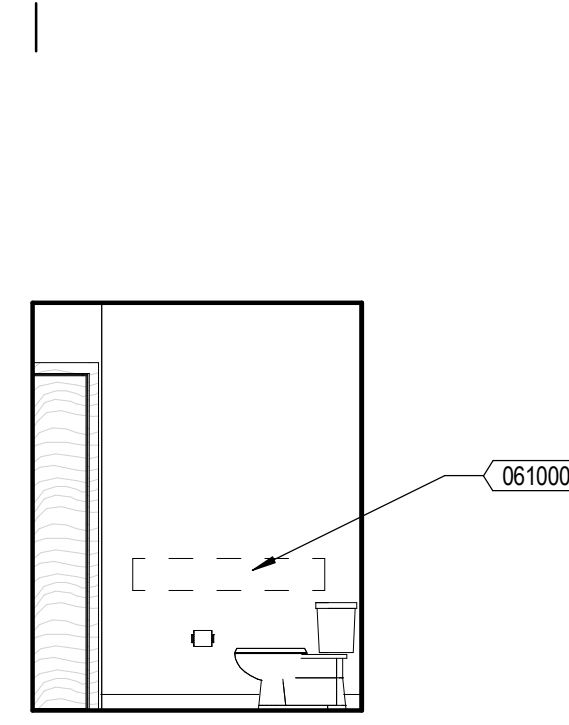
D1 BATH (MASTER)- NORTH UNIT X06
1/4" = 1'-0"



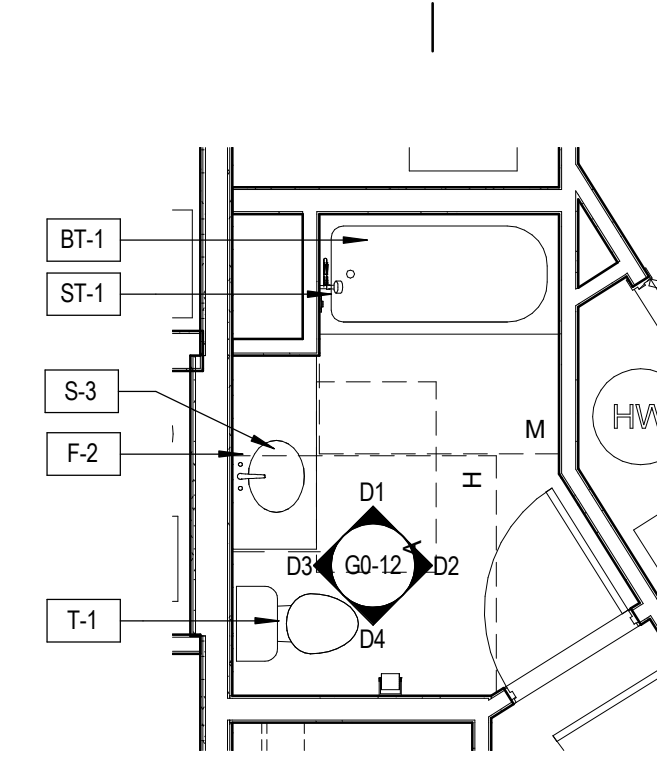
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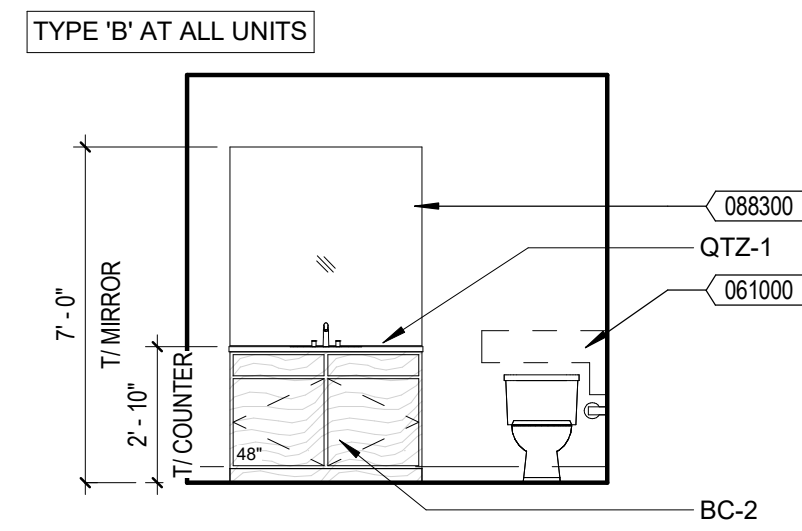
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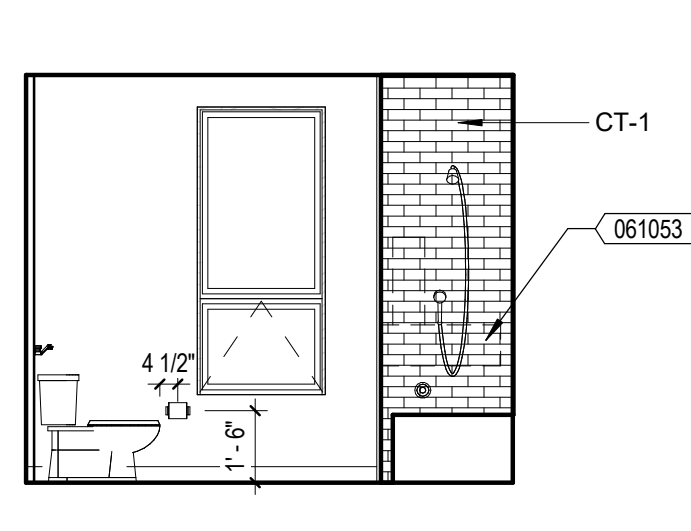
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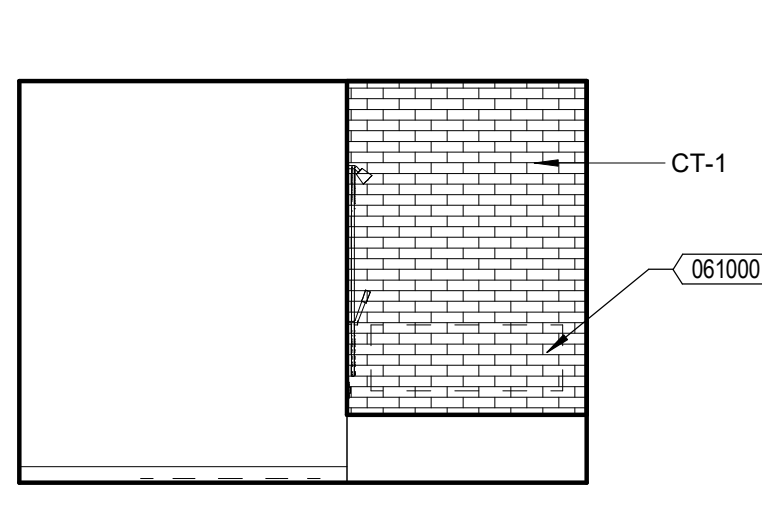
D5 BATH (MASTER)- PLAN UNIT X06
1/4" = 1'-0"



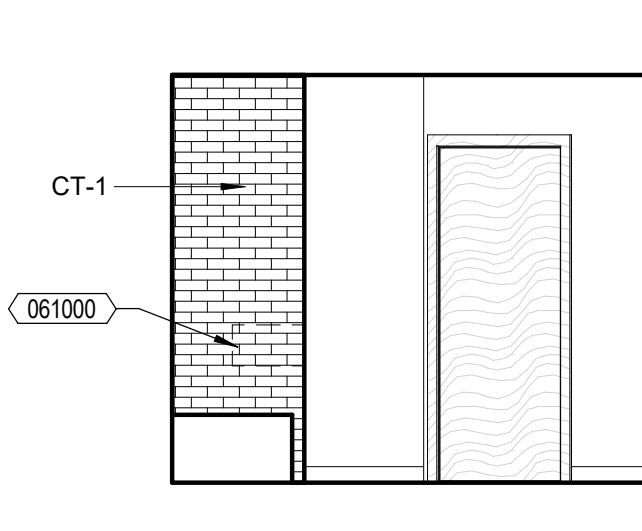
C1 BATH NORTH UNIT X06
1/4" = 1'-0"



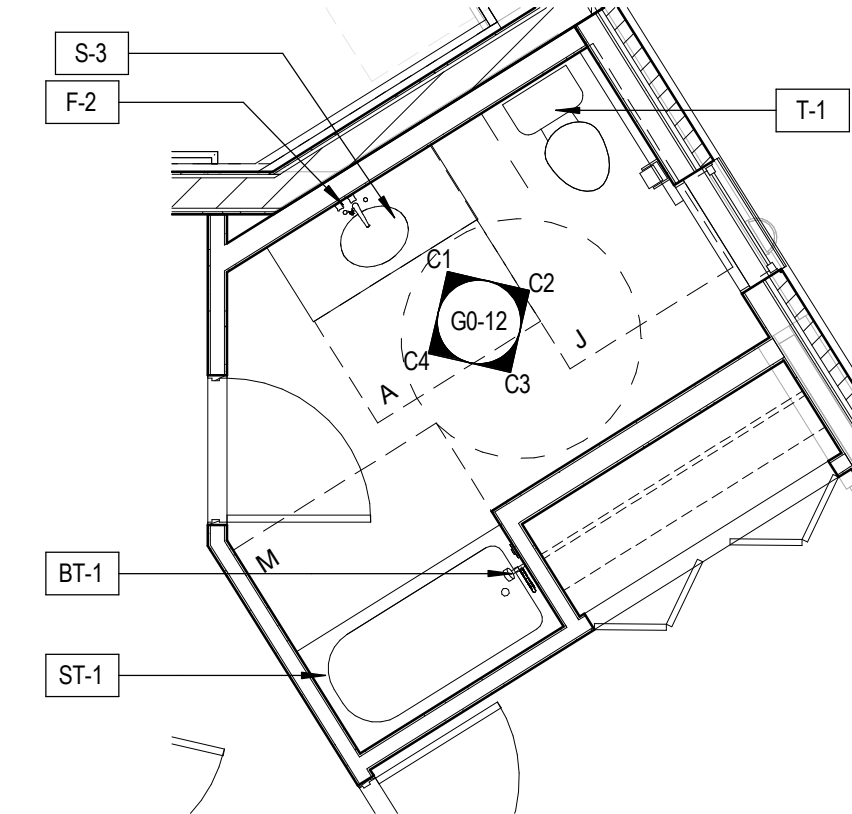
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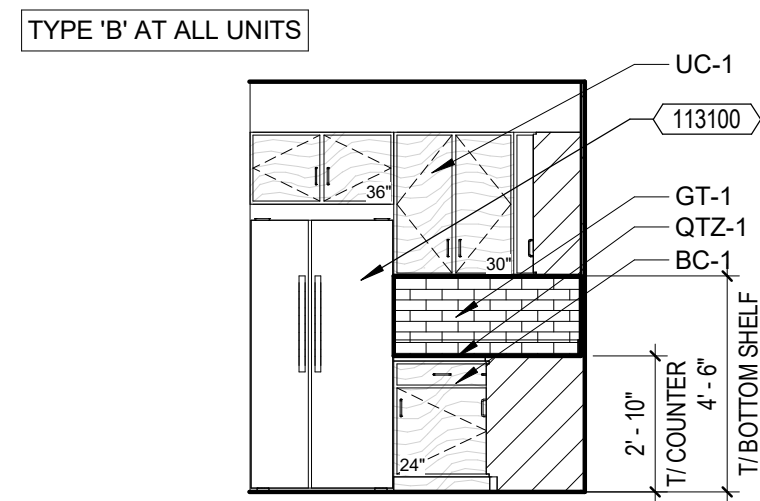
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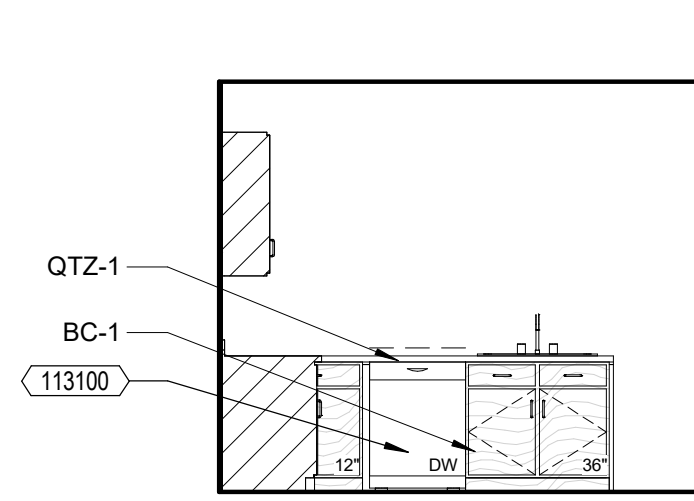
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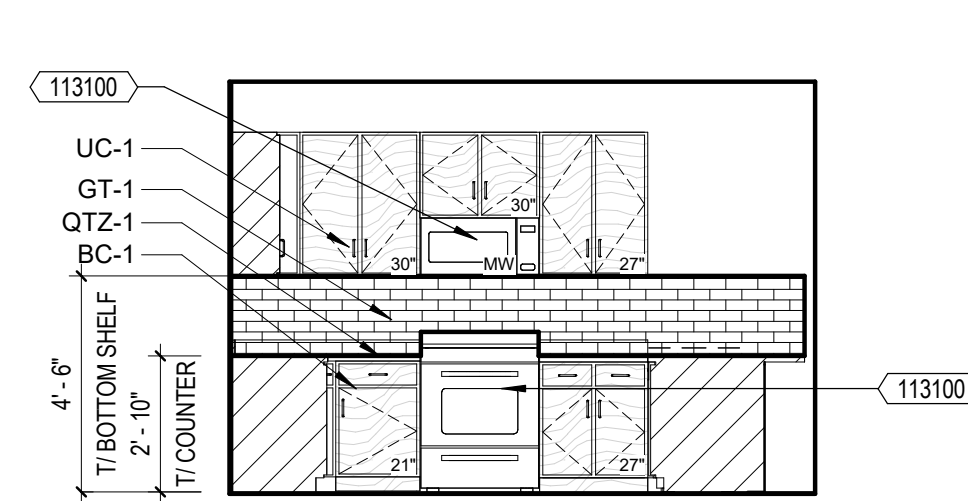
C5 BATH- PLAN UNIT X06
1/4" = 1'-0"



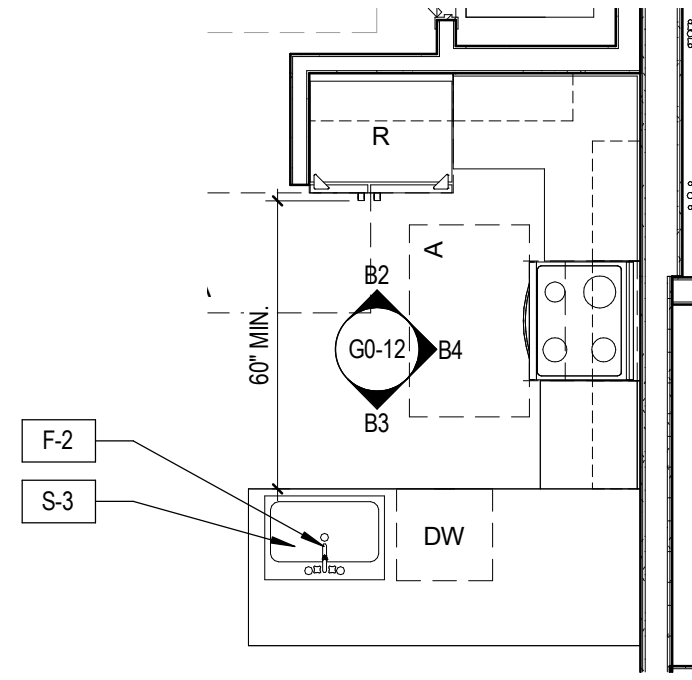
B2 KITCHEN- NORTH UNIT X10
1/4" = 1'-0"



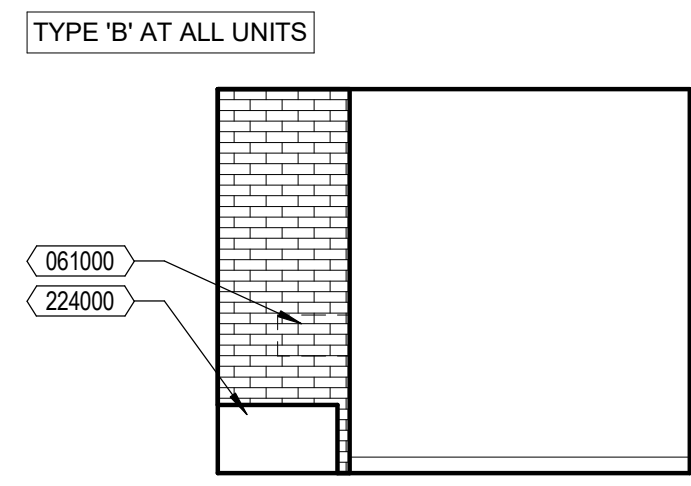
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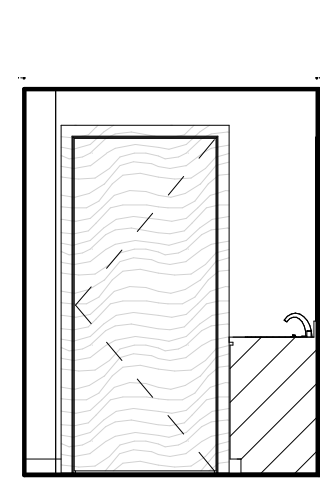
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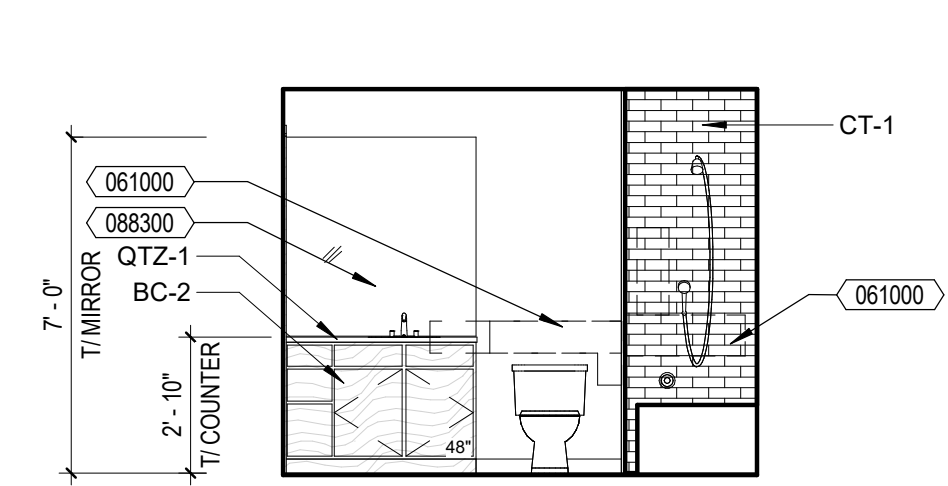
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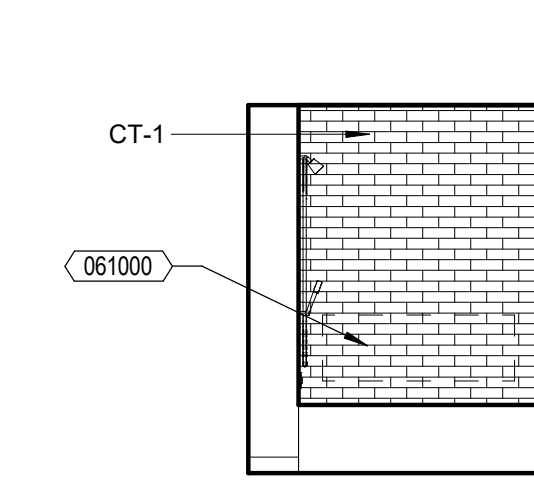
A1 BATH- NORTH UNIT X10
1/4" = 1'-0"



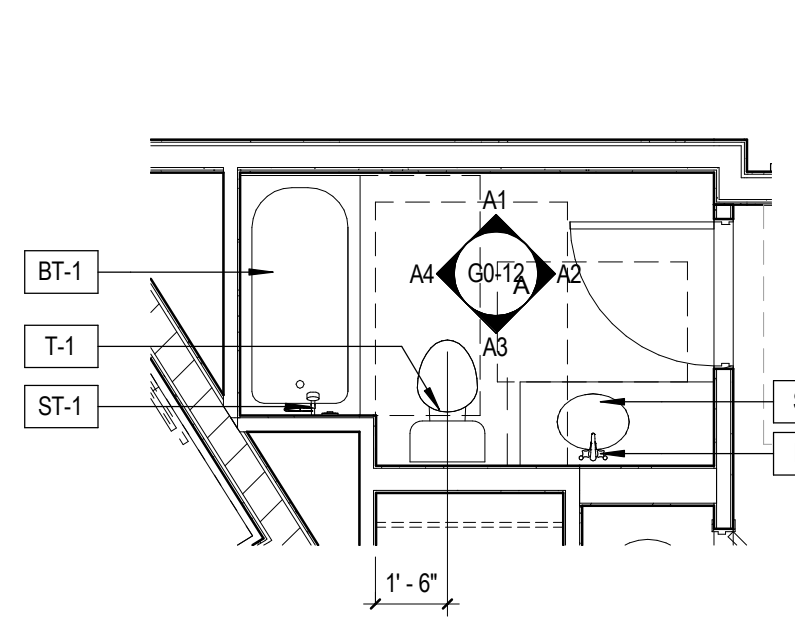
A2 BATH- EAST UNIT X10
1/4" = 1'-0"



A3 BATH- SOUTH UNIT X10
1/4" = 1'-0"



A4 BATH- WEST UNIT X10
1/4" = 1'-0"



A5 BATH- PLAN UNIT X10
1/4" = 1'-0"

PLAN NOTES

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KEYNOTES

- | | |
|--------|-------------------------------|
| 061000 | ROUGH CARPENTRY |
| 061053 | MISCELLANEOUS ROUGH CARPENTRY |
| 088300 | MIRRORS |
| 113100 | RESIDENTIAL APPLIANCES |
| 224000 | RESIDENTIAL PLUMBING FIXTURES |

LEGEND

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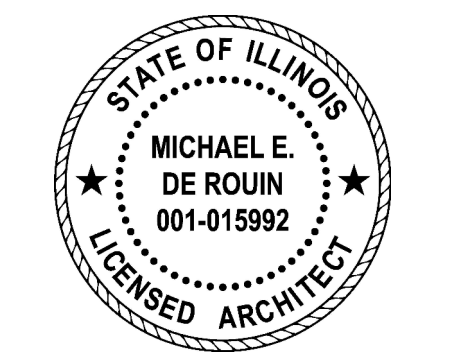
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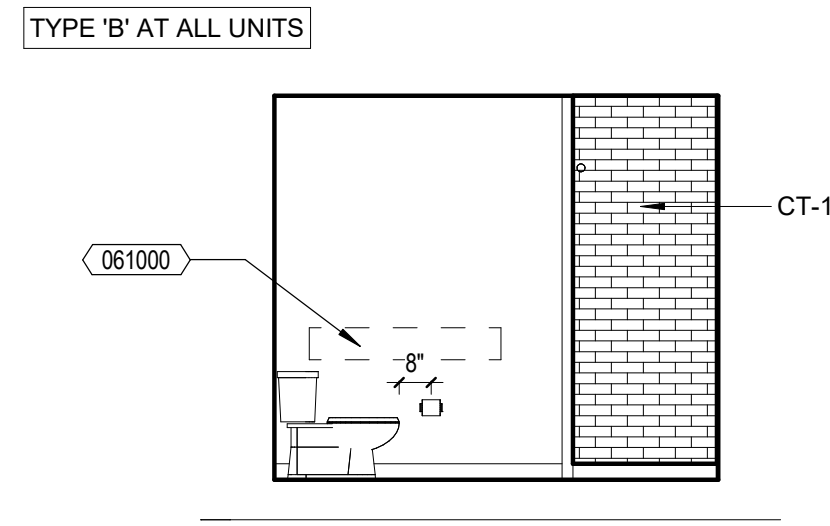


ACCESSIBLE
KITCHEN AND
BATHROOM
PLANS AND
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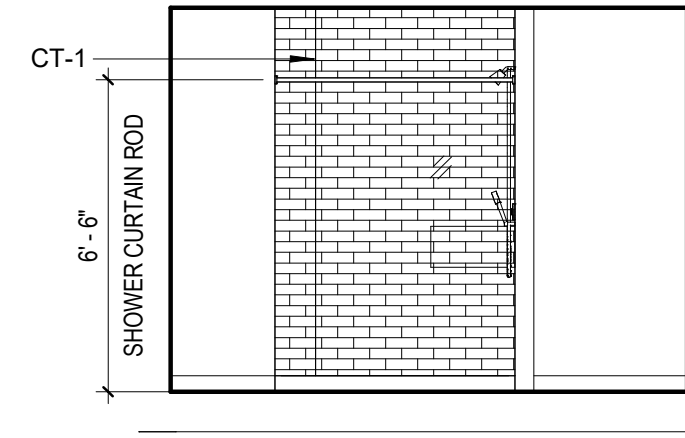
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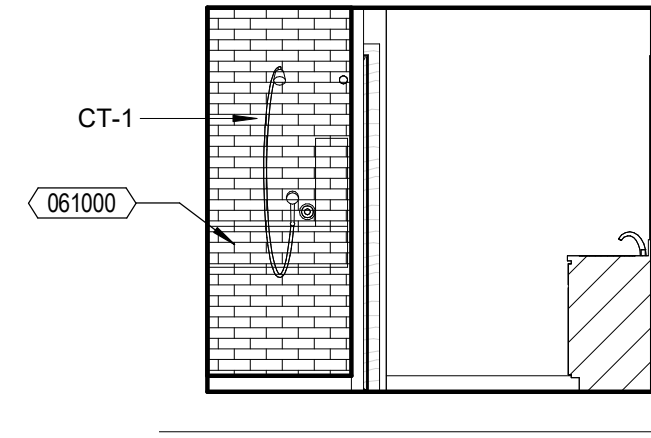
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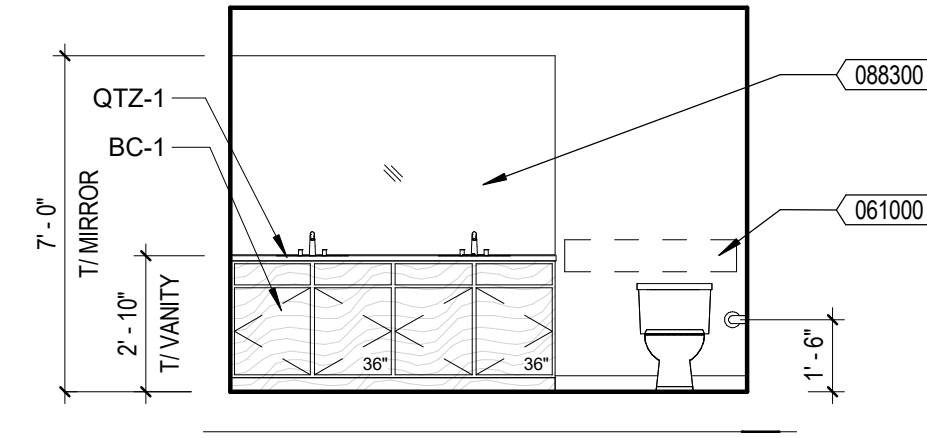
D1 BATH (MASTER) - NORTH UNIT X09
1/4" = 1'-0"



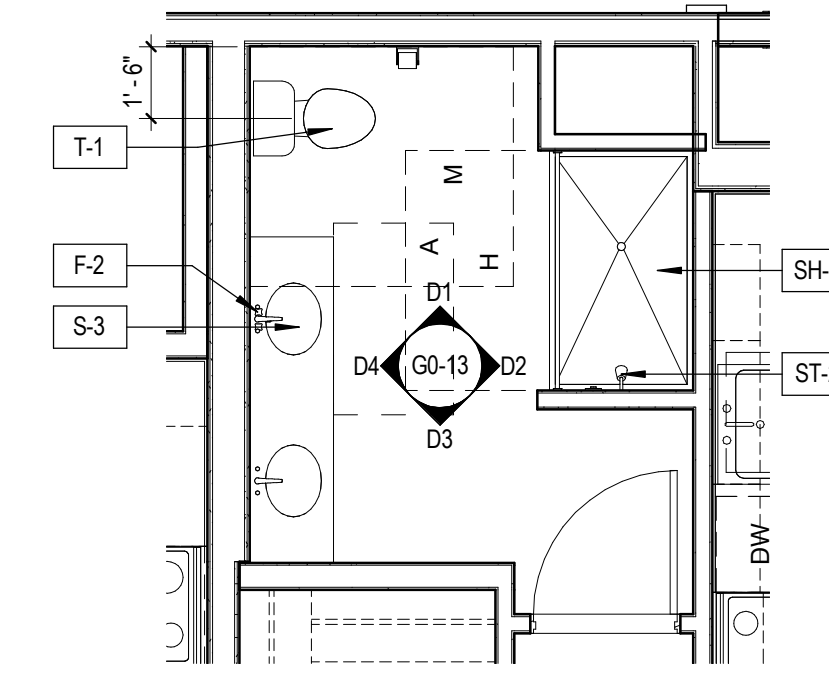
D2 BATH (MASTER) - EAST UNIT X09
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D3 BATH (MASTER) - SOUTH UNIT X09
1/4" = 1'-0"



D4 BATH (MASTER) - WEST UNIT X09
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D5 BATH (MASTER)- PLAN UNIT X09
1/4" = 1'-0"

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FitzGerald
Associates Architects
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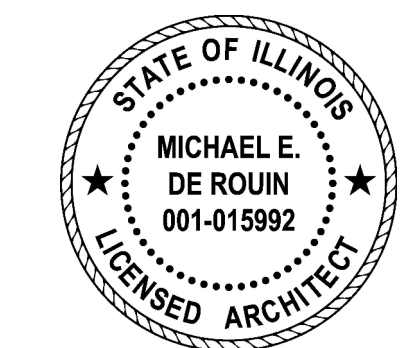
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ACCESSIBLE KITCHEN AND BATHROOM PLANS AND INTERIOR ELEV.

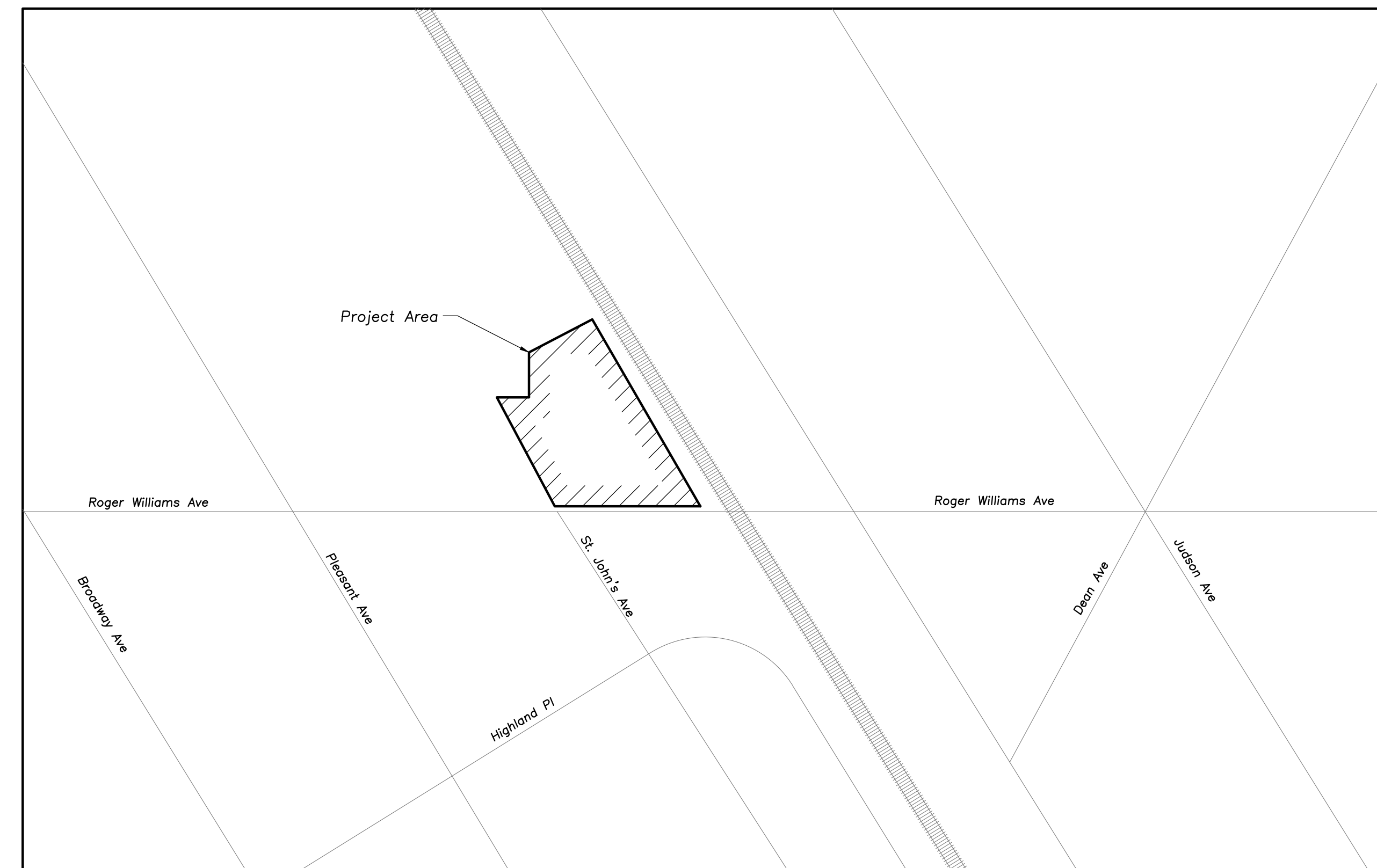
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RAVINIA

515 ROGER WILLIAMS AVE HIGHLAND PARK, IL 60035



Location Map
1" = 100'

Index of Sheets

C0-00	Civil Cover Sheet
C1-00	Site Demolition Plan
C2-00	Site Geometry Plan
C3-00	Site Utility Plan
C4-00	Site Grading and Paving Plan
C5-00	Site Erosion Control Plan
C6-00	Site Details
C6-01	Site Details
C6-02	Site Details
C6-03	Site Details

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Associates Architects
912 W. Lake St. Chicago, Illinois 312-563-9100
www.fitzgeraldassociates.net

CONSULTANT:
ERIKSSON
ENGINEERING
ASSOCIATES, LTD.
145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60031
P 847-223-4804
F 847-223-4864
INFO@EEA-LTD.COM

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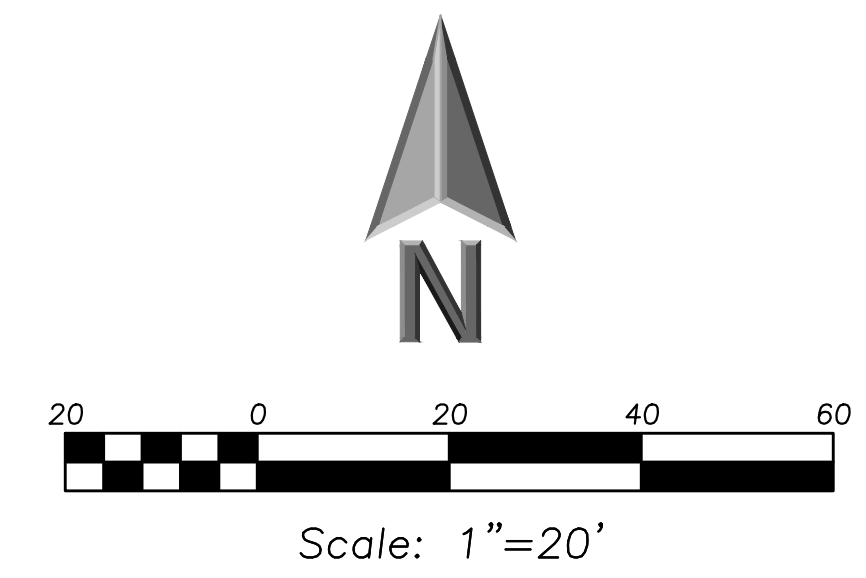
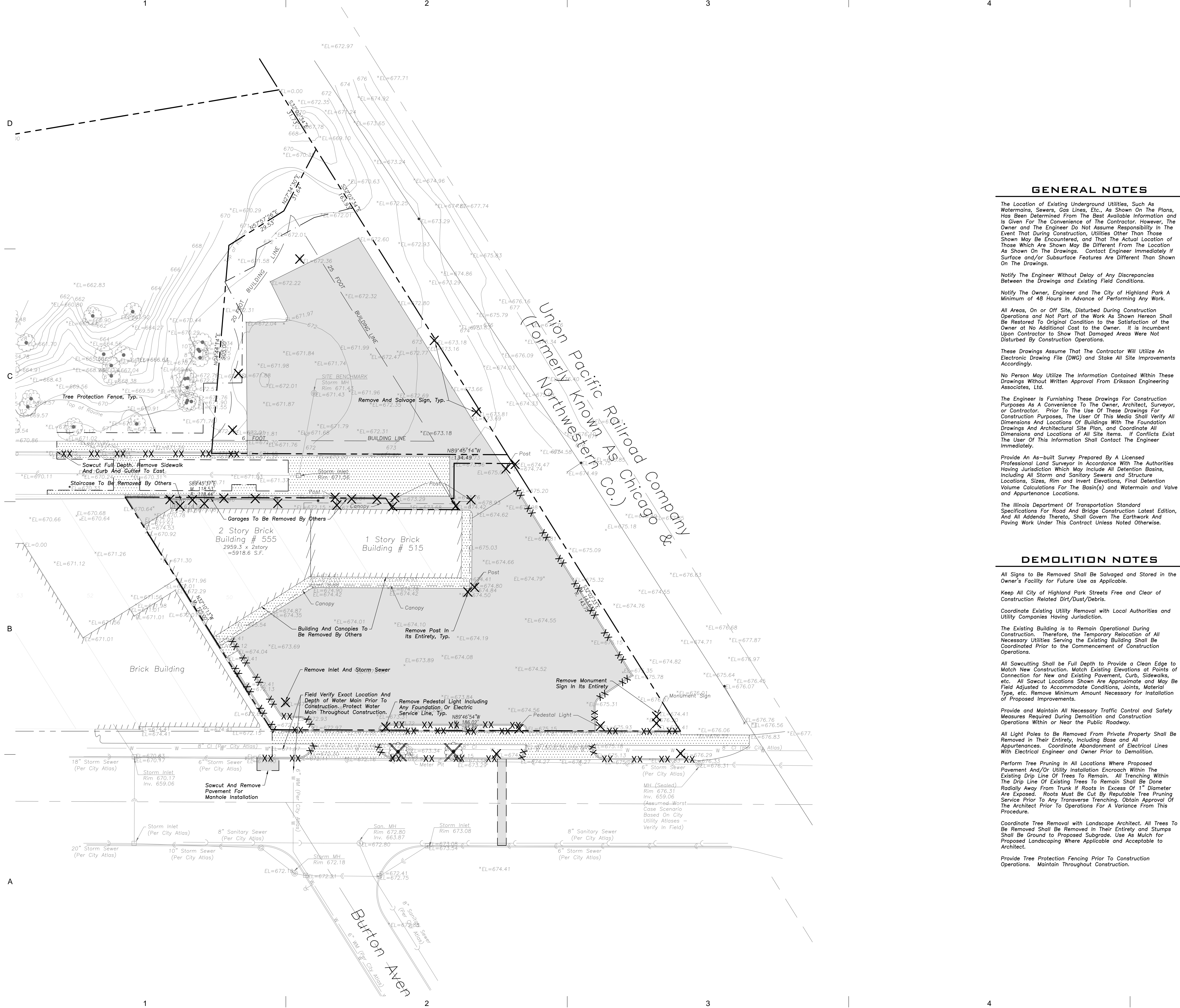
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COVER
SHEET

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GENERAL NOTES

The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.

Notify The Engineer Without Delay of Any Discrepancies Between The Drawings and Existing Field Conditions.

Notify The Owner, Engineer and The City of Highland Park A Minimum of 48 Hours In Advance of Performing Any Work.

All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.

These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.

No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.

The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.

Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which May Include All Detention Basins, Including All Storm and Sanitary Sewers and Structures, Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s) and Watermain and Valve and Appurtenance Locations.

The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

DEMOLITION NOTES

All Signs to Be Removed Shall Be Salvaged and Stored in the Owner's Facility for Future Use as Applicable.

Keep All City of Highland Park Streets Free and Clear of Construction Related Dirt/Dust/Debris.

Coordinate Existing Utility Removal with Local Authorities and Utility Companies Having Jurisdiction.

The Existing Building is to Remain Operational During Construction. Therefore, the Temporary Relocation of All Necessary Utilities Serving the Existing Building Shall Be Coordinated Prior to the Commencement of Construction Operations.

All Sawcutting Shall be Full Depth to Provide a Clean Edge to Match New Construction. Match Existing Elevations at Points of Connection for New and Existing Pavement, Curb, Sidewalks, etc. All Sawcut Locations Shown Are Approximate and May Be Field Adjusted to Accommodate Conditions, Joints, Material Type, etc. Remove Minimum Amount Necessary for Installation of Proposed Improvements.

Provide and Maintain All Necessary Traffic Control and Safety Measures Required During Demolition and Construction Operations Within or Near the Public Roadway.

All Light Poles to Be Removed From Private Property Shall Be Removed in Their Entirety, including Base and All Appurtenances. Coordinate Abandonment of Electrical Lines With Electrical Engineer and Owner Prior to Demolition.

Perform Tree Pruning in All Locations Where Proposed Pavement And/or Utility Installation Encroach Within The Existing Drip Line of Trees to Remain. All Trenching Within The Drip Line of Existing Trees to Remain Shall Be Done Radially Away From Trunk If Roots in Excess of 1" Diameter Are Exposed. Roots Must Be Cut By Reputable Tree Pruning Service Prior To Any Transverse Trenching. Obtain Approval Of The Architect Prior To Operations For A Variance From This Procedure.

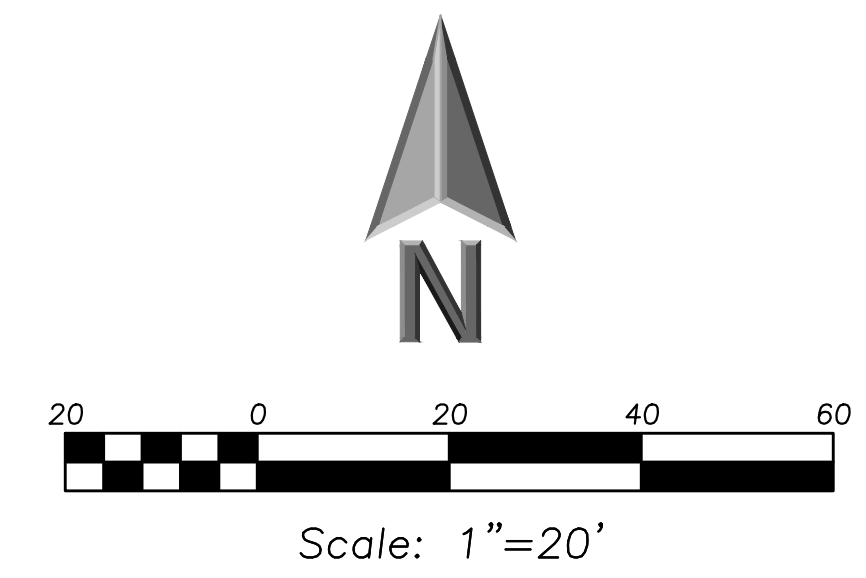
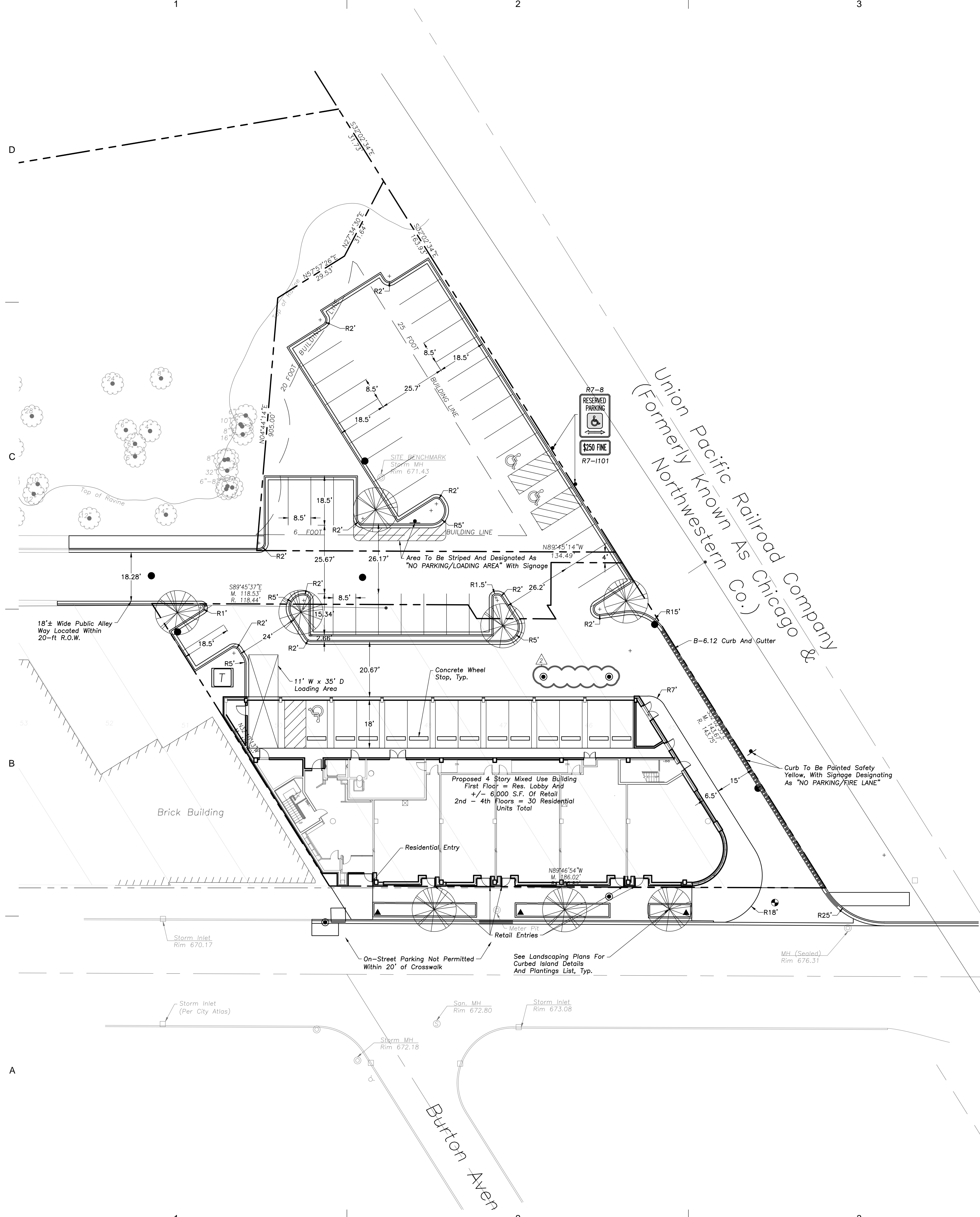
Coordinate Tree Removal with Landscape Architect. All Trees to Be Removed Shall Be Removed in Their Entirety and Stumps Shall Be Ground to Proposed Subgrade. Use As Mulch for Proposed Landscaping Where Applicable and Acceptable to Architect.

Provide Tree Protection Fencing Prior to Construction Operations. Maintain Throughout Construction.

LEGEND

EXISTING	PROPOSED

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The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

GEOMETRY NOTES

All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.

All Pavement Striping Shall Be 4" Wide Yellow Paint Per Specifications. All Cross Hatch Striping Shall Be 45° At 2'-0" Centers.

All Accessible Parking Signs (R7-B) Must Be Placed at the Center of the Space and Within 5 Feet of the Space.

Refer to Architectural Drawings for Exact Locations of All Buildings.

Refer to Architectural Drawings for Locations and Details of All Permanent Site Fencing.

LEGEND

EXISTING	PROPOSED

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CONSULTANT:
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145 COMMERCE DRIVE, SUITE A
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CLIENT:
Imperial Realty Co.

4747 W. Peterson Ave.
Suite 200
Chicago, IL 60646



#	DESCRIPTION	DATE
ISSUED FOR PERMIT		03/24/17
OWNER REVISIONS		03/14/18

SURVEY PROVIDED BY:

Plat of Survey and Topography Provided By R.E. Decker, P.C. For Imperial Realty Co. on February 3, 2014. Order Number 14-42.
Additional Survey Provided By Gremley & Biedermann, For Imperial Realty Co. on April 19, 2016. Order Number 2016-22357-001. The Basis of Bearing of This Survey Has Been Rotated To Match The Basis of Bearing of The Above Survey, Which Has Been Used To Depict The Existing Conditions of This Project.

PROJECT BENCHMARK

1. Storm Inlet Located In Parking Lot North Of Building At 515 Roger Williams Avenue.
Rim = 617.43' (NGVD '29)

J.U.L.I.E.

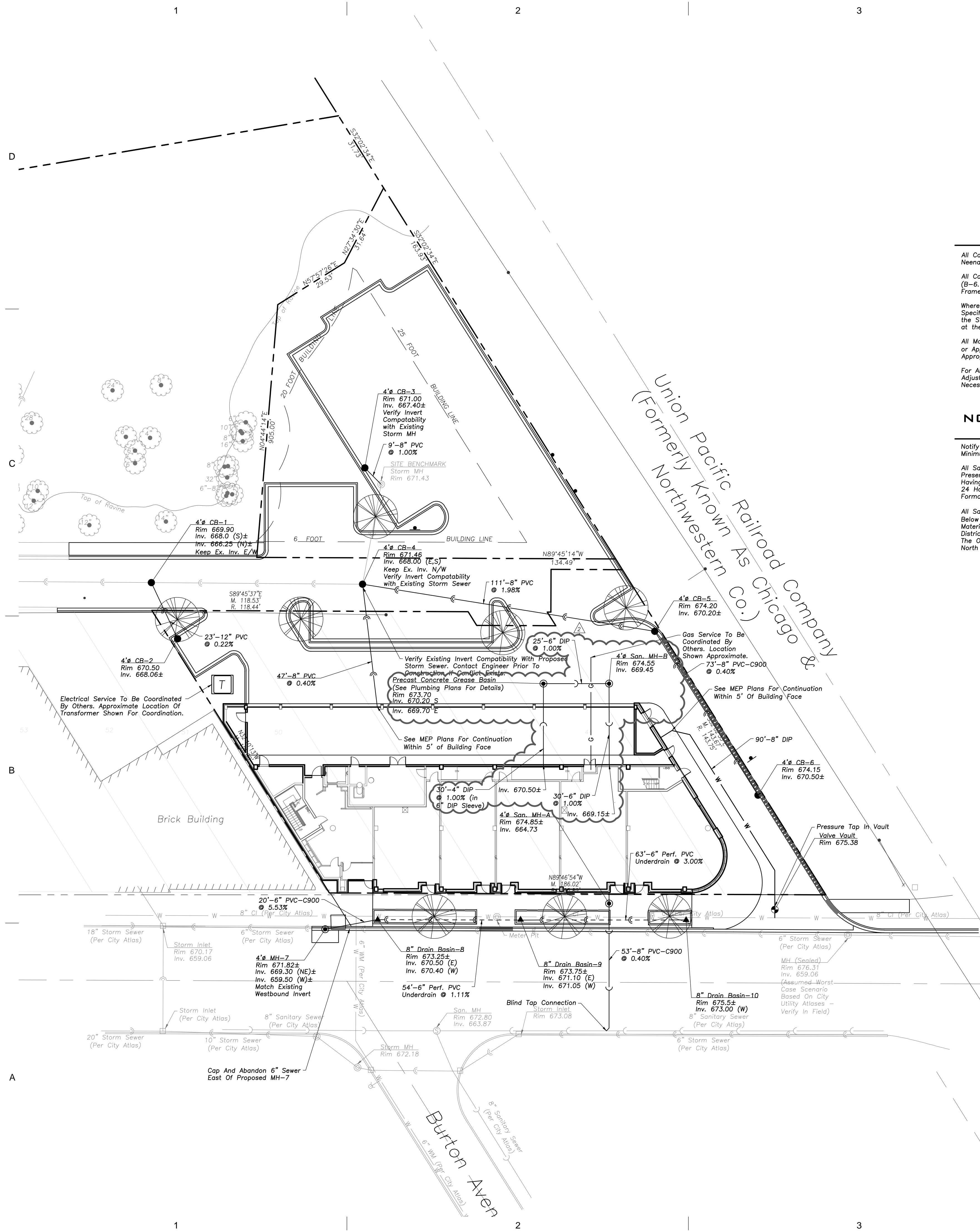
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NOT FOR CONSTRUCTION

SITE GEOMETRY PLAN

C2-00

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STRUCTURE NOTES

All Catch Basins to Be Installed in Paved Areas Shall Have Neenah R2014 Frame & Open Lid or Approved Equal.

All Catch Basins to Be Installed Along Curb and Gutter (B-6.12) Shall Have Neenah R-3250-DVSP Combination Inlet Frame, Grate, & Curb Box or Approved Equal.

Where Structures are Shown Along the Curbside, Unless Specifically Stated Otherwise, It Is Intended That the Frame of the Structure Is To Fall Within the Flowline of the Gutter or at the Pavement Edge Where No Gutter Exists.

All Manholes Shall Have Neenah R1712 Frame & Closed Lid or Approved Equal, with "Storm" or "Sanitary" Imprinted as Appropriate.

For All Manhole Structures to Be Adjusted, Install or Remove Adjusting Rings, New Cone Section or New Barrel Section as Necessary.

NORTH SHORE SANITARY DISTRICT NOTES

Notify The North Shore Sanitary District At 847-623-6060 A Minimum Of 24 Hours Prior To The Start Of Construction

All Sanitary Sewer Extensions Shall Be Televised In The Presence Of North Shore Sanitary District Personnel After Having Notified The District At 847-623-6060 A Minimum Of 24 Hours Prior To Televising. A Copy Of The Tape In VHS Format Is To Be Submitted To The District For Approval.

All Sanitary Sewer Pipe Will Be Bedded With A Minimum Of 6" Below The Pipe And 12" Above The Pipe In CA-6 Crushed Material, CA-7 May Be Allowed At The Discretion Of The District If Extremely Wet Conditions Are Encountered. This Is The Only Acceptable Materials Within The Boundaries Of The North Shore Sanitary District.

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Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.

Notify The Owner, Engineer and The City of Highland Park A Minimum of 48 Hours In Advance of Performing Any Work.

All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.

These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.

No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.

The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.

Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which May Include All Detention Basins, Including All Storm and Sanitary Sewers and Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s) and Watermain and Valve and Appurtenance Locations.

The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Therein, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

UTILITY NOTES

Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.

Refer to Plumbing Drawings for Continuation of All Utilities Within 5 Feet of Building Face.

Field Verify Invert & Locations of Existing Utility Mains Prior to Installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior to Installation of Any New Structures or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation if Discrepancy Exists With These Drawings.

Coordinate the Relocation of Any Utilities Encountered And Replacement of Any Utilities Damaged Within Influence Zone of New Construction. Contact Engineer if The Existing Utilities Vary Appreciably From The Plans.

All Water Main and Services Shall Be Installed at a Minimum Depth of 5.5' From Top of Finished Ground Elevation to Top of Main.

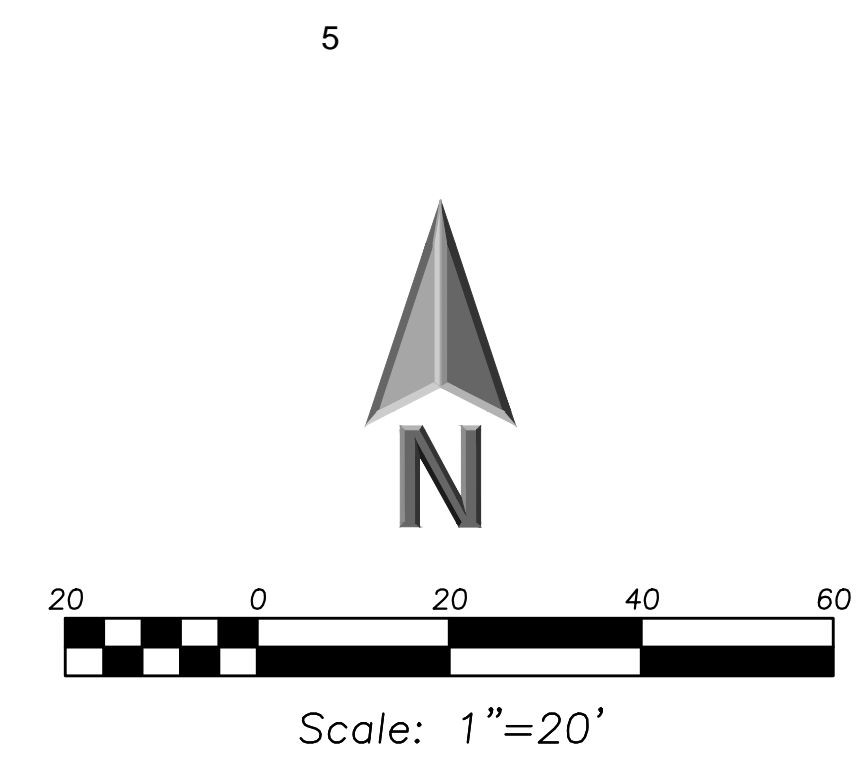
Protection of water supplies shall be as described in Section 370.350 of the Illinois Recommended Standards for Sewage Works or Section 41-2.01 of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition.

Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.

Provide Adequate Coupling Device and/or Oversized Concrete Flared-End Section to Accommodate HDPE Sewer Main.

The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.

North Shore Sanitary District: The Ordinances of The NSSD Relating To Sewers and Sewer Systems Are In Effect. The Ordinances Give The District The Right To Inspect The Work Under Construction To See That It Is Being Performed In Accordance With The Approved Plans, Specifications, and Permit. The Contractor Shall Give The District Twenty-Four (24) Hours Notice Prior To Starting Construction.



LEGEND

EXISTING	PROPOSED

FitzGerald
 Associates Architects
 912 W. Lake St. Chicago, Illinois
 1 312-563-9100
 1 312-563-1919
 www.fitzgeraldassociates.net

CONSULTANT:

 145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60031
 P 847-223-4804
 F 847-223-4864
 INFO@EEA-LTD.COM

11144
Ravinia
 515-555 Roger Williams Avenue
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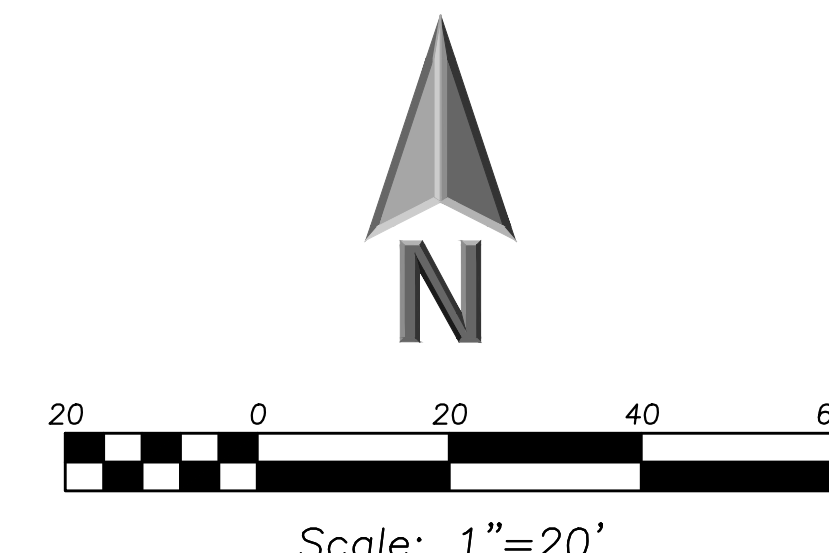
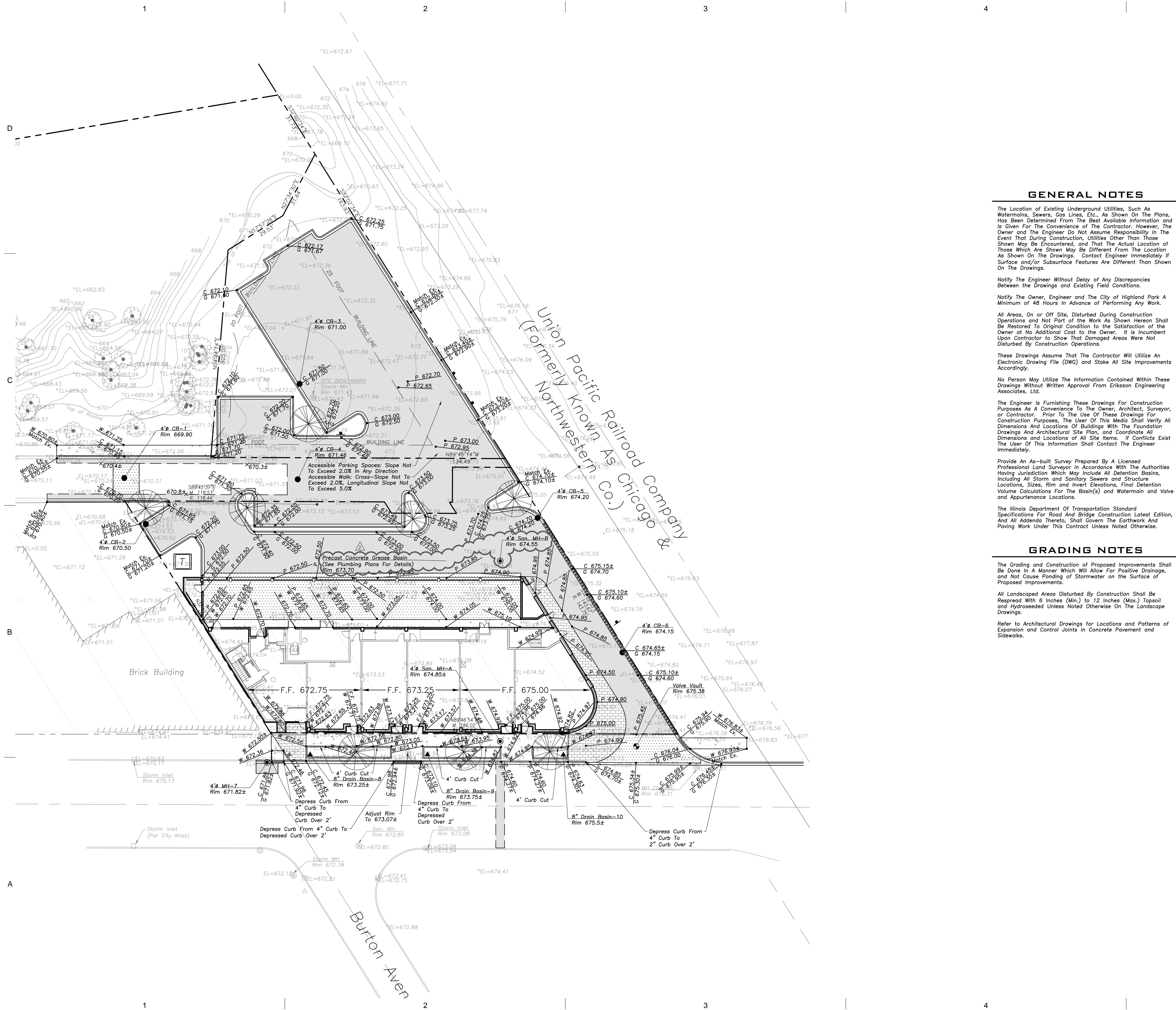
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NOT FOR CONSTRUCTION

SITE UTILITY PLAN

C3-00

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GRADING NOTES

The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage, and Not Cause Ponding of Stormwater on the Surface of Proposed Improvements.

All Landscaped Areas Disturbed By Construction Shall Be Respread With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Hydroseeded Unless Noted Otherwise On The Landscape Drawings.

Refer to Architectural Drawings for Locations and Patterns of Expansion and Control Joints in Concrete Pavement and Sidewalks.

LEGEND

EXISTING	PROPOSED

PAVING & SURFACE LEGEND

	Asphalt Pavement Section 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, N50 2 1/2" Hot Mix Asphalt, IL-19.0, N50 Prime Coat (0.25 gal/sq yd) 8" Aggregate Base Course, Type B, Crushed
	Concrete Driveway Section 8" Portland Cement Concrete 6"x6" W2.9xW2.9 Welded Wire Fabric 6" Aggregate Base Course, Type B, Crushed
	Stamped Concrete Section See Landscape Plans For Details
	Concrete Sidewalk Section 5" Portland Cement Concrete 6"x6" W1.4xW1.4 Welded Wire Fabric 2" Aggregate Base Course, Type B, Crushed

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F 847-223-4864
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11144

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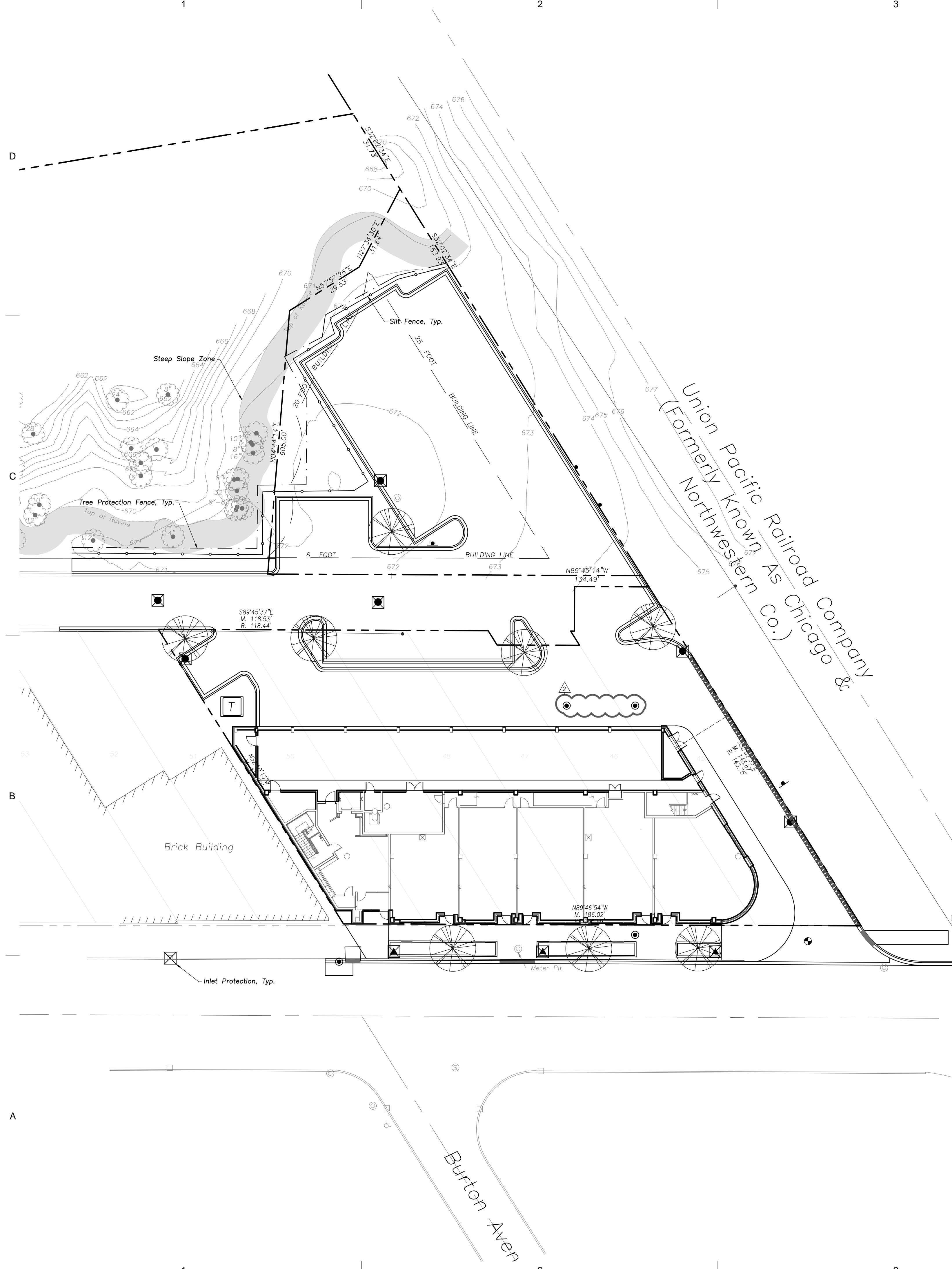
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NOT FOR CONSTRUCTION

SITE GRADING & PAVING PLAN

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INTENDED SEQUENCE OF MAJOR SEDIMENT AND EROSION CONTROL MEASURES

Soil Disturbance Shall Be Conducted In Such A Manner As To Minimize Erosion. Soil Stabilization Measures Shall Consider The Time of Year, Site Conditions, and the Use of Temporary or Permanent Measures.

Soil Erosion and Sediment Control Features Shall Be Constructed Prior to the Commencement of Upland Disturbance.

Temporary Soil Stabilization Shall Be Applied to Topsoil Stockpiles and Disturbed Areas, Where Construction Activity Will Not Occur For A Period of More Than 14 Calendar Days. Temporary Measures Shall Be Applied Within 7 Calendar Days of the End of Active Hydrologic Disturbance. The Sediment Control Measures Shall Be Maintained On A Continuing Basis Until The Site is Permanently Stabilized And All Inspections Are Complete. Permanent Stabilization Shall Be Completed Within 14 Days after Completion of Final Grading of Soil.

All Temporary And Permanent Erosion Control Measures Shall Be Removed Within 30 Days After Final Site Stabilization is Achieved Or After The Temporary Measures Are No Longer Needed. Trapped Sediment And Other Disturbed Soil Areas Shall Be Permanently Stabilized.

Final Site Stabilization Is Defined By The EPA General Permit As Meaning That All Soil Disturbing Activities At The Site Have Been Completed, And That A Uniform Perennial Vegetative Cover With A Density Of 70 Percent Of The Surrounding Unpaved Areas Not Covered By Permanent Structures Has Been Established Or Equivalent Permanent Stabilization Measures (Such As The Use Of Riprap, Gabions, Or Geotextiles) Have Been Employed.

All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated To Remove Sediment. The General Contractor Shall Use "Catch-All" Inlet Protectors (or equal) and Filter Wattles Around The Grate in Landscaped Areas And "Catch-All" Inlet Protectors (or equal) in Paved Areas To Prevent Siltation.

All Temporary And Permanent Sediment And Erosion Control Measures Must Be Maintained, Repaired, And Inspected In Conformance With All Applicable IEPA-NPDES Phase II And Lake County DCOI Requirements.

Following The Termination Of Construction Activities And Issuance Of The Required "Notice Of Termination", The Permittees Must Keep A Copy Of The Storm Water Pollution Prevention Plan, Inspection Reports, And Records Of All The Data Used To Complete The Notice Of Intent For A Period Of At Least Three Years Following Final Stabilization.

Install And Maintain Silt Fence At The Perimeter Of The Construction Zone And Wetland Areas And As Shown On The Plans. Maintain Silt Fence Throughout Construction And Until Vegetation Has Been Fully Established.

The Erosion Control Measures Indicated On The Drawings Are The Minimum Requirements. Additional Measures May Be Required As Directed By The Engineer Or Governing Agency.

Unless Otherwise Indicated on the Drawings, Stabilize All Disturbed Ground Areas Where Slopes Exceed 6:1 or Within Swales with North American Green BioNet SC150BN Erosion Control Blanket, or Approved Equal.

Report Releases of Reportable Quantities of Oil or Hazardous Materials if They Occur in Accordance with IEPA NPDES Requirements.

All Concrete Washout Shall Conform To The "Temporary Concrete Washout Facility" Standards (Code 954) of the Illinois Urban Manual, Latest Edition

If Necessary, The SWPPP Shall Be Modified To Reflect Changes Required During The Effective Period Of The IEPA NPDES General Permit No ILR10 and Local and County Permits.

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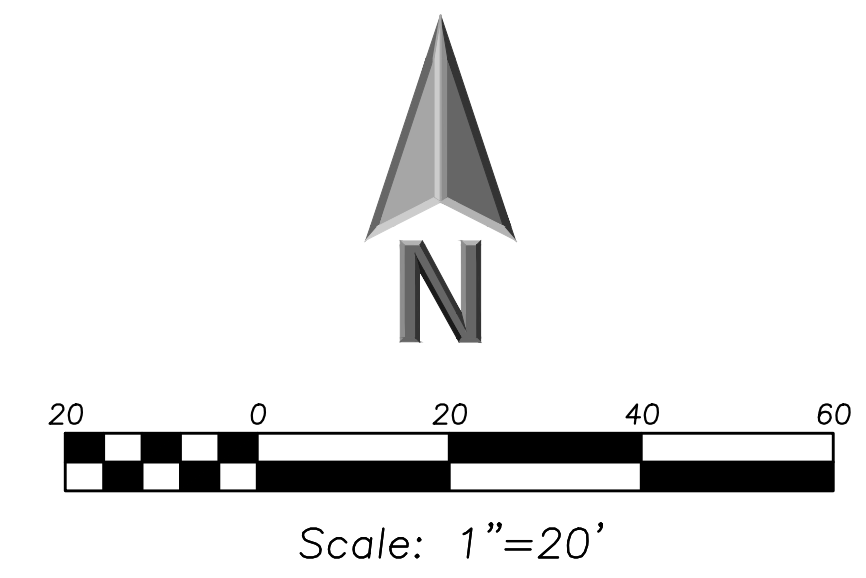
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SOIL EROSION & SEDIMENTATION CONTROL NOTES

1. Install Stabilized Construction Entrance
2. Install All Downslope and Sideslope Perimeter Controls Before Commencement of Any Ground Disturbing Activity.
3. Do Not Disturb An Area Until It is Necessary For Construction To Proceed.
4. Cover and Stabilize Disturbed Areas As Soon As Possible.
5. When Practical, Time Construction Activities To Limit Impact From Seasonal Climate Changes or Weather Events.
6. Construct Sedimentation Basins and Structures.
7. Perform Grading Operations and Installation of Site Infrastructure and Pavement.
8. Install Permanent Seeding and Plantings.
9. Remove Accumulated Sediment From Basins and Along Silt Fence.
10. Construction of Infiltration Measures Shall Take Place Following Stabilization of Upstream Drainage Areas.
11. Remove Temporary Sediment and Erosion Control Measures Following Final Stabilization of All Disturbed Areas.



LEGEND

EXISTING	PROPOSED

SOIL EROSION & SEDIMENTATION CONTROL LEGEND

	Silt Fence
	Inlet Protection

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SITE EROSION CONTROL PLAN

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Install & maintain 4' tall wooden slat fence secured to metal posts spaced a maximum of 10' apart. The tree fence shall be 1 foot from the tree trunk for each inch of diameter measured 4.5' from ground level. The fence must be secured to the metal post with a minimum of 4 ties.

Installation shall be approved by the CITY FORESTER before the start of the project.

Failure to install and maintain protective tree fencing in accordance with City Standards will result in a ticket or a "STOP WORK ORDER" on the project.

TREE PROTECTION DETAIL

City of Highland Park
Department of Public Works
1150 Half Day Rd, Highland Park, IL 60035

H.P. DWG. No. FOR-1041
Drawn By: M.B.
Revised By: E.J.

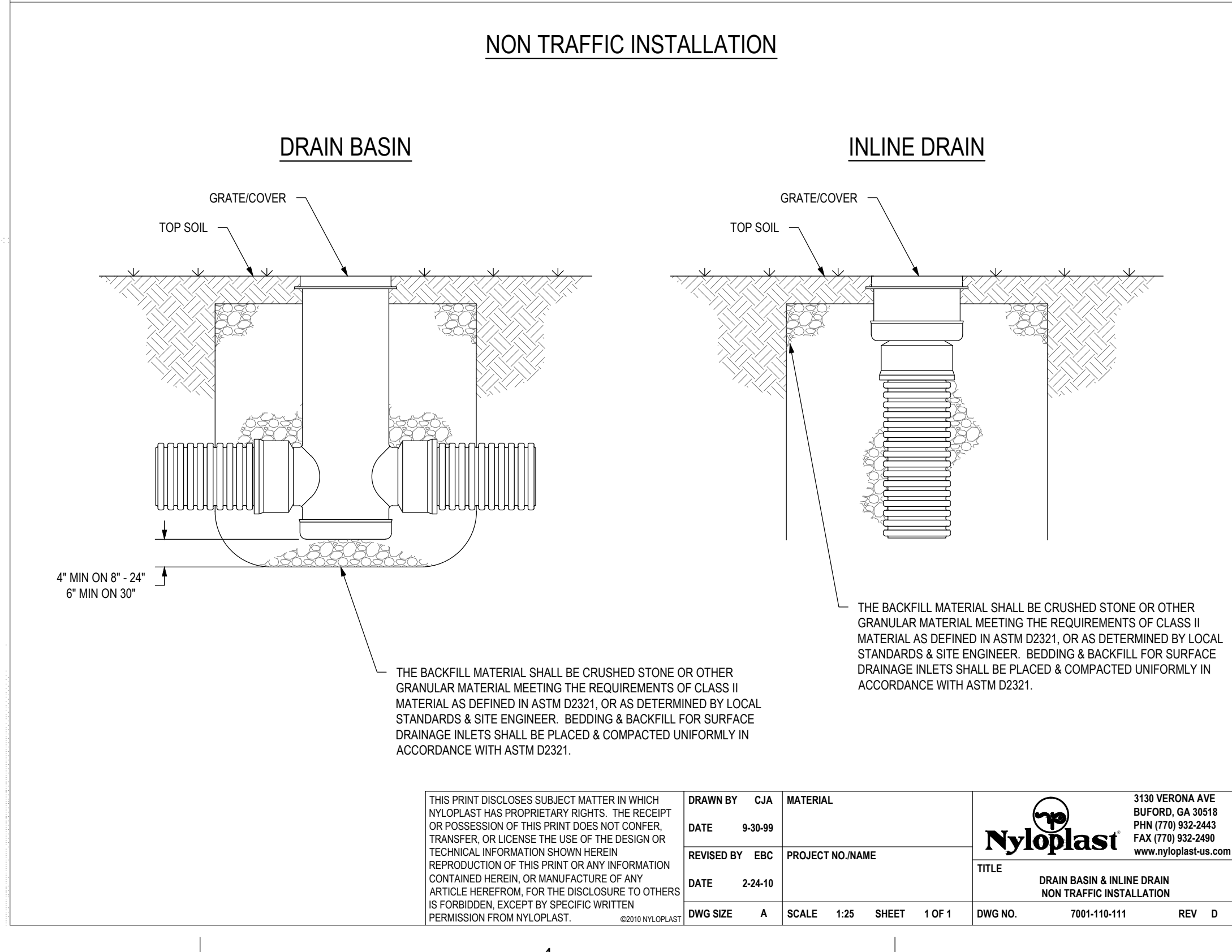
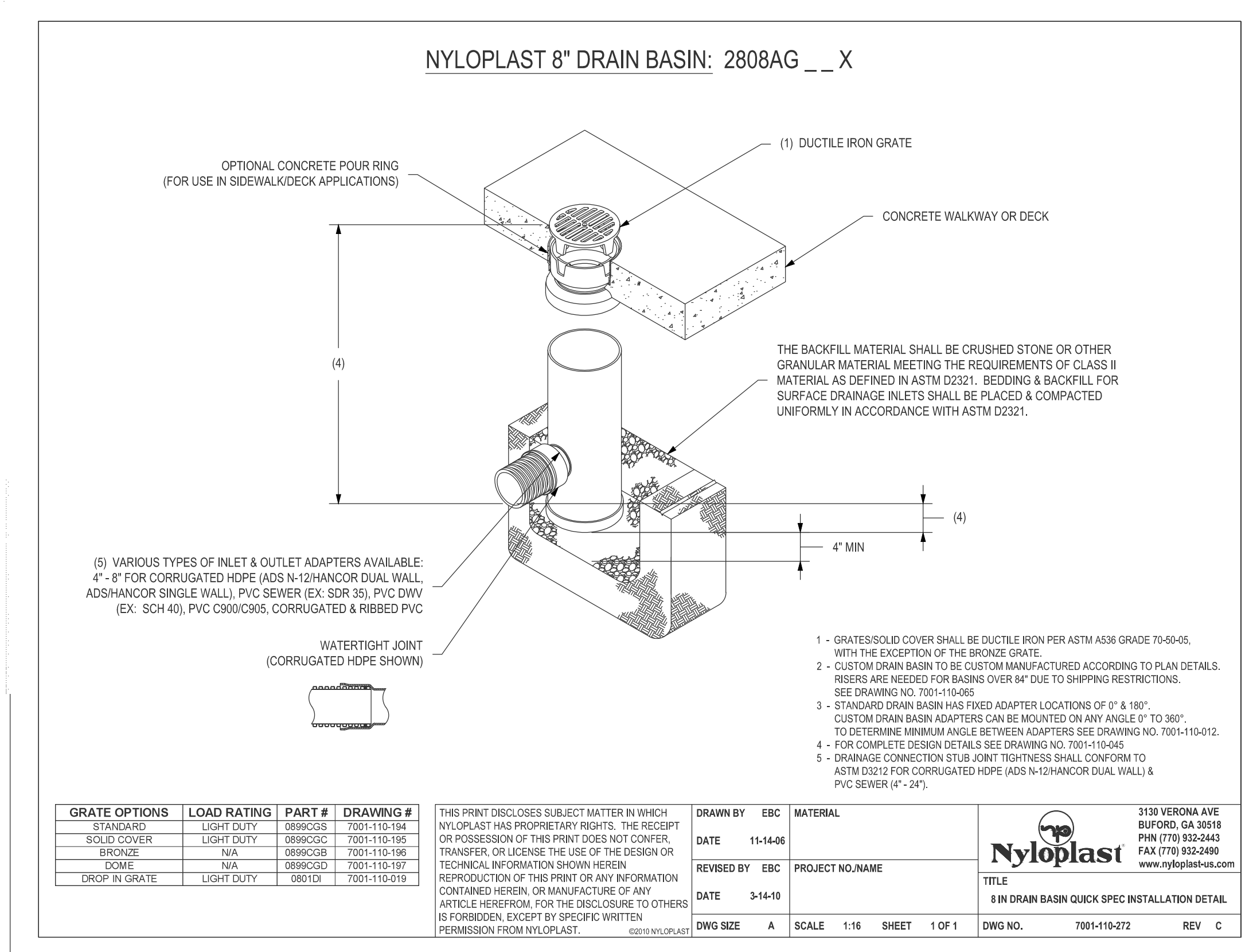
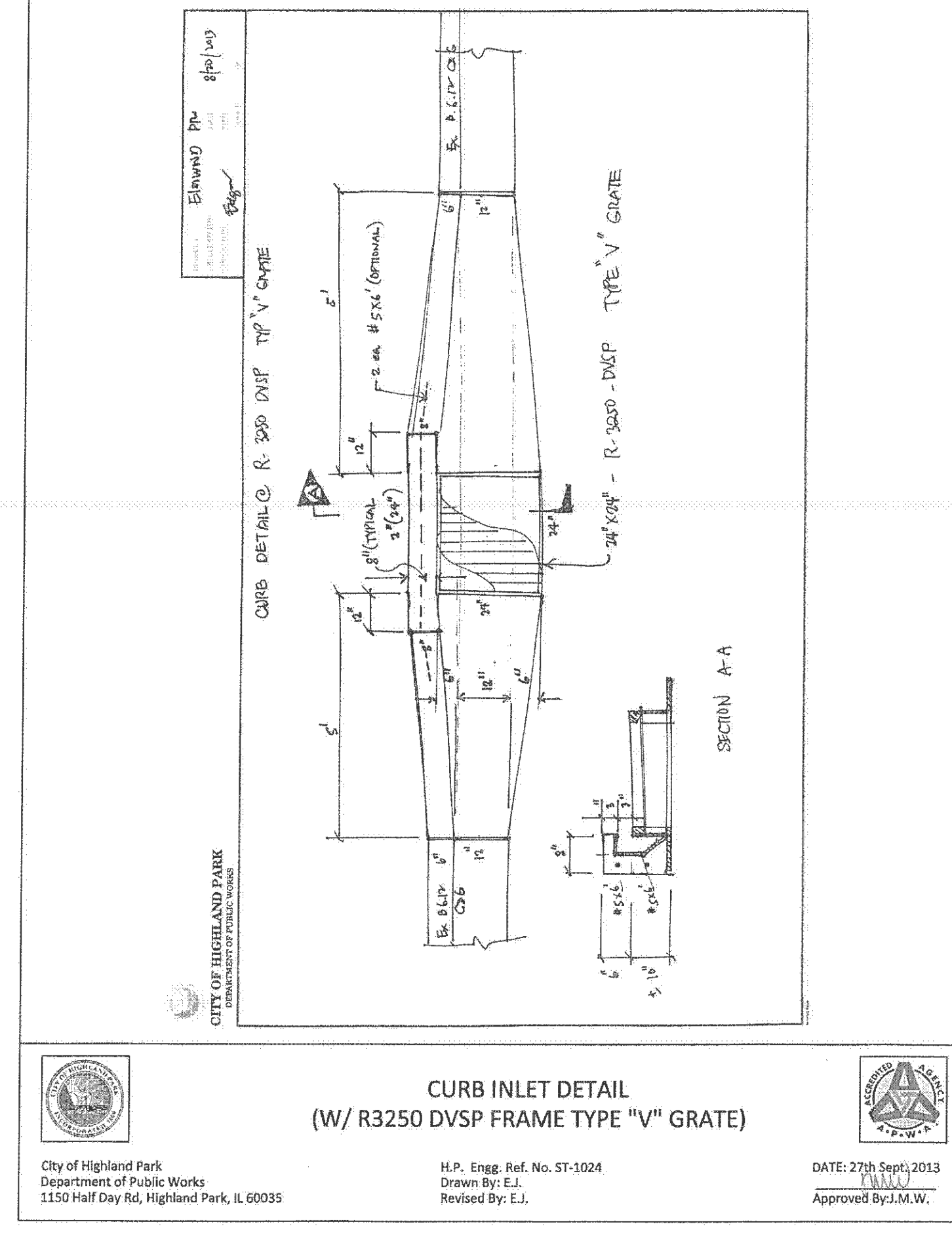
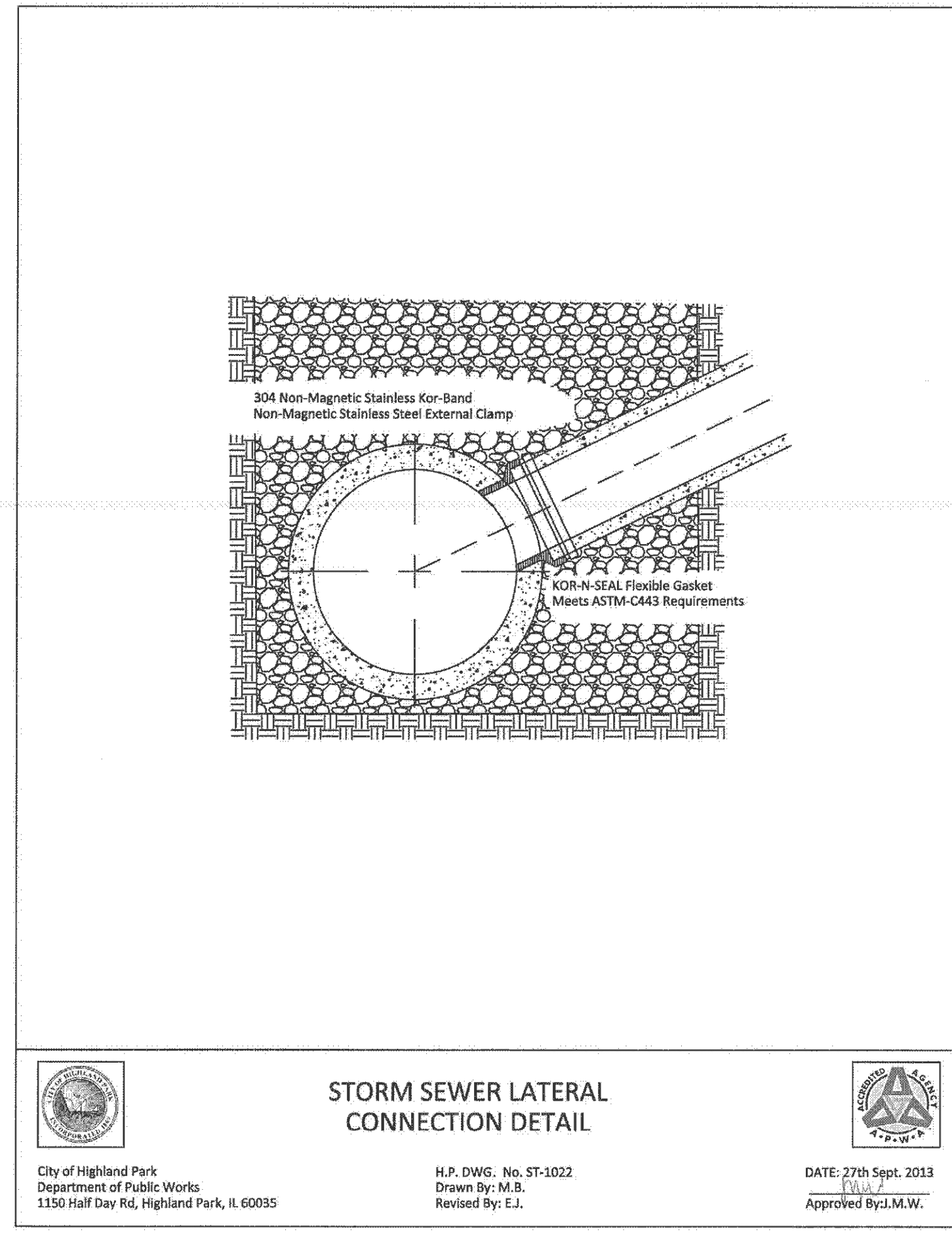
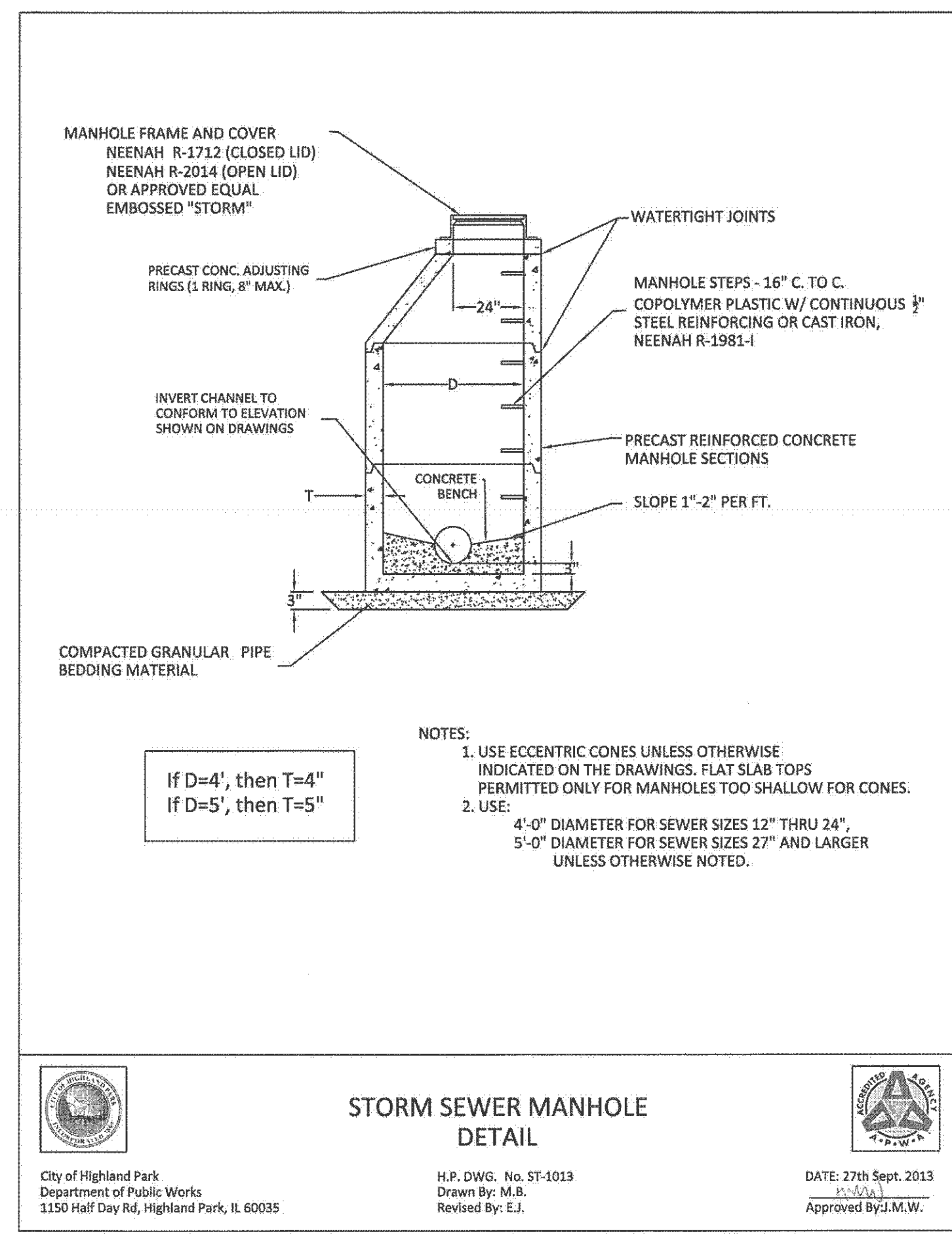
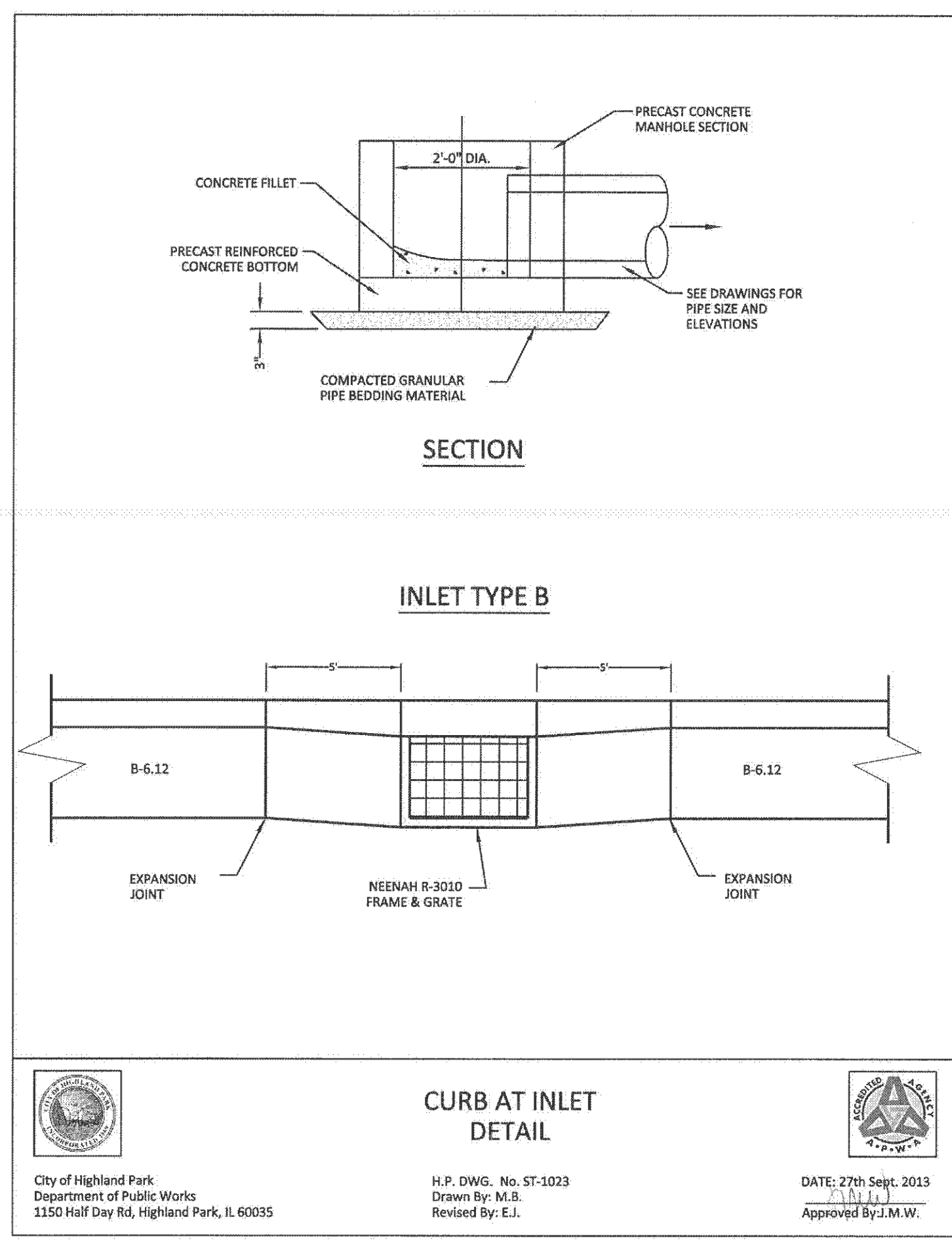
DATE: 27th Sept. 2013
Approved By: J.M.W.

SILT FENCE DETAIL

Material	Quantity	Notes
Geotextile Fabric	100' x 40'	100' x 40'
Wood Posts	100'	100'
Staples	100'	100'
Staple Gun	1	1
Shovel	1	1
Hand Saw	1	1
String Line	1	1
Level	1	1
Surveying Tape	1	1
Shovel	1	1
Hand Saw	1	1
String Line	1	1
Level	1	1
Surveying Tape	1	1
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FitzGerald
 Associates Architects
 912 W. Lake St. Chicago, Illinois
 1312-563-9100
 1312-563-1919
 www.fitzgeraldassociates.net

CONSULTANT:
ERIKSSON
 ENGINEERING
 ASSOCIATES, LTD.
 145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60031
 P 847-223-4804
 F 847-223-4864
 INFO@EEA-LTD.COM

11144

Ravinia

515-555 Roger Williams Avenue
 Highland Park, IL 60035

CLIENT:
 Imperial Realty Co.

4747 W. Peterson Ave.
 Suite 200
 Chicago, IL 60646



#	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	03/24/17

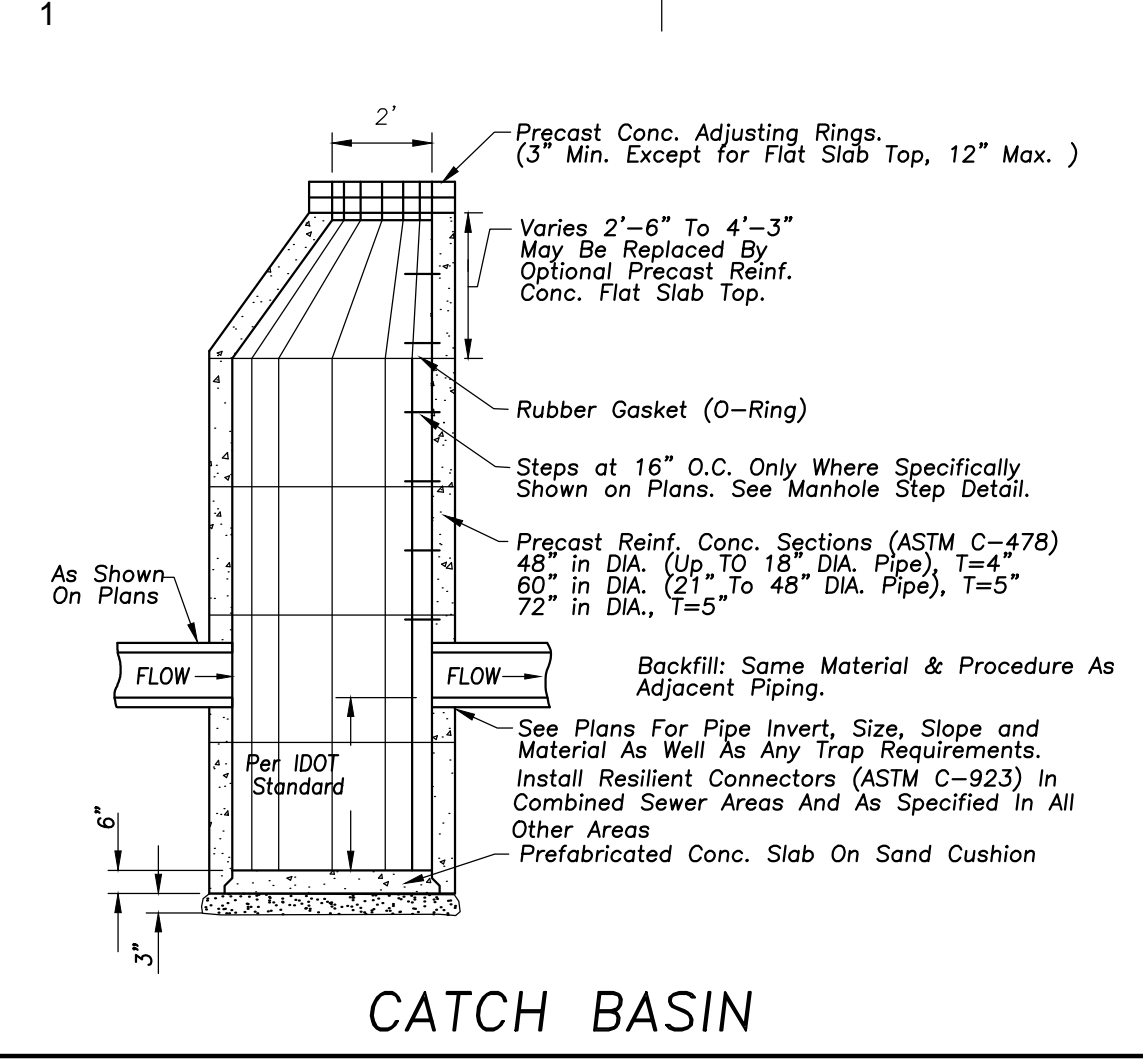
NOT FOR CONSTRUCTION

SITE DETAILS

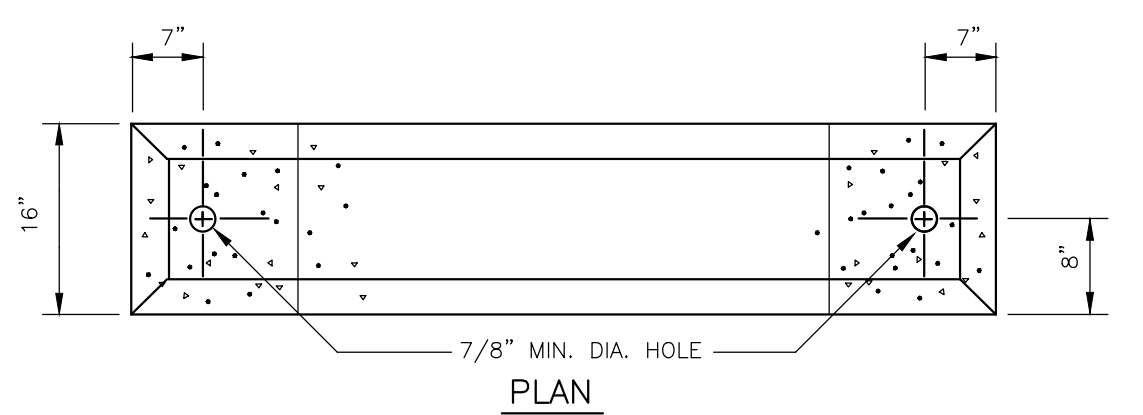
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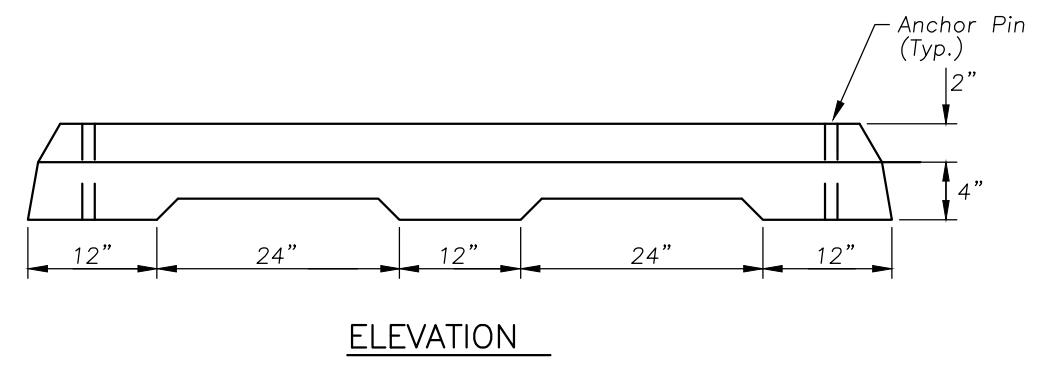
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CATCH BASIN



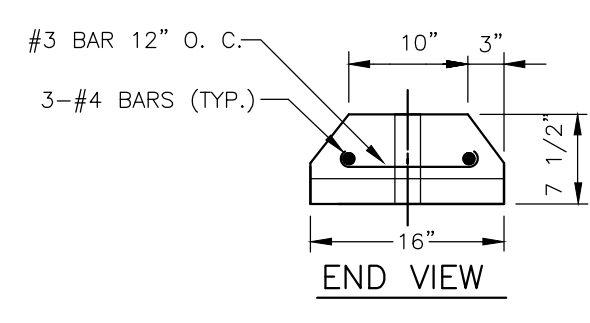
PLAN



ELEVATION

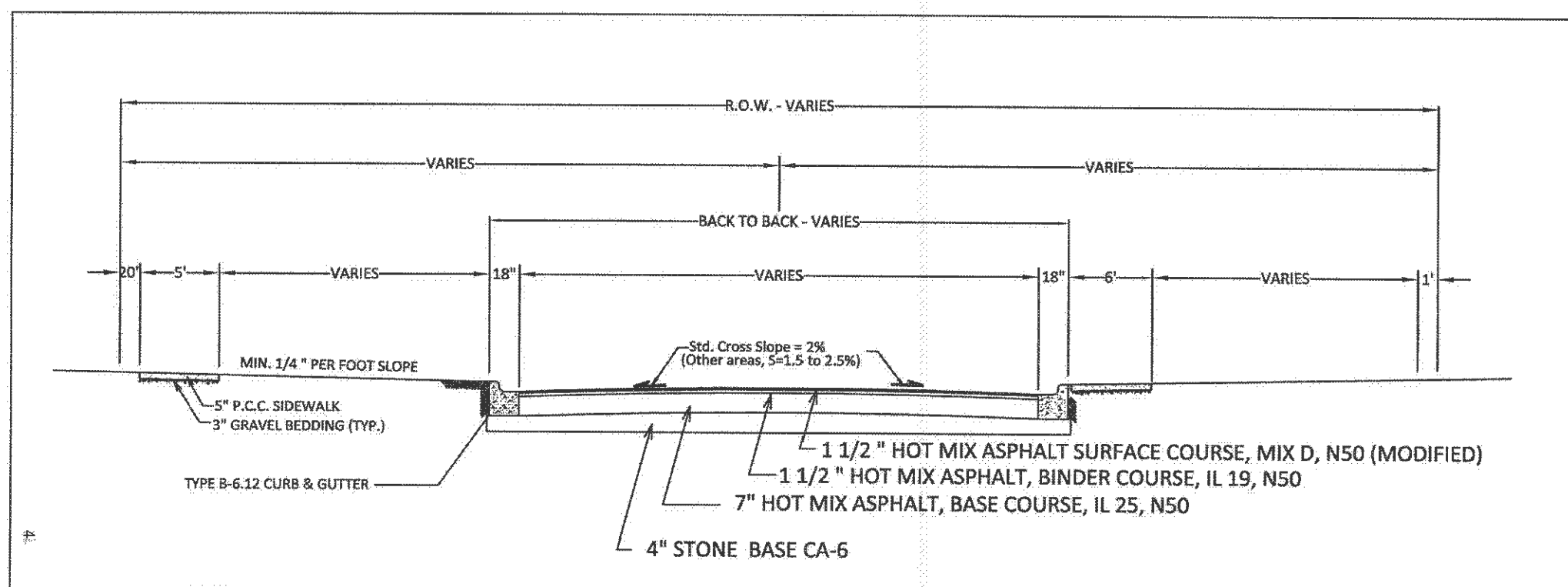
NOTES

1. MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE TO BE 5,000 PSI IN 28 DAYS.
2. PINS/DOWELS ARE DRIVEN (EACH END) FOR SECURING BLOCK TO PAVEMENT.



END VIEW

CONCRETE WHEEL STOP



TYPICAL ROAD R.O.W. CROSS SECTION (ASPHALT PAVEMENT)

TOP OF CURB ELEVATIONS CHART

B/C to B/C Paving Dimensions: (With Comb. C&G B6.12)	T/C Elevation = C/L Elev + C Values	S=1.5%	S=2.5%
21' B/C-B/C	0.26	0.305	0.215
22' B/C-B/C	0.25	0.298	0.202
23' B/C-B/C	0.24	0.290	0.190
24' B/C-B/C	0.23	0.282	0.178
25' B/C-B/C	0.22	0.275	0.165
27' B/C-B/C	0.20	0.260	0.140
29' B/C-B/C	0.18	0.245	0.115

ASPHALT PAVEMENT DETAIL

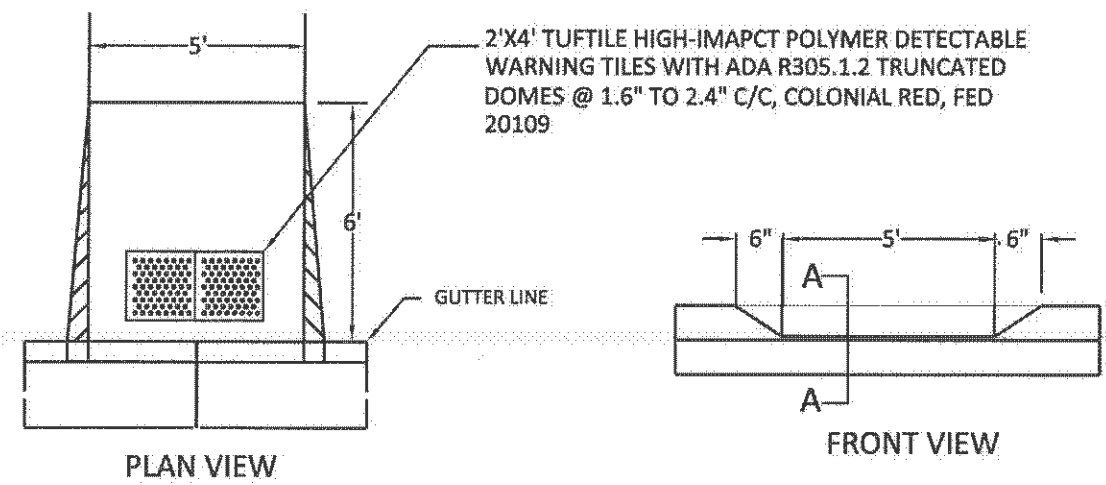
City of Highland Park Department of Public Works 1150 Half Day Rd, Highland Park, IL 60035

H.P. DWG. No. STR-1000
Drawn By: M.B.
Revised By: E.J.

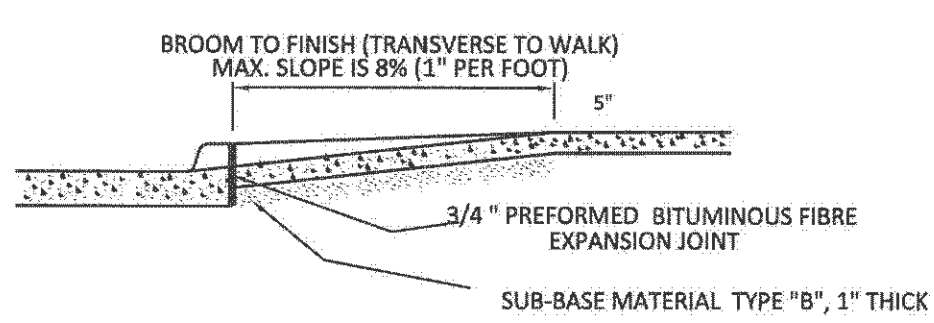
DATE: 27th Sept. 2013
Approved By: J.M.W.

RAMPS SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE IN ACCORDANCE WITH ART. 624 OF STATE STANDARD SPECIFICATION.

THICKNESS OF RAMPS WILL BE THE SAME AS ADJACENT SIDEWALK WITH A MINIMUM OF 5" AND WILL BE PAID FOR AT THE CONTRACT UNIT PRICE FOR P.C.C. SIDEWALK. THE PRICE SHALL ALSO INCLUDE ALL NECESSARY TYPE "B" SUB-BASE AND 3/4" PREFORMED BITUM. FIBRE EXPANSION MATERIAL.



RAMP DETAIL



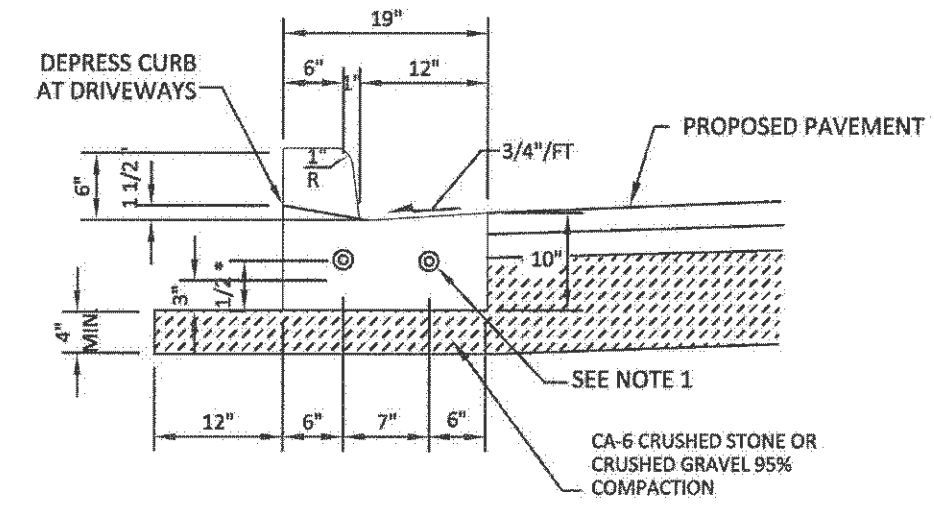
SECTION A-A

SIDEWALK RAMP DETAIL

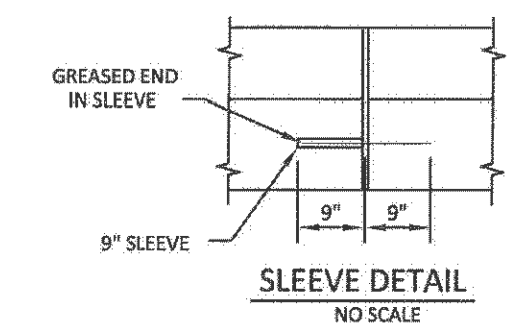
City of Highland Park Department of Public Works 1150 Half Day Rd, Highland Park, IL 60035

H.P. DWG. No. STR-1032
Drawn By: M.B.
Revised By: E.J.

DATE: 27th Sept. 2013
Approved By: J.M.W.



CURB & GUTTER TYPE B-6.12 (IN CONFORMANCE WITH I.D.O.T. STD 606001-04)



SLEEVE DETAIL

NOTES:

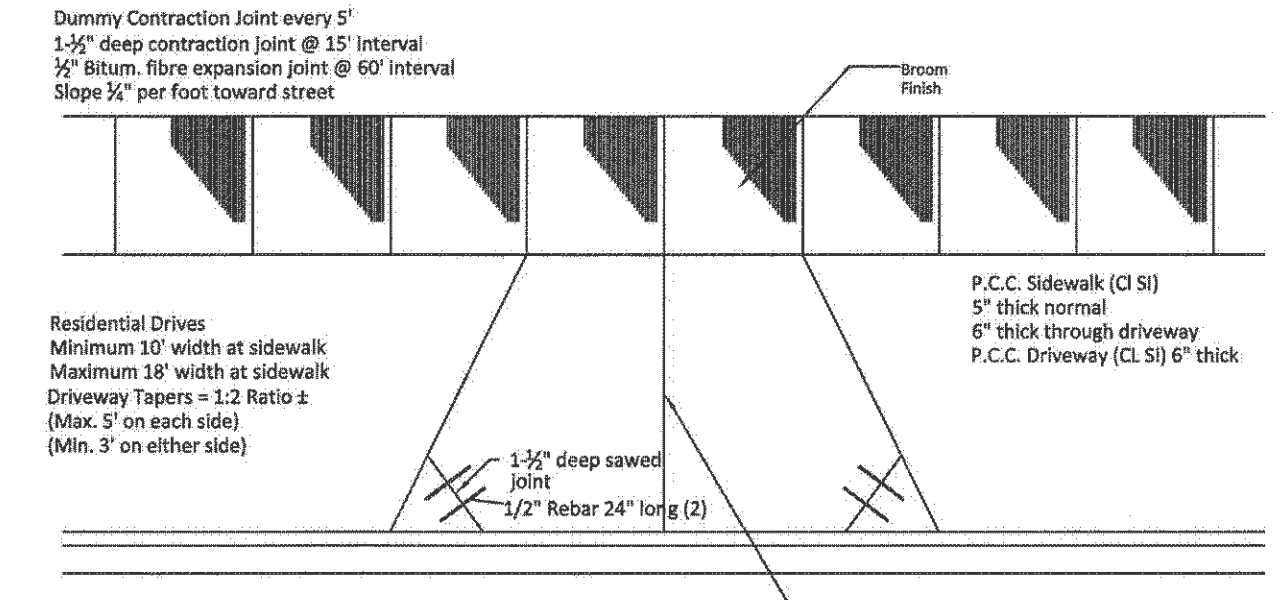
1. EXPANSION JOINTS W/ 3/4" PREFORMED EXPANSION JOINT MATERIAL & TWO (2) SMOOTH 1-1/4" EPOXY COATED DOWEL BARS WITH GREASE CAPS SHALL BE PLACED:
 - a. AT ENDS OF INTERSECTION RADII, P.C.'S, RADIUS POINTS, & BACK OF CUL-DE-SACS
 - b. 5 FT. ON EACH SIDE OF DRAINAGE STRUCTURES
 - c. MAX. OF 60 FT. INTERVALS
 - d. WHERE NEW CURB MEETS EXISTING CURB, THE EXISTING CURB SHALL BE DRILLED AND TWO (2) SMOOTH 1-1/4" DOWEL BARS GROUTED IN PLACE W/ THE GREASE CAP PLACED ON THE SIDE OF THE NEW CURB & GUTTER.
2. TOOL OR SAWCUT CONTRACTION JOINTS AT 15 FT. INTERVALS.
3. SAWCUTS SHALL BE MADE WITHIN TWENTY-FOUR (24) HRS. AND SEALED W/ JOINT SEALANT, JOINTS SHALL BE CLEAN AND DRY PRIOR TO APPLICATION OF SEALANT.

TYPE B-6.12 CURB & GUTTER DETAIL

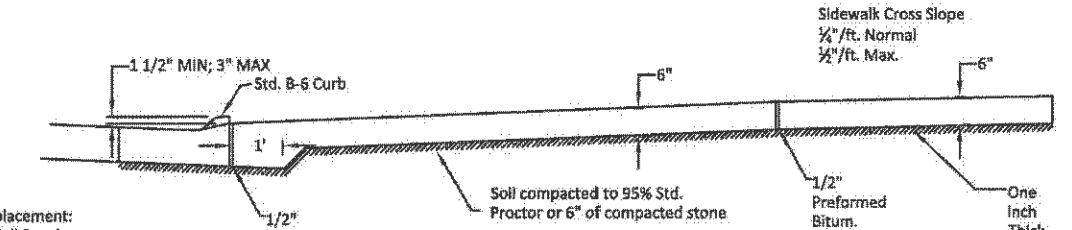
City of Highland Park Department of Public Works 1150 Half Day Rd, Highland Park, IL 60035

H.P. DWG. No. STR-1036
Drawn By: M.B.
Revised By: E.J.

DATE: 27th Sept. 2013
Approved By: J.M.W.



Plan View



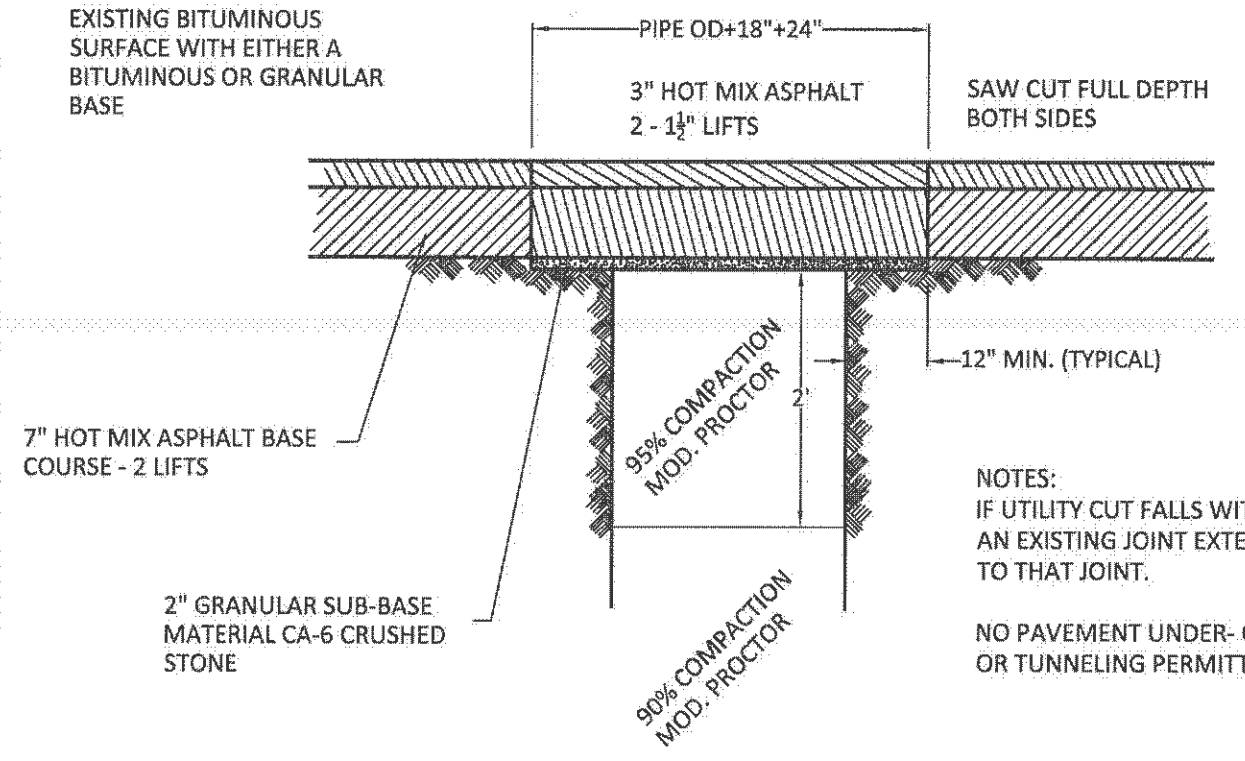
Cross Section View

TYPICAL DRIVEWAY & SIDEWALK DETAIL

City of Highland Park Department of Public Works 1150 Half Day Rd, Highland Park, IL 60035

H.P. DWG. No. STR-1031
Drawn By: M.B.
Revised By: E.J.

DATE: 27th Sept. 2013
Approved By: J.M.W.



BITUMINOUS PAVEMENT PATCH DETAIL

City of Highland Park Department of Public Works 1150 Half Day Rd, Highland Park, IL 60035

H.P. DWG. No. STR-1035
Drawn By: M.B.
Revised By: E.J.

DATE: 27th Sept. 2013
Approved By: J.M.W.

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912 W. Lake St. Chicago, Illinois 1312-563-9100 1312-563-1919
www.fitzgeraldassociates.net

CONSULTANT:
ERIKSSON ENGINEERING ASSOCIATES, LTD.
145 COMMERCIAL DRIVE, SUITE A GRAYSLAKE, ILLINOIS 60031
P 847-223-4864 F 847-223-4864 INFO@EEA-LTD.COM

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Ravinia

515-555 Roger Williams Avenue Highland Park, IL 60035

CLIENT:
Imperial Realty Co.

4747 W. Peterson Ave. Suite 200 Chicago, IL 60646



#	DESCRIPTION	DATE
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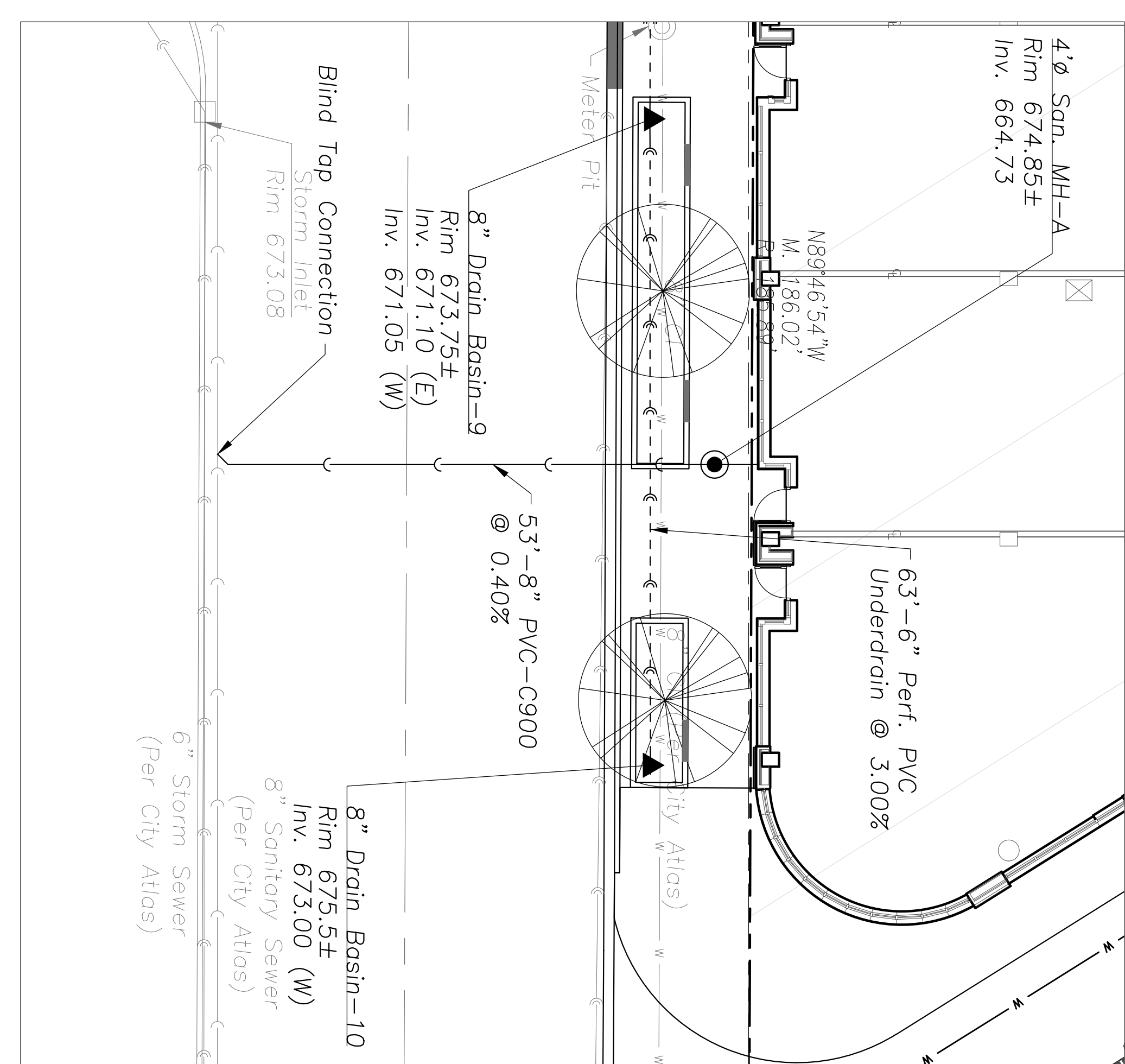
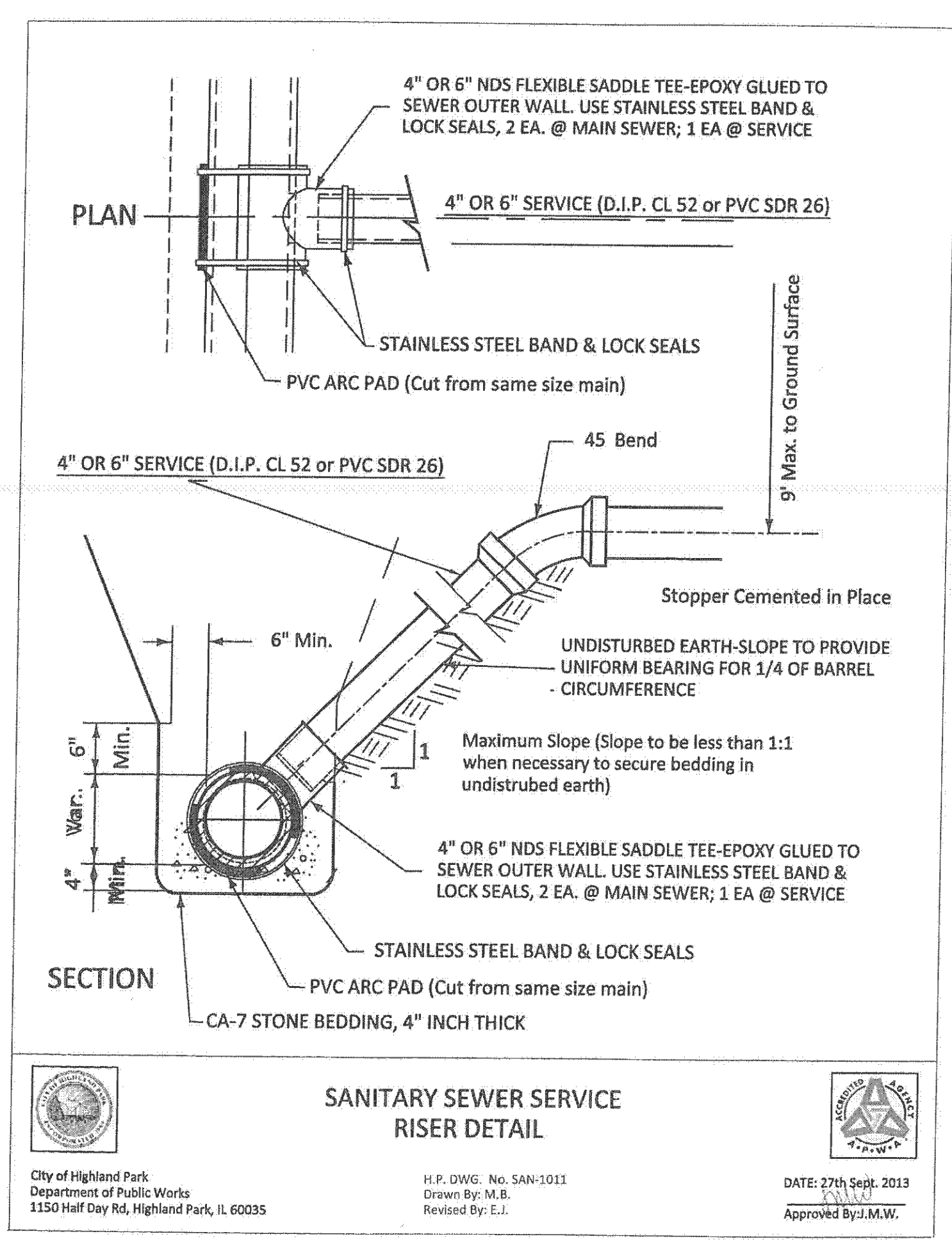
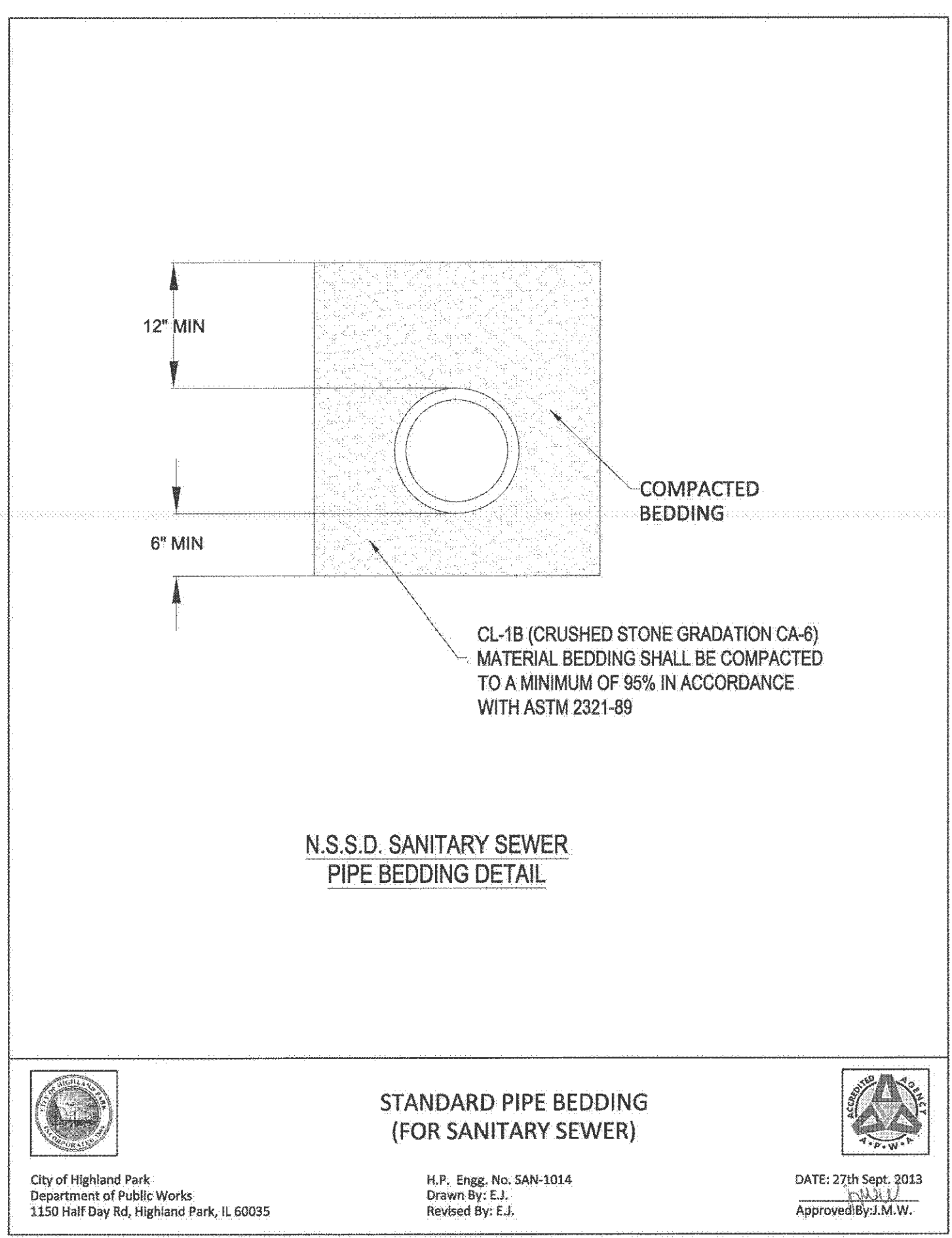
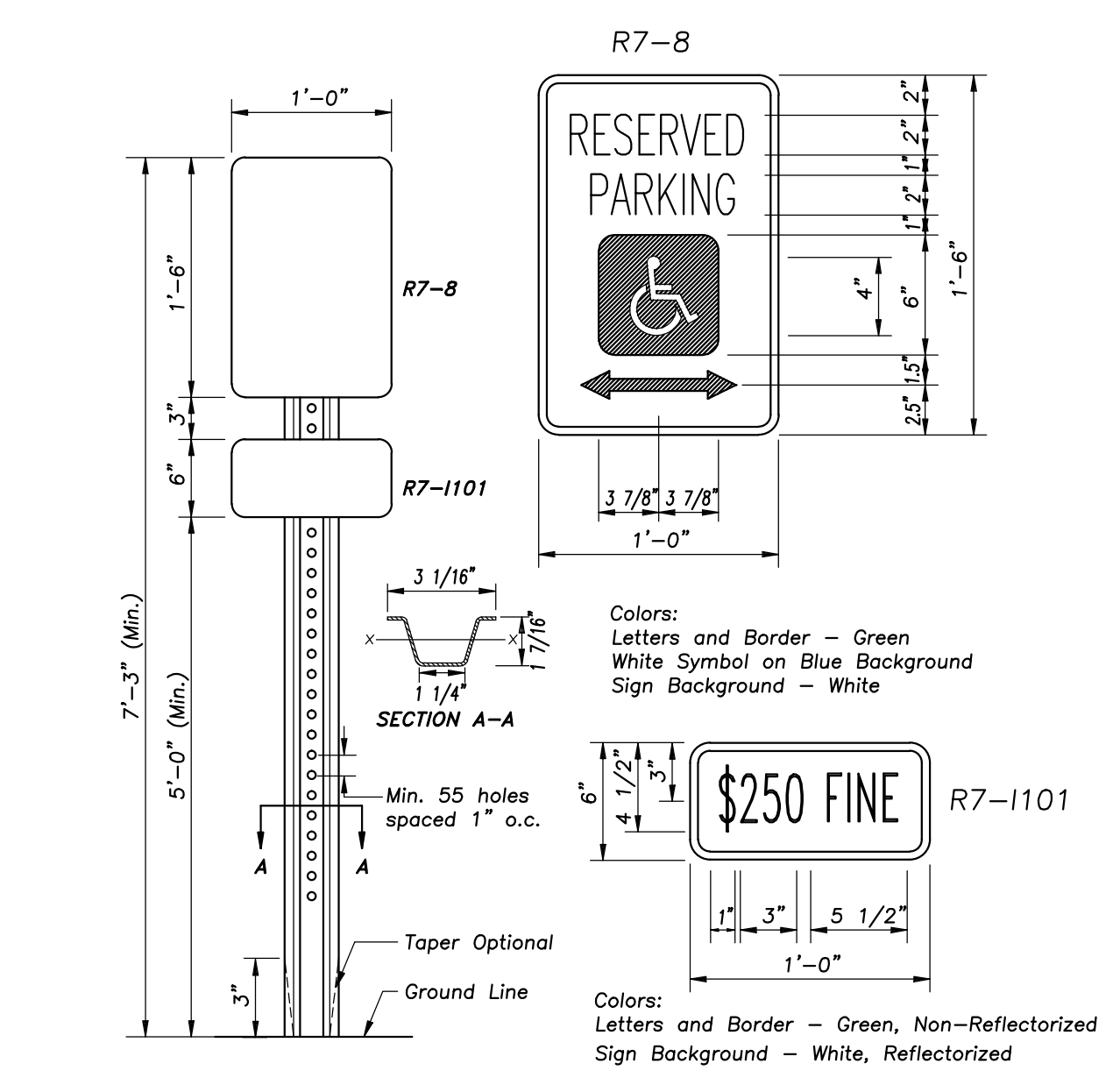
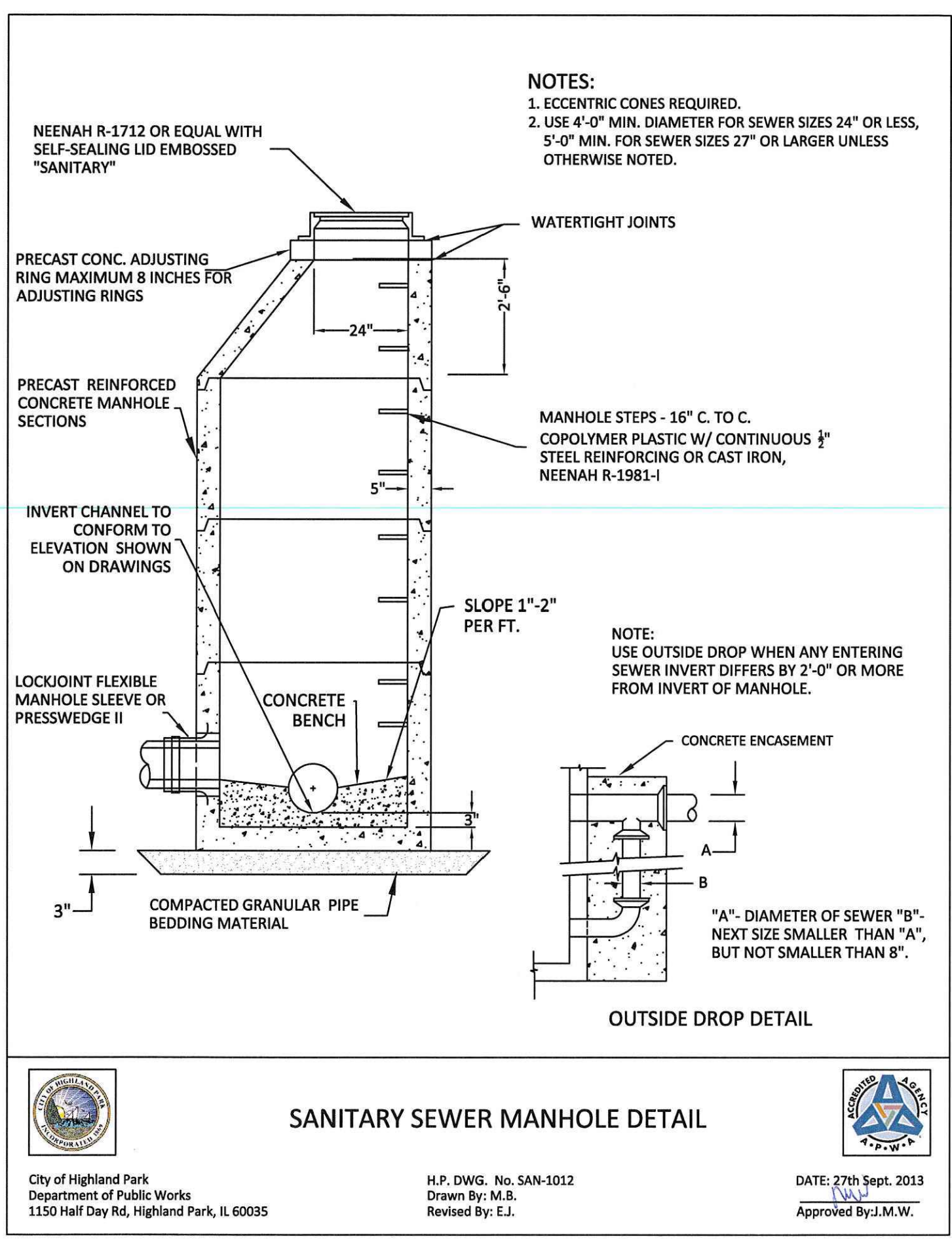
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SITE DETAILS

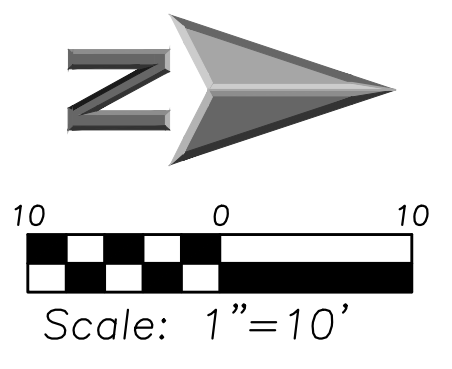
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676	4" Inspection MH Rim 674.85± Inv. 664.73	676
674	Proposed Surface Elevation	674
672	Proposed 6" Perf. PVC Underdrain	672
670	Existing 8" Water Main (City of Highland Park)	670
668	Existing 8" Sanitary Sewer (City of Highland Park)	668
666	Blind Tap Connection, Field Verify Location of Sewer And Inverts. Contact Engineer Prior To Construction If Conflict Exists	666
664	53 LF - 8" PVC-C900 @ 0.40%	664
662	See MEP Drawings For Continuation Within 5' Of Building Face	662
660	Existing 18" Storm Sewer (City of Highland Park). Field Verify Location And Contact Engineer Prior To Construction If Conflict Exists.	660
658		658



FitzGerald
 Associates Architects
 912 W. Lake St. Chicago, Illinois
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 www.fitzgeraldassociates.net

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ERIKSSON
 ENGINEERING
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 GRAYSLAKE, ILLINOIS 60031
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#	DESCRIPTION	DATE
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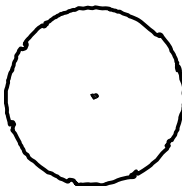
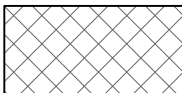
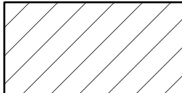
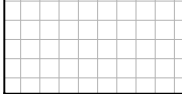
SITE DETAILS

C6-03

PLANTING LIST

Code	Botanical Name	Common Name	Size	Qty	Spacing	Comment
Shade Trees						
COW3.0	<i>Celtis occidentalis</i> 'Windy City'	Windy City Hackberry	3" C	6		
PMT3.0	<i>Platanus x acerifolia</i> 'Morton Circle'	Exclamation! London Planetree	3" C	3		
Shrubs						
HAG24	<i>Hydrangea arborescens</i> 'Grandiflora'	Smooth Hydrangea	24"	3		
Perennials						
ALLO	<i>Allium 'Millennium'</i>	Millennium Ornamental Chive	BULB	58	12" O.C.	Mixed Evenly
CPE6	<i>Carex pennsylvanica</i>	Oak Sedge	1 GAL	37	15" O.C.	Mixed Evenly
CVU6	<i>Carex vulpinoidea</i>	Fox Sedge	1 GAL	37	15" O.C.	Mixed Evenly
HLG6	<i>Hemerocallis 'Little Wine Cup'</i>	Little Wine Cup Daylily	1 GAL	279	12" O.C.	Mixed Evenly
JUT6	<i>Juncus torreyi</i>	Torrey's Rush	1 GAL	37	15" O.C.	Mixed Evenly
LSS6	<i>Liatris spicata</i>	Marsh Blazingstar	1 GAL	279	12" O.C.	Mixed Evenly
SHE6	<i>Sporobolus heterolepis</i>	Prarie Dropseed	1 GAL	183	15" O.C.	Mixed Evenly

LEGEND

-  Shade tree, typical.
-  Parking Lot Plantings, typical
-  Infiltration Plantings, typical
-  Specialty Paving



100 S. Wacker Drive
Suite 700
Chicago, IL 60606
T 312.634.2100
hitchcockdesigngroup.com

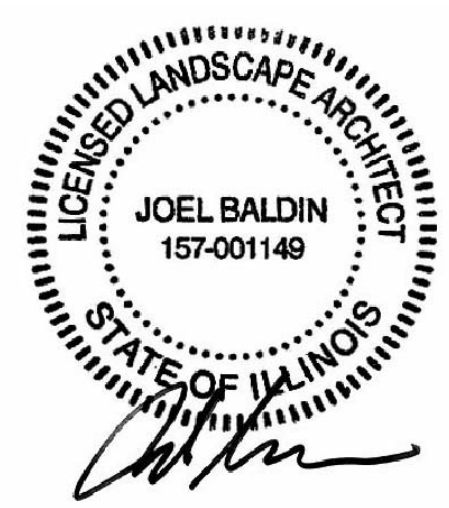
PREPARED FOR
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4747 West Peterson Avenue
Suite 200
Chicago, Illinois 60646

PROJECT
Ravinia - 515 Roger Williams Avenue

Highland Park, Illinois 60035

CONSULTANTS
Architect
Fitzgerald Associate Architects
Chicago, Illinois 60607
T 312.563.9100



ISSUED
March 24, 2017
REVISIONS

No	Date	Issue
	2017.03.24	Issued for Permit/Bid

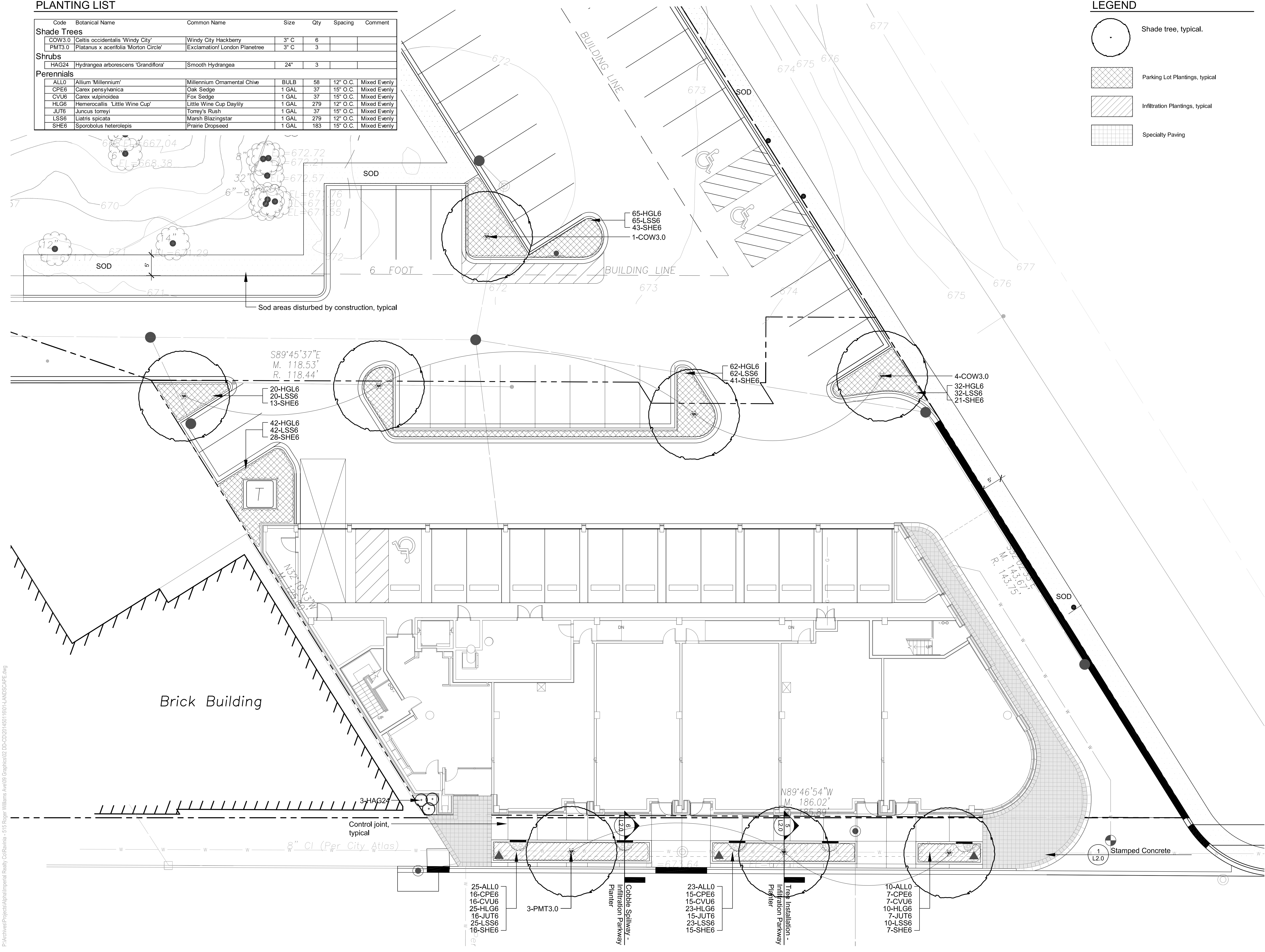
CHECKED BY: JEB
DRAWN BY: AWT

SHEET TITLE
Landscape Plan

SCALE IN FEET
1" = 10'
0' 5' 10' 30'

NORTH
SHEET NUMBER
L1.0

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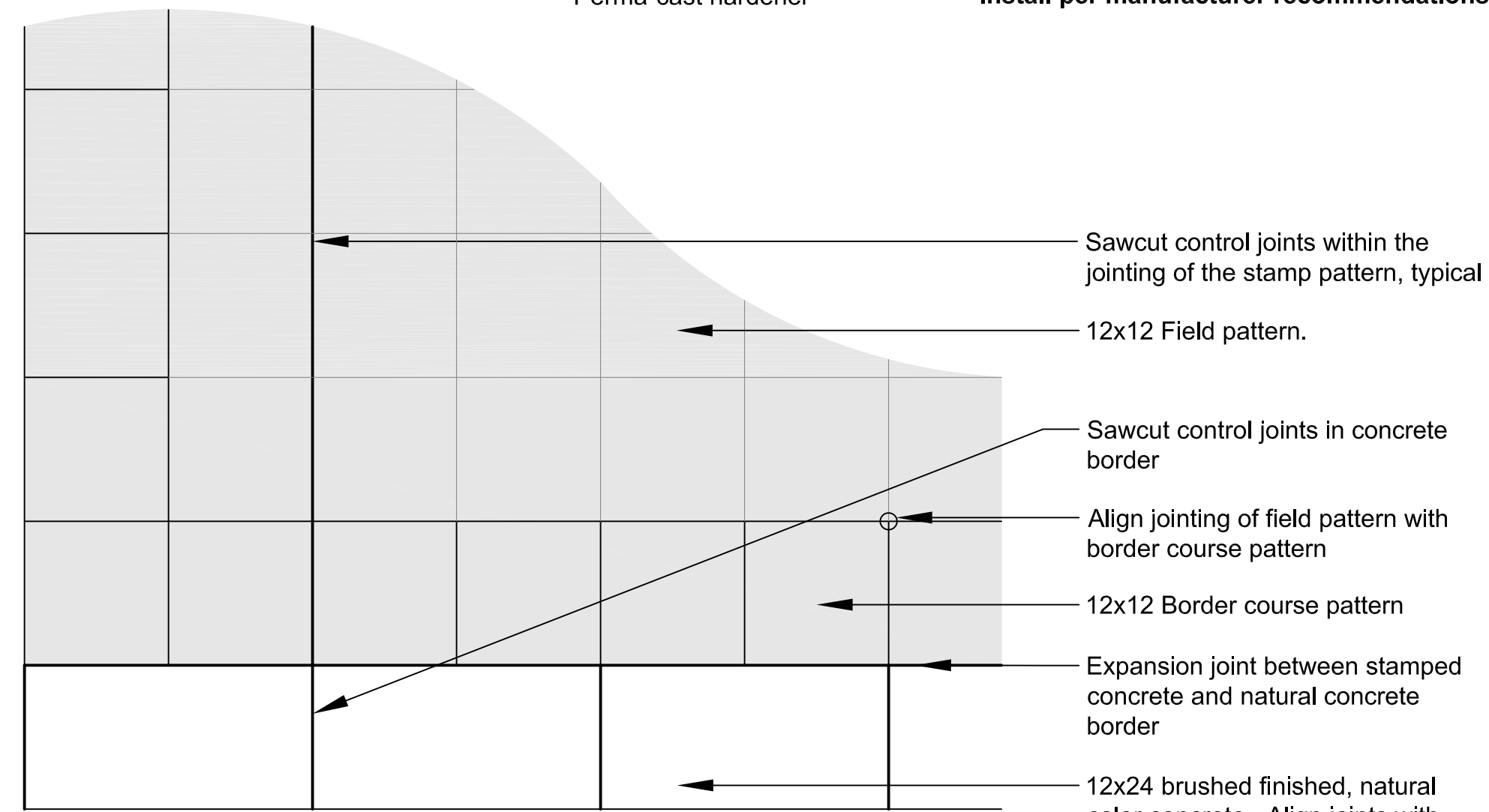


P:\Archives\Projects\Imperial Realty Co\Ravinia - 515 Roger Williams Ave\03 Graphics\02 DD-CD\01\60716010-LANDSCAPE.dwg

Stamped Concrete
 Manufacturer: Butterfield Color
 Stamp: 12"x12" Slate (#BST 4300)
 Color: U37 Sienna Uni-Mix Integral
 Concrete Colorant
 Color Hardener: Sienna
 Perma-cast hardener

Release Agent: Butterfield Color Clear
 Liquid Release
 Sealer: Clear Guard Pro 350 with
 SharkGrip Slip-Resistant Additive

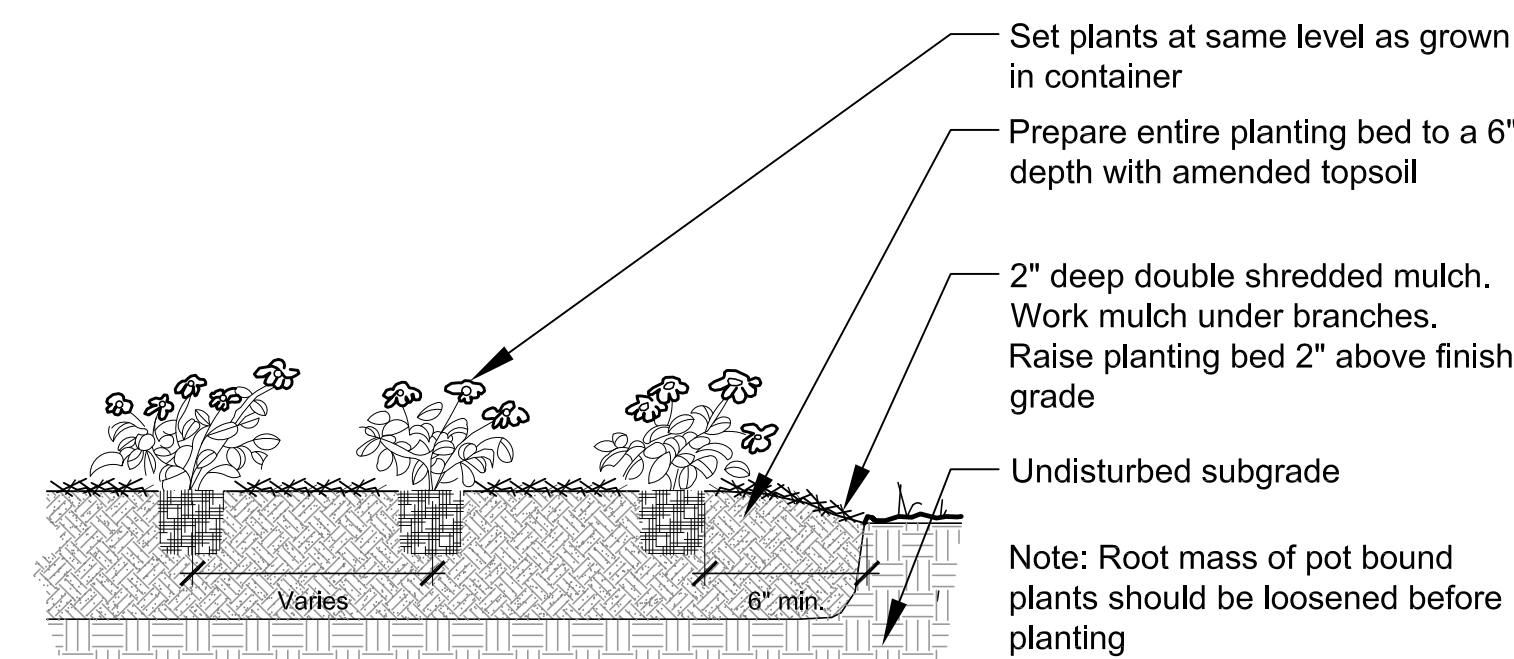
Install per manufacturer recommendations



1 Stamped Concrete - Plan

Scale: 1" = 1'-0"

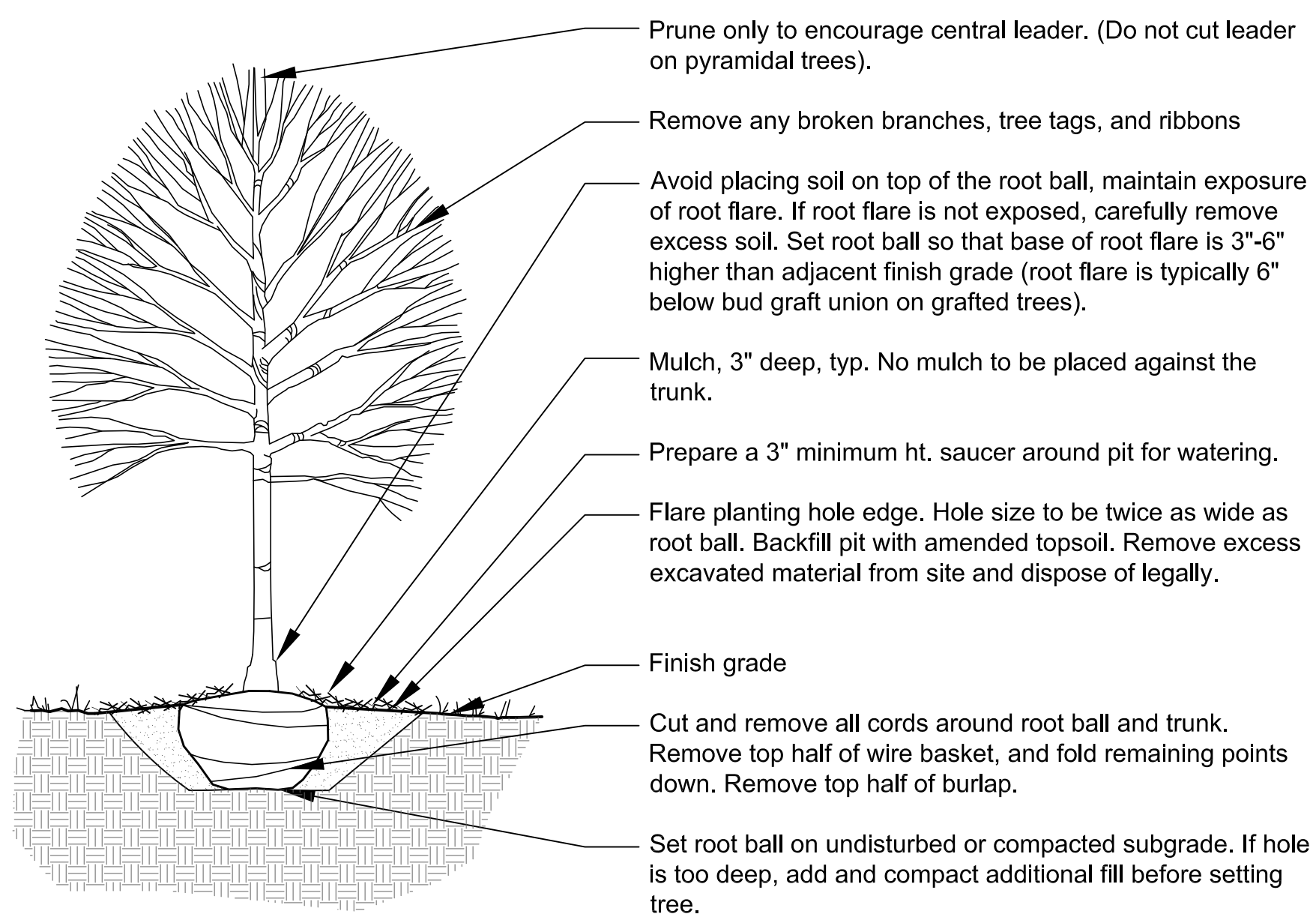
d-conc-stamped



2 Perennial Planting

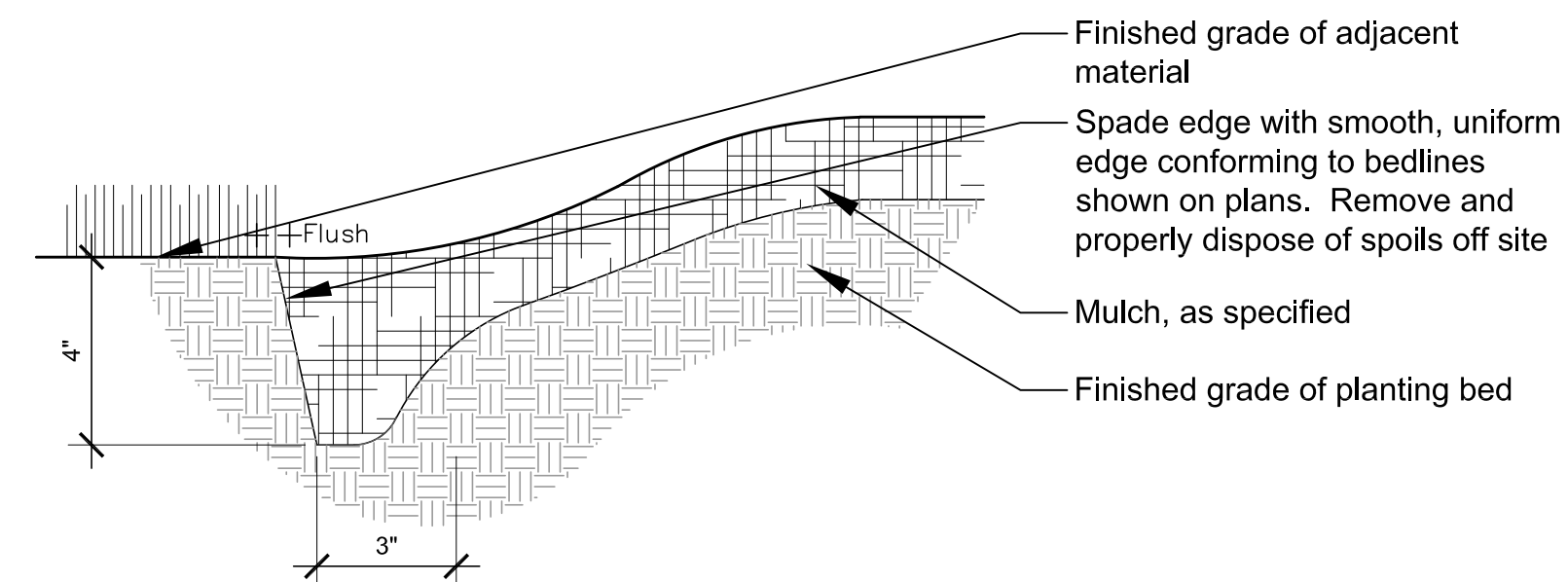
Scale: 1/2" = 1'-0"

d-plant-ann-perenn



3 Shade Tree Planting

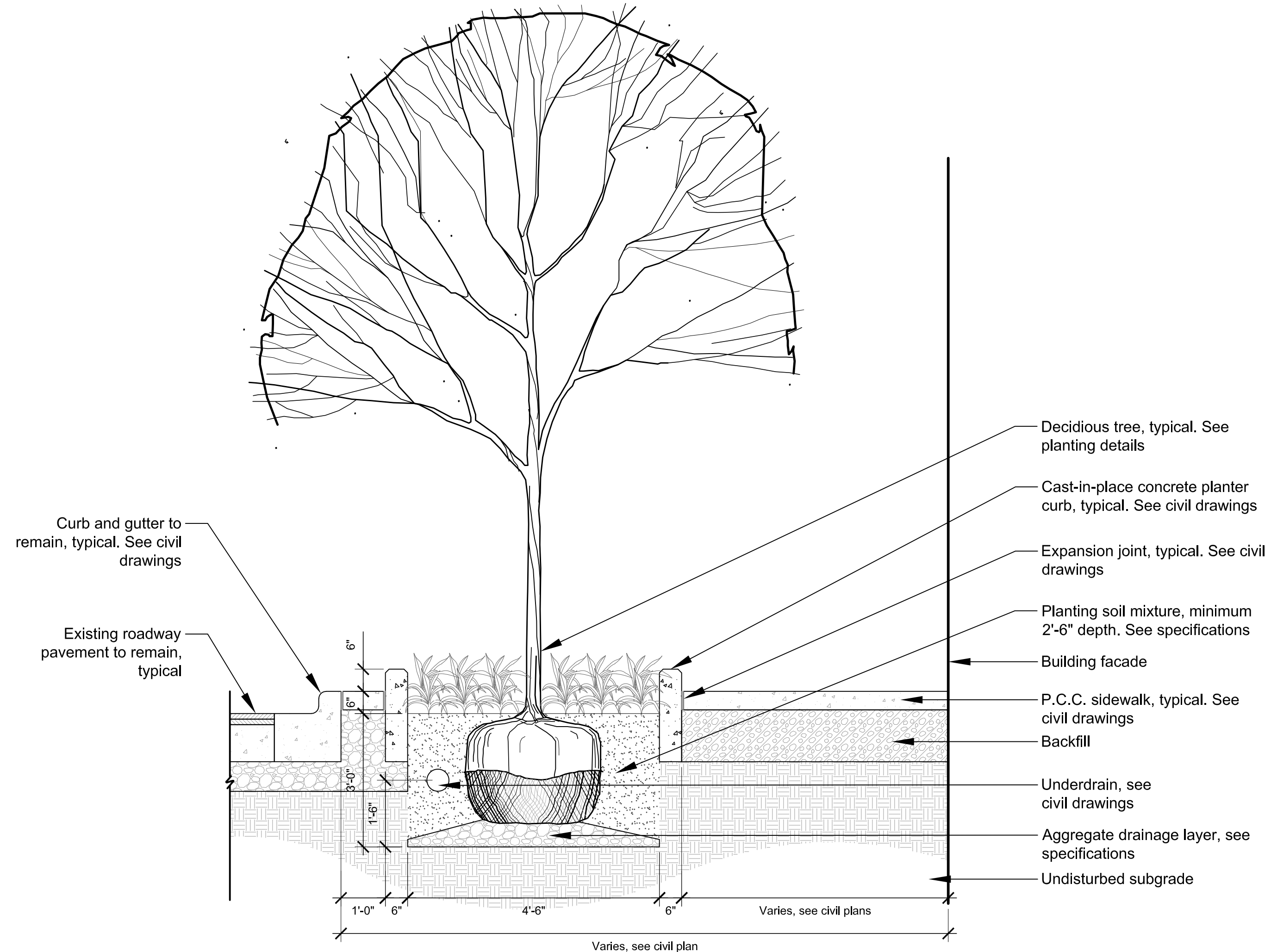
Scale: 1/2" = 1'-0"



4 Planting Bed Edge

Scale: 3" = 1'-0"

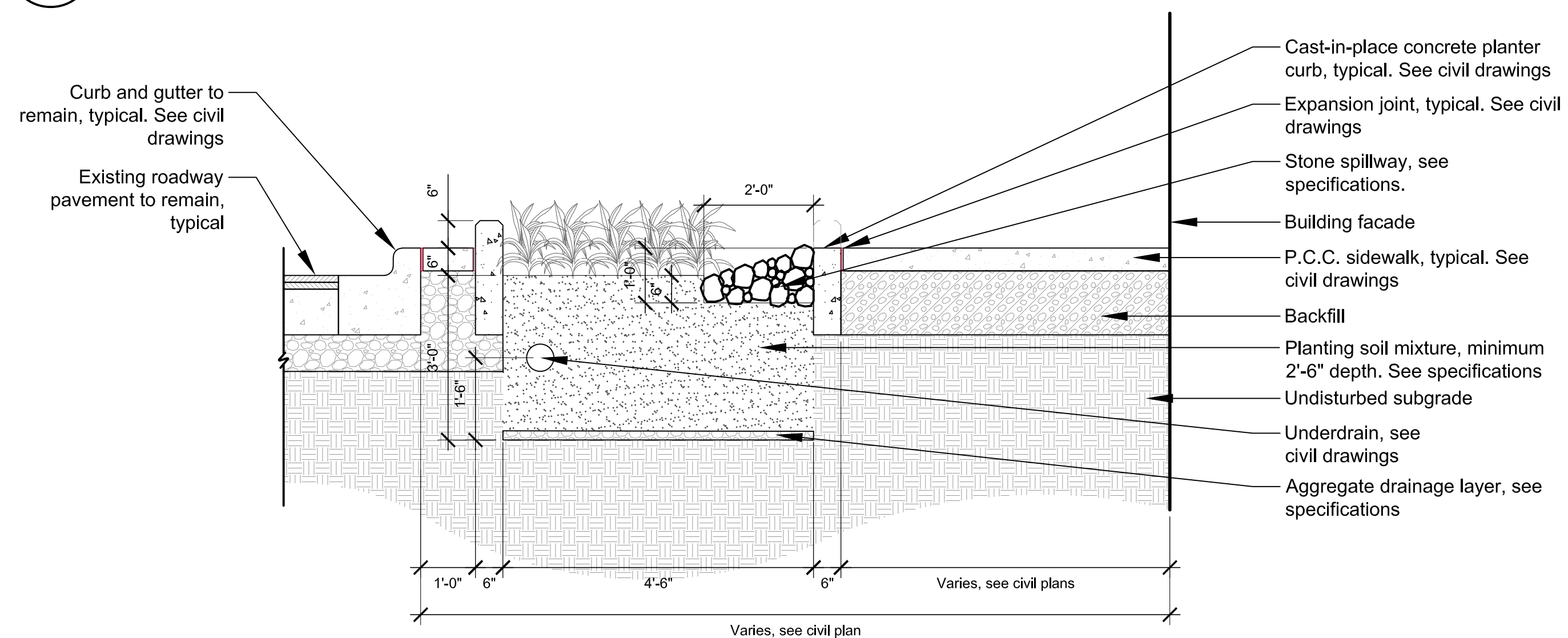
d-plant-spade-edge



5 Section - Tree Installation - Infiltration Parkway Planter

Scale: 1/2" = 1'-0"

D-SCTN-TREEPLANTER



6 Section - Stone Spillway - Infiltration Parkway Planter

Scale: 1/2" = 1'-0"

D-SCTN-TREEPLANTER



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 Suite 700
 Chicago, IL 60606
 T 312.634.2100
 hitchcockdesigngroup.com

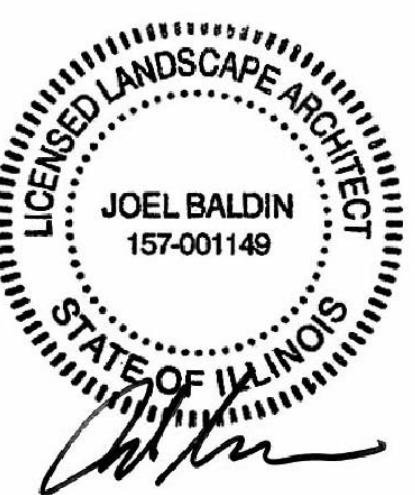
PREPARED FOR
Imperial Realty Co.

4747 West Peterson Avenue
 Suite 200
 Chicago, Illinois 60646

PROJECT
Ravinia - 515 Roger Williams Avenue

Highland Park, Illinois 60035

CONSULTANTS
 Architect
 Fitzgerald Associate Architects
 Chicago, Illinois 60607
 T 312.563.9100



ISSUED
 March 24, 2017

REVISIONS		
No	Date	Issue
	2017.03.24	Issued for Permit/Bid

CHECKED BY: JEB
 DRAWN BY: AWT

SHEET TITLE
Landscape Details

SCALE IN FEET
 as noted

NORTH
 SHEET NUMBER
L2.0

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ZONING SUMMARY

SITE DESCRIPTION

	REQUIRED PER CURRENT ZONING	PROPOSED BUILDING(S)
SITE AREA TOTAL	20003 S.F. (.46 ACRES)	20003 S.F. (.46 ACRES)
SITE DIMENSIONS (MAX. DIM.)	145' x 186.00'	145' x 186.00'
ZONING DISTRICT	R-6 and B2-RW	R-6 and B2-RW
MINIMUM LOT AREA PER MULTIPLE FAMILY UNIT (AT 2nd FLOOR & ABOVE)	850sf / 23 units	677sf / 30 units

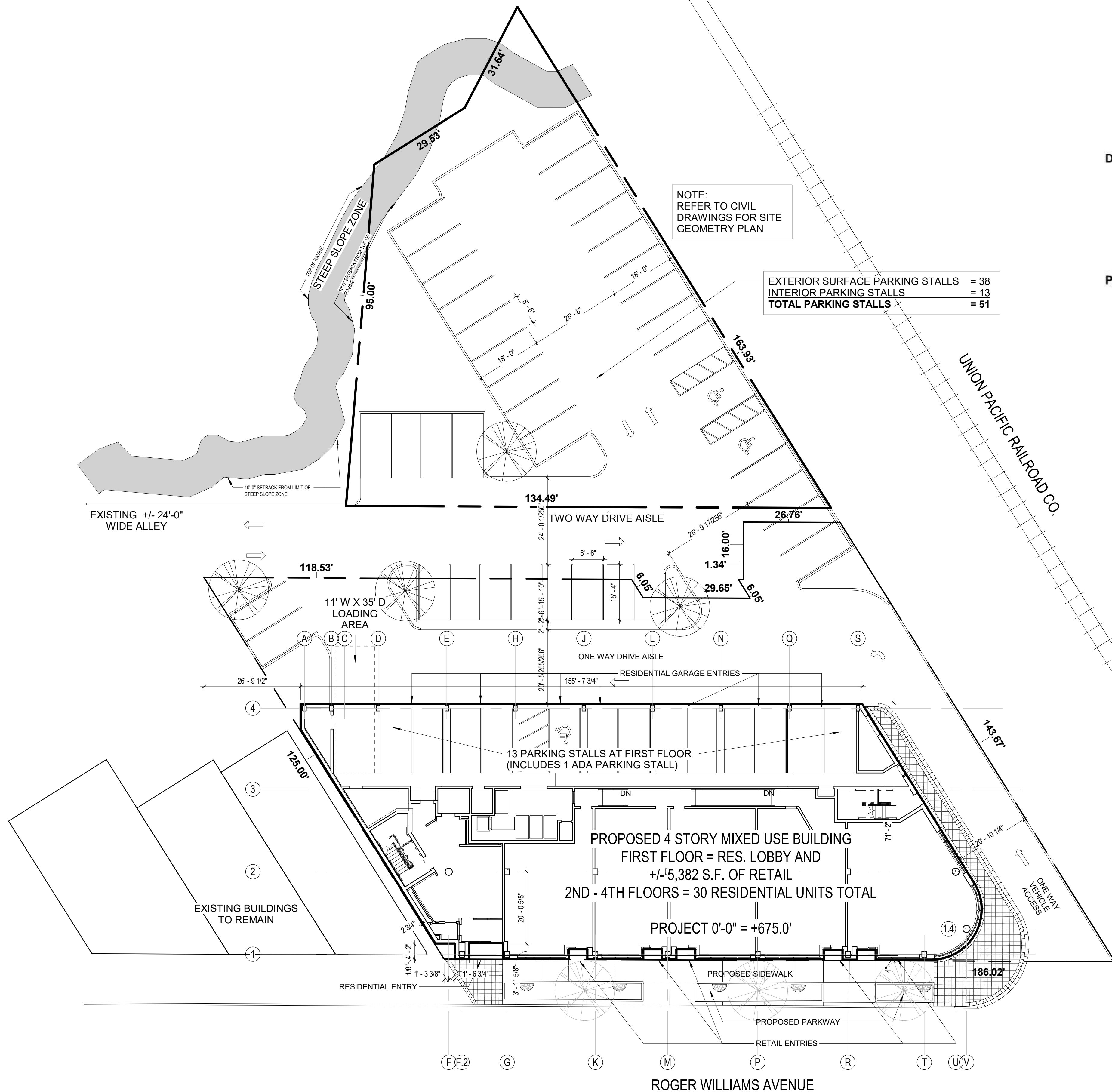
*IN B2-RW ZONING DIST., THE NUMBER OF ALLOWABLE EFFICIENCY DWELLING UNITS SHALL BE LIMITED TO NO MORE THAN 30% OF THE TOTAL NUMBER OF UNITS ALLOWED IN THE LOT.

DIMENSIONAL STANDARDS

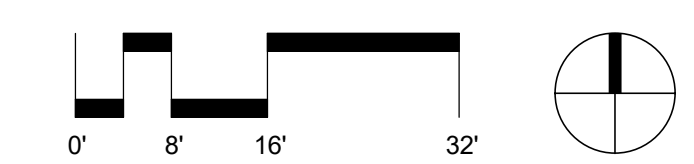
	REQUIRED	PROPOSED
FRONT YARD SETBACK (MINIMUM)	N/A	0'-0"
REAR YARD SETBACK (MINIMUM ADJ. RESIDENTIAL)	20'-0"	34'-0"
SIDE YARD SETBACK (MINIMUM ADJ. RESIDENTIAL)	10'-0"	3" ON WEST SIDE 21'-6" ON EAST SIDE
BUILDING HEIGHT (MAXIMUM)	35'-0"	51'-0"

PARKING AND LOADING STANDARDS

	REQUIRED	PROPOSED
RESIDENTIAL PARKING RATIO (MINMUM)	1.5 PER 1 BED = 18 CARS, 2 PER 2 BED = 36 CARS	30 SPACES (1 TO 1)
RETAIL PARKING (DEPENDENT ON USE)	ESTIMATED FOR RETAIL 3.3 PER 1,000 S.F. (19 SPACES REQUIRED)	18
ACCESSIBLE SPACES	3	3
PARKING SPACES (TOTAL COMBINED)	25 EXISTING SPACES 18 SPACES IN CITY LOT	51
RESIDENTIAL LOADING / LOADING DOCK	1	1
GUEST PARKING (.25/MARKET RATE UNIT)	7	PART OF PARKING RELIEF FOR OVERALL PARKING COUNT



A1 SITE PLAN
1/16" = 1'-0"



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912 W. Lake St. Chicago, Illinois
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f 312-563-1919
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CONSULTANT:

11144

Ravinia

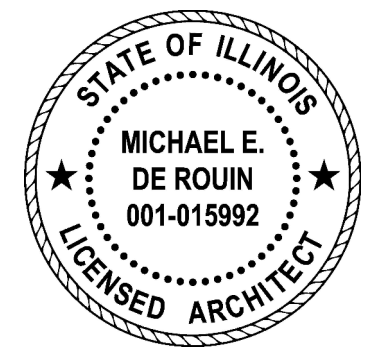
515-555 Roger Williams Avenue
Highland Park, IL 60035

CLIENT:
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Suite 200
Chicago, IL 60646

1 Permit Corrections 01 02/01/18
Issue for Permit / Bid 03/24/17
Issue for Design Development 11/12/14

DESCRIPTION DATE

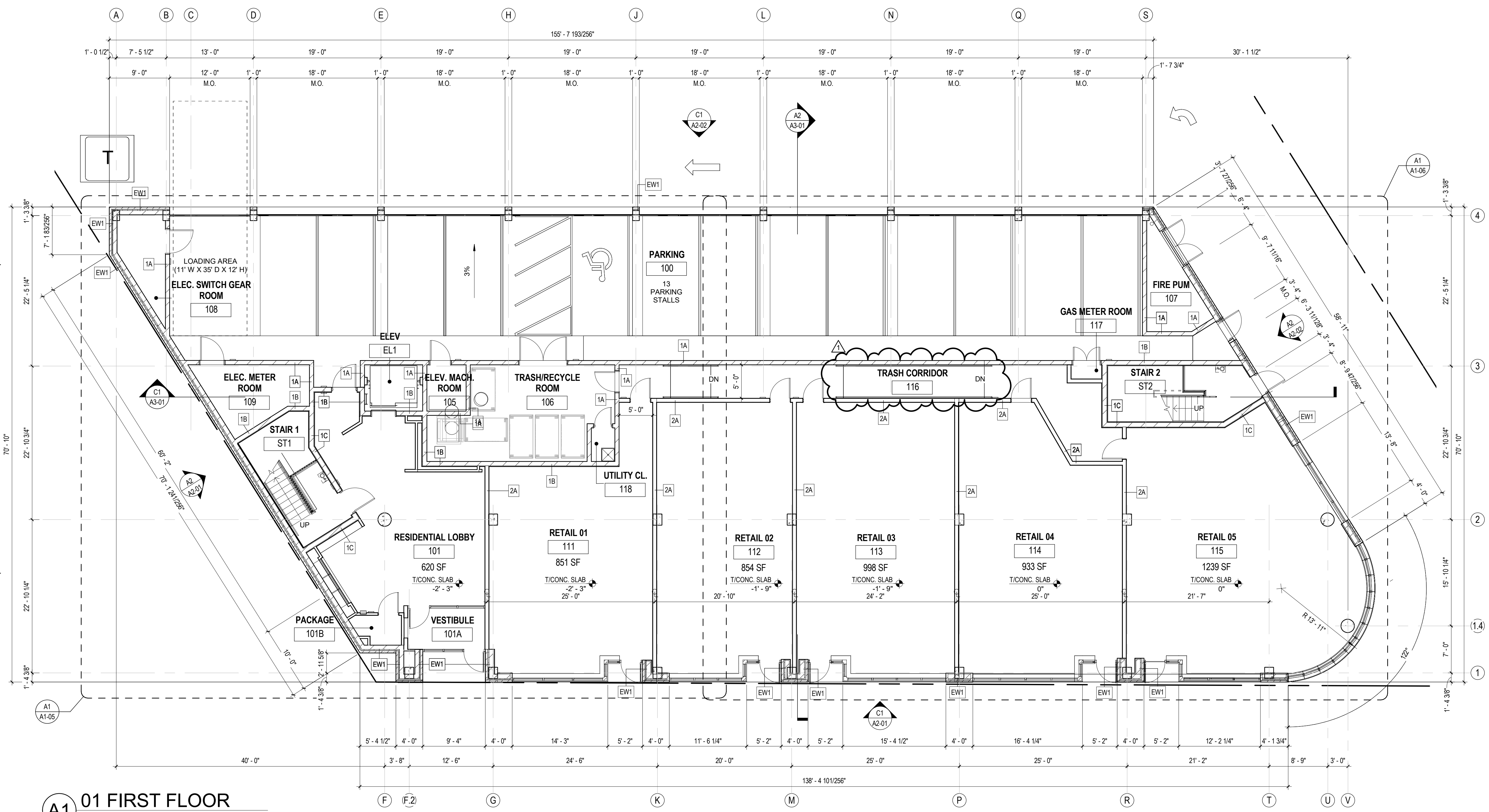


SITE PLAN

A0-00

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A1 01 FIRST FLOOR
1/8" = 1'-0"

PLAN NOTES

1. SEE STRUCTURAL PLANS FOR DIMENSIONS OF CMU STAIRS, ELEVATORS, AND TRASH CHUTE SHAFTS.

KEYNOTES

LEGEND

- GYPSUM BOARD WALL
- CMU WALL
- CONCRETE
- 30" x 48" CLEAR FLOOR AREA REQUIRED FOR ACCESSIBILITY
- 60" x 66" CLEAR FLOOR AREA FOR ACCESSIBLE WATER CLOSETS, VANITIES OR LAVATORIES ON THE WALL BEHIND WATER CLOSET SHALL BE PERMITTED TO OVERLAP.
- 5'-0" CLEAR TURNING AREA REQUIRED FOR ACCESSIBILITY
- 60" x 60" TURNING AREA REQUIRED FOR ACCESSIBILITY
- 36" WIDE DOOR OPENING WITH 18" MINIMUM CLEAR FLOOR AREA IN THE DIRECTION OF DOOR PULL, OR 12" MINIMUM CLEAR FLOOR AREA IN THE DIRECTION OF DOOR PUSH, ON LATCH SIDE, MINIMUM 60" DEEP

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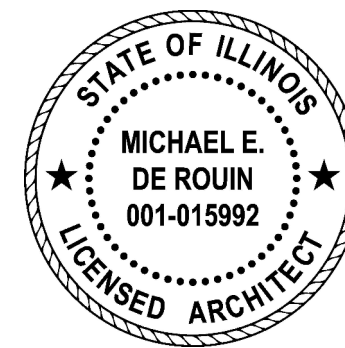
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FIRST FLOOR PLAN

A1-01



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PLAN NOTES

- SEE STRUCTURAL PLANS FOR DIMENSIONS OF CMU STAIRS, ELEVATORS SHAFTS.
- LAY OUT ALL DEMISING AND CORRIDOR WALLS FOR ALL UNITS PRIOR TO UNIT INTERIORS.
- SEE ENLARGED UNIT PLANS FOR UNIT DIMENSIONS, NOTES, AND REFERENCES.
- SEE SPECIFICATION FOR FULL DESCRIPTION OF EQUIPMENT, MATERIALS, AND REQUIREMENTS.

KEYNOTES

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 912 W. Lake St. Chicago, Illinois
 t 312-563-9100
 f 312-563-1919
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515-555 Roger Williams Avenue
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LEGEND

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- 30" CLEAR FLOOR AREA FOR APPROACH TO BATHTUB
- 60" x 66" CLEARANCE FOR WATER CLOSETS IN TYPE A UNITS, WITH OTHER FIXTURES PERMITTED TO OVERLAP
- 30" WIDE ACCESSIBLE KITCHEN WORK SURFACE

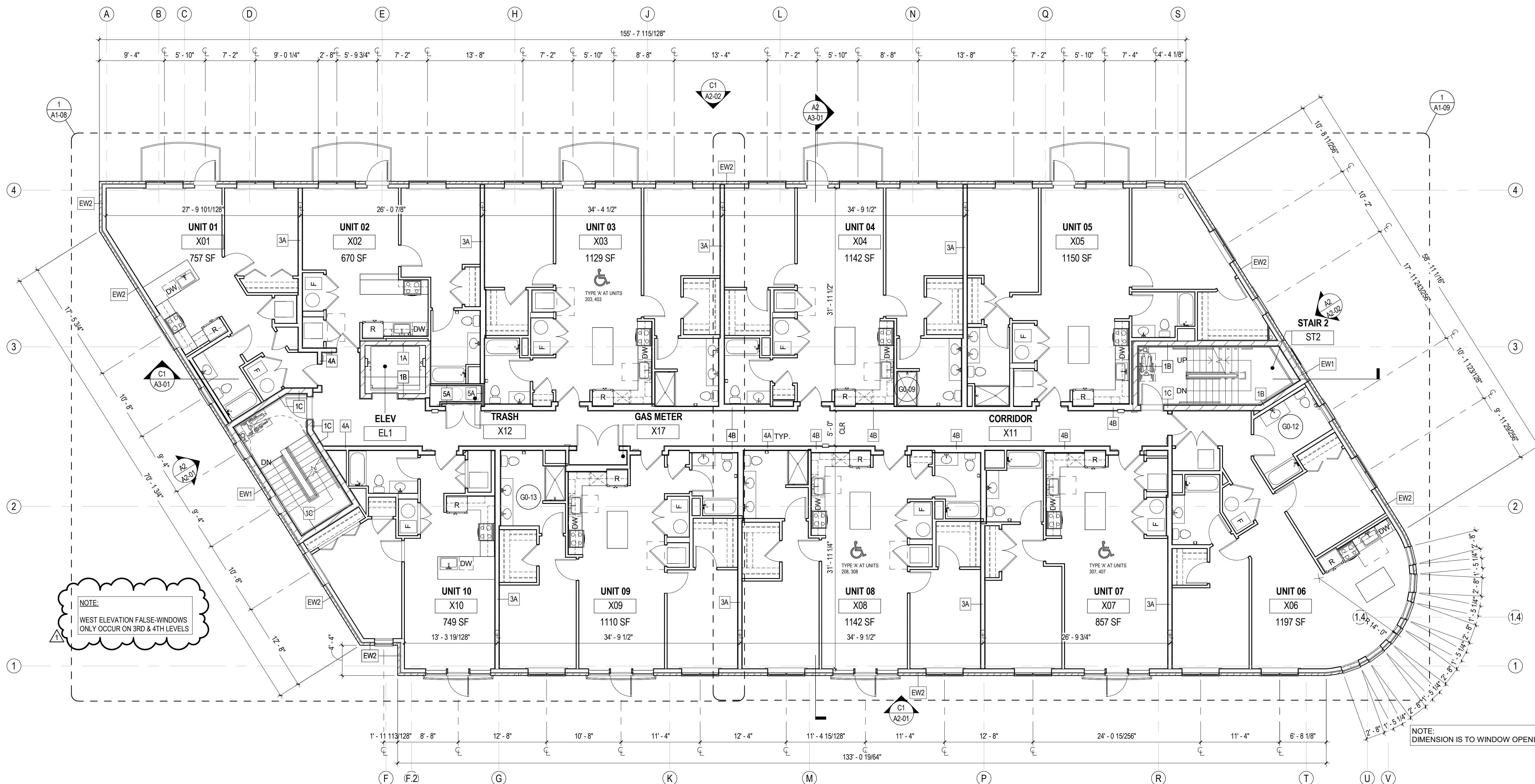
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#	DESCRIPTION	DATE



SECOND-FOURTH FLOOR PLAN
 TYPICAL

A1-02



NOTE:
 WEST ELEVATION FALSE-WINDOWS ONLY OCCUR ON 3RD & 4TH LEVELS

NOTE:
 DIMENSION IS TO WINDOW OPENING

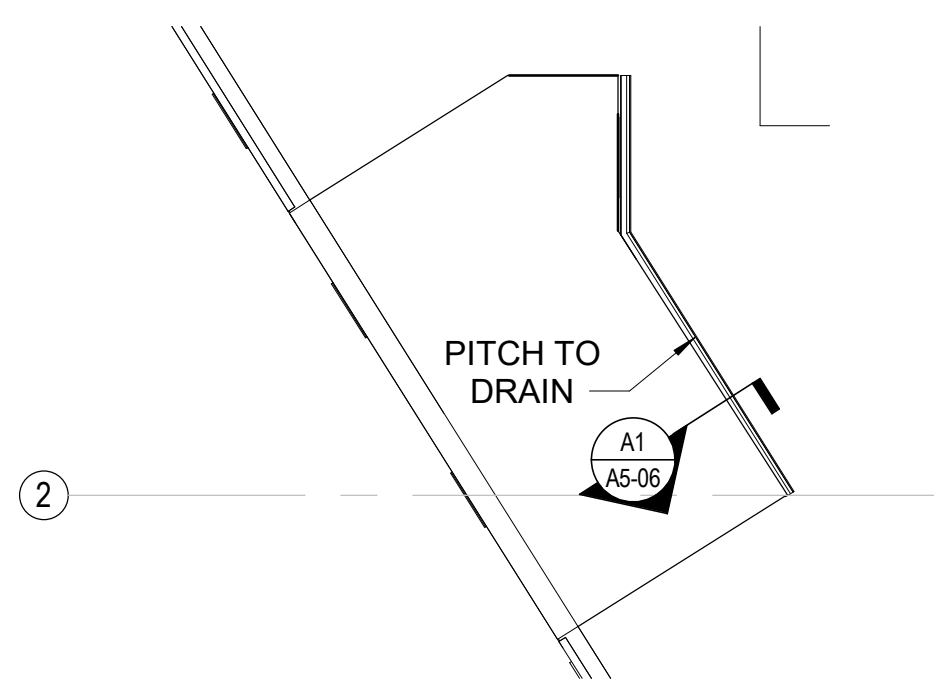
A1 02 SECOND FLOOR- 04 FOURTH FLOOR PLAN
 1/8" = 1'-0"



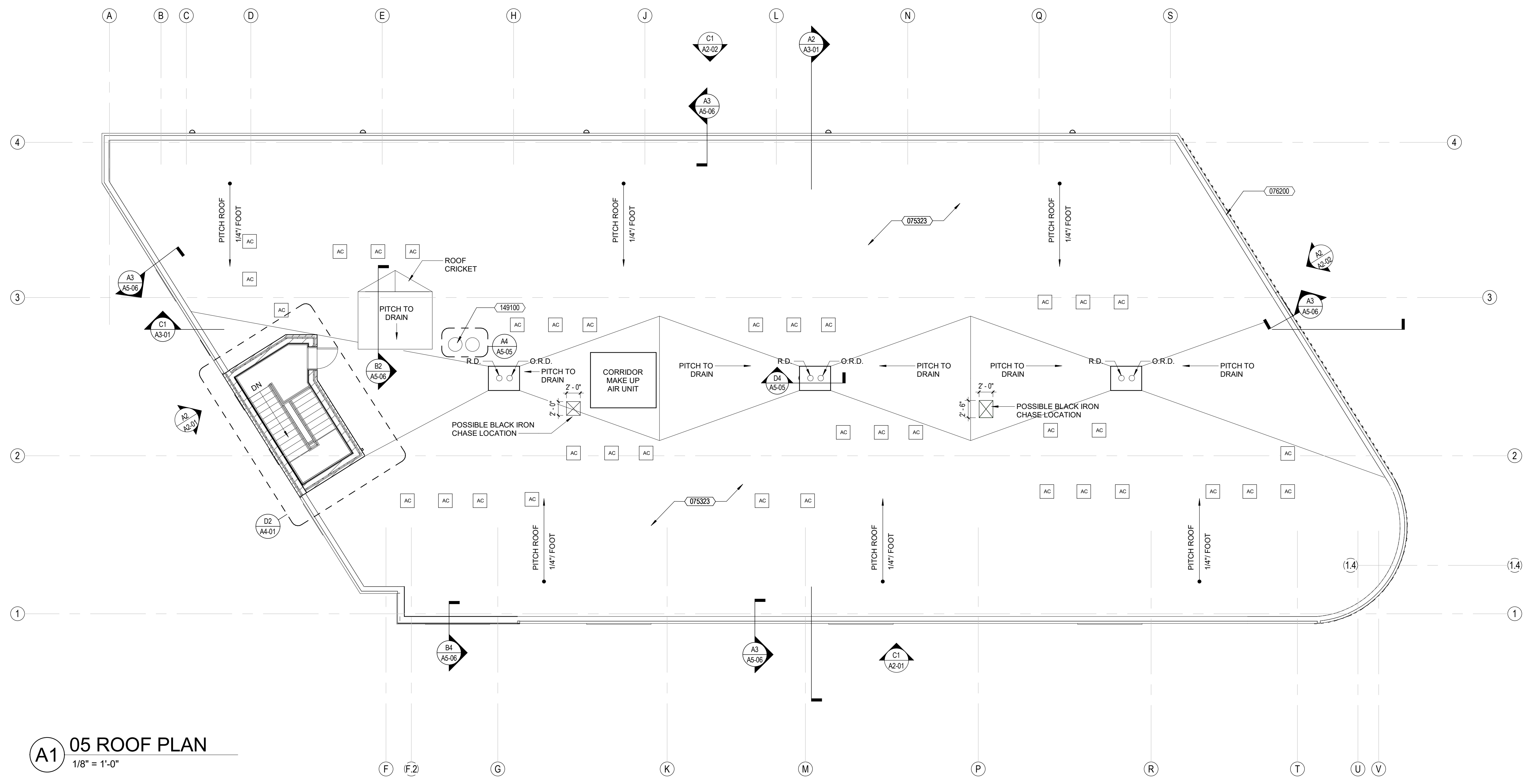
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1 | 2 | 3 | 4 | 5



C1 STAIR PENTHOUSE ROOF PLAN
1/8" = 1'-0"



A1 05 ROOF PLAN
1/8" = 1'-0"

1 | 2 | 3 | 4 | 5

ROOF NOTES

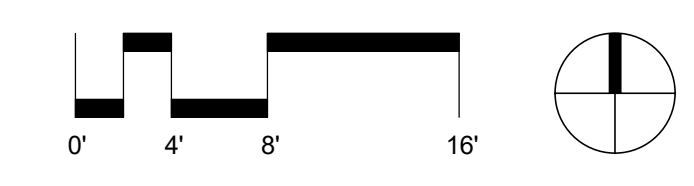
REFER TO MECHANICAL AND PLUMBING ENGINEERING DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS

KEYNOTES

- 075323 ADHERED EPDM ROOFING
- 076200 SHEET METAL FLASHING AND TRIM
- 149100 FACILITY CHUTES

LEGEND

- 1/4" / FT. ROOF SLOPE
- [Symbol] ROOF DRAIN



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2	Owner Revisions	03/14/18
1	Permit Corrections 01	02/01/18
	Issue for Permit / Bid	03/24/17
	Issue for Design Development	11/12/14

#	DESCRIPTION	DATE
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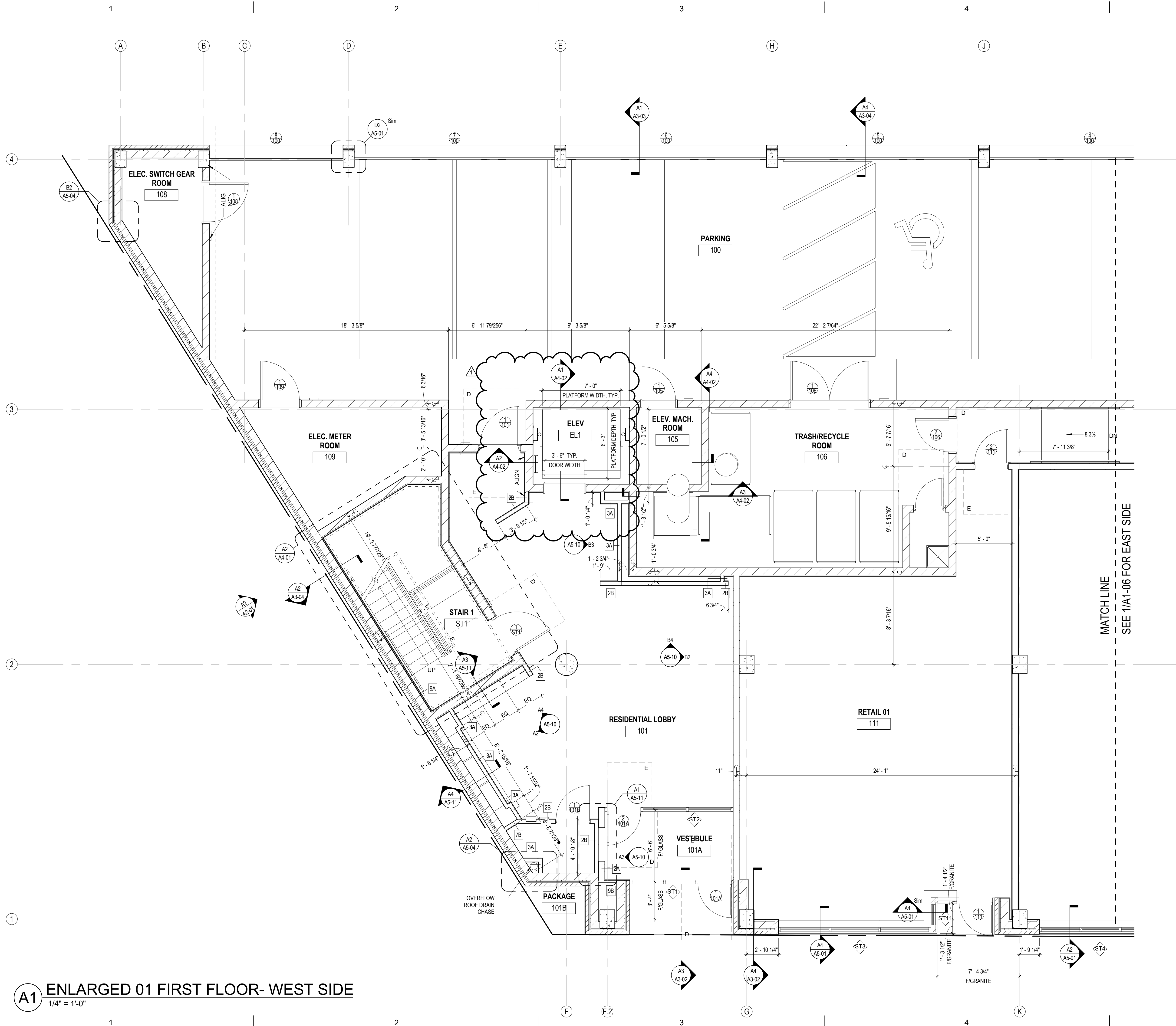


ROOF PLAN

A1-03

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PLAN NOTES

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KEYNOTES

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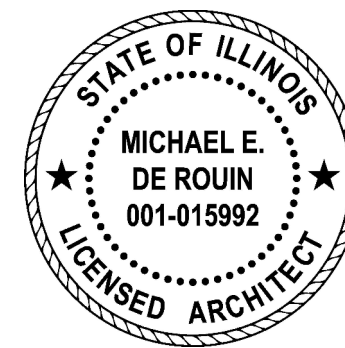
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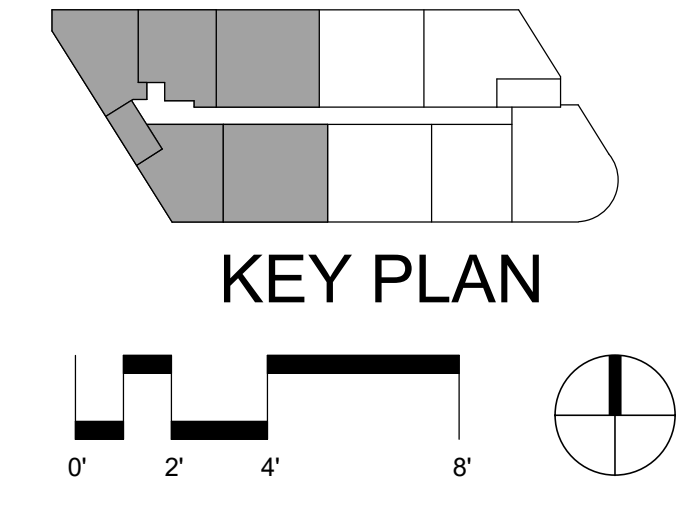
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ENLARGED FIRST FLOOR PLAN WEST SIDE

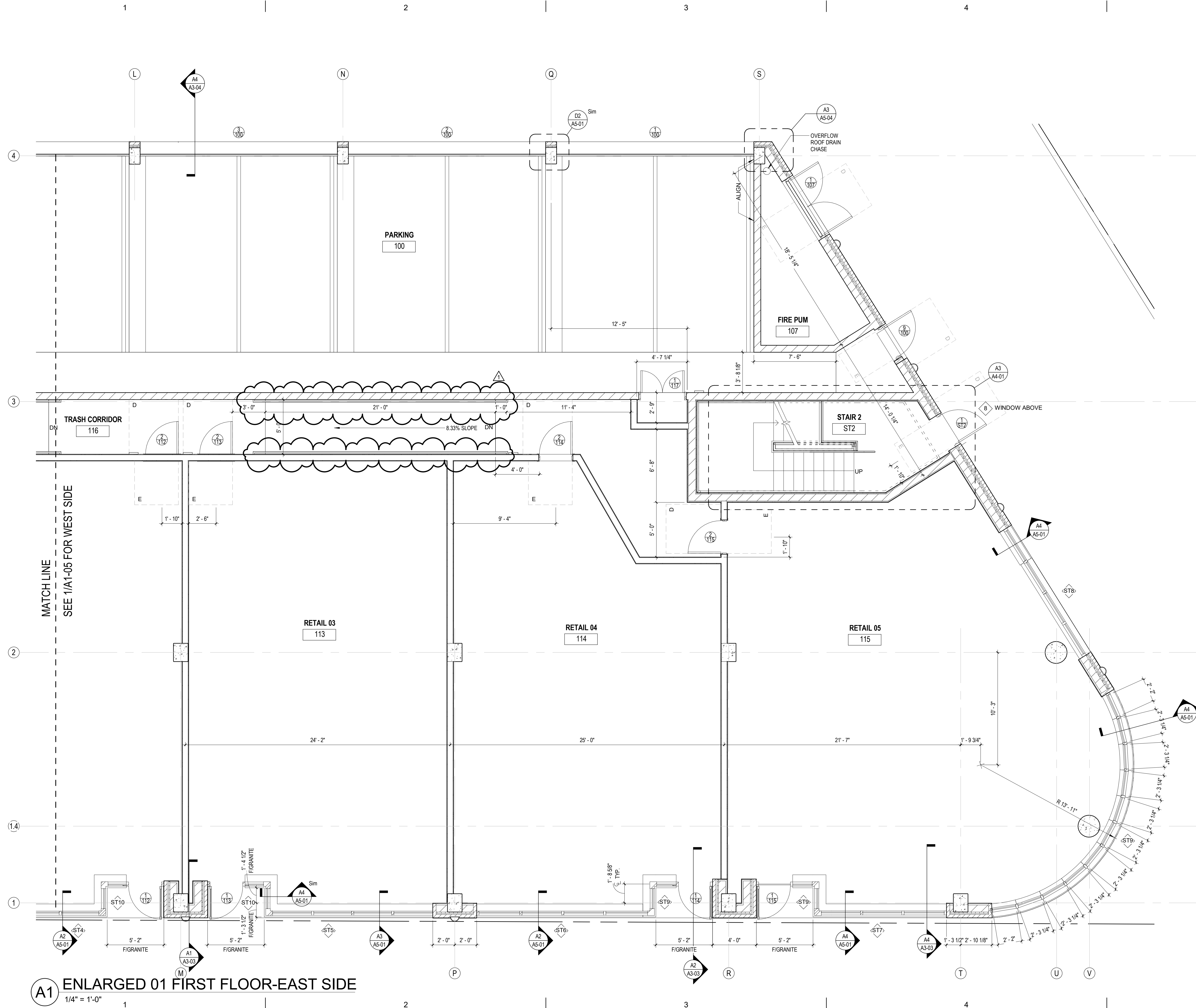
A1-05

A1 ENLARGED 01 FIRST FLOOR- WEST SIDE
1/4" = 1'-0"



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A1 ENLARGED 01 FIRST FLOOR-EAST SIDE
1/4" = 1'-0"

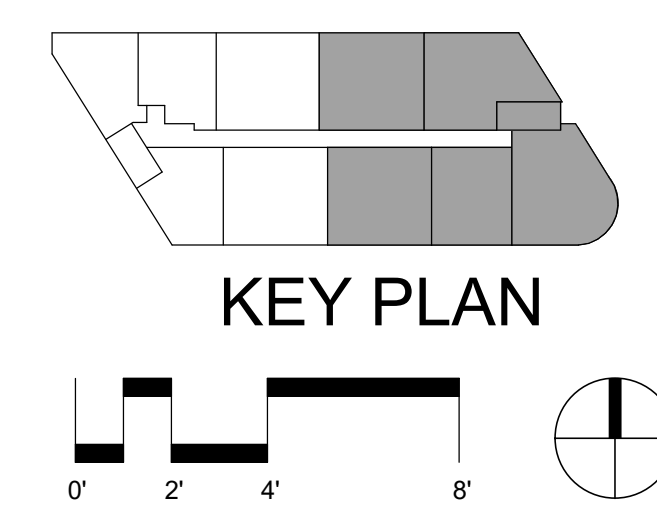
PLAN NOTES

1. SEE STRUCTURAL PLANS FOR DIMENSIONS OF CMU STAIRS, ELEVATORS, AND TRASH CHUTE SHAFTS.

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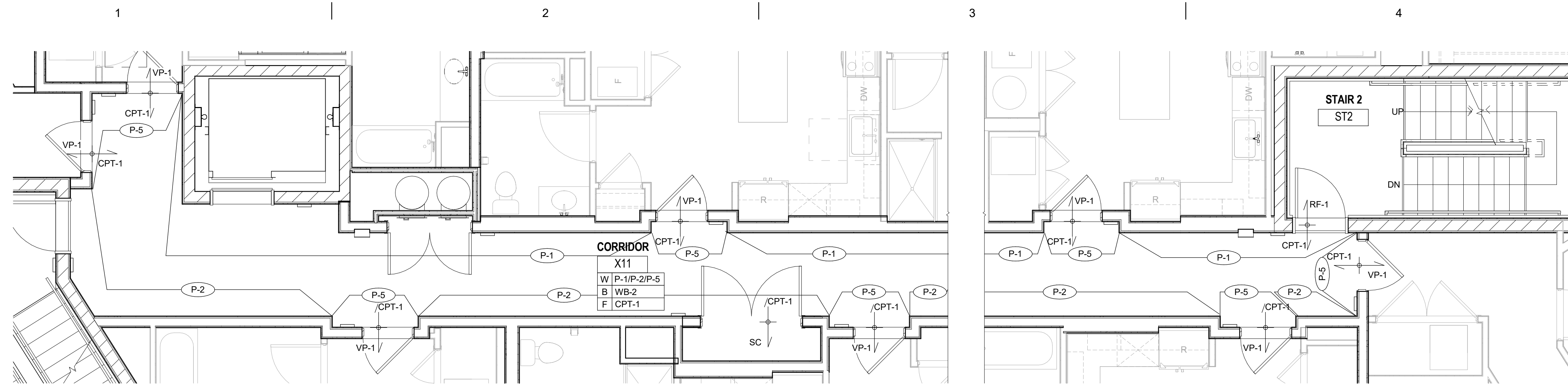
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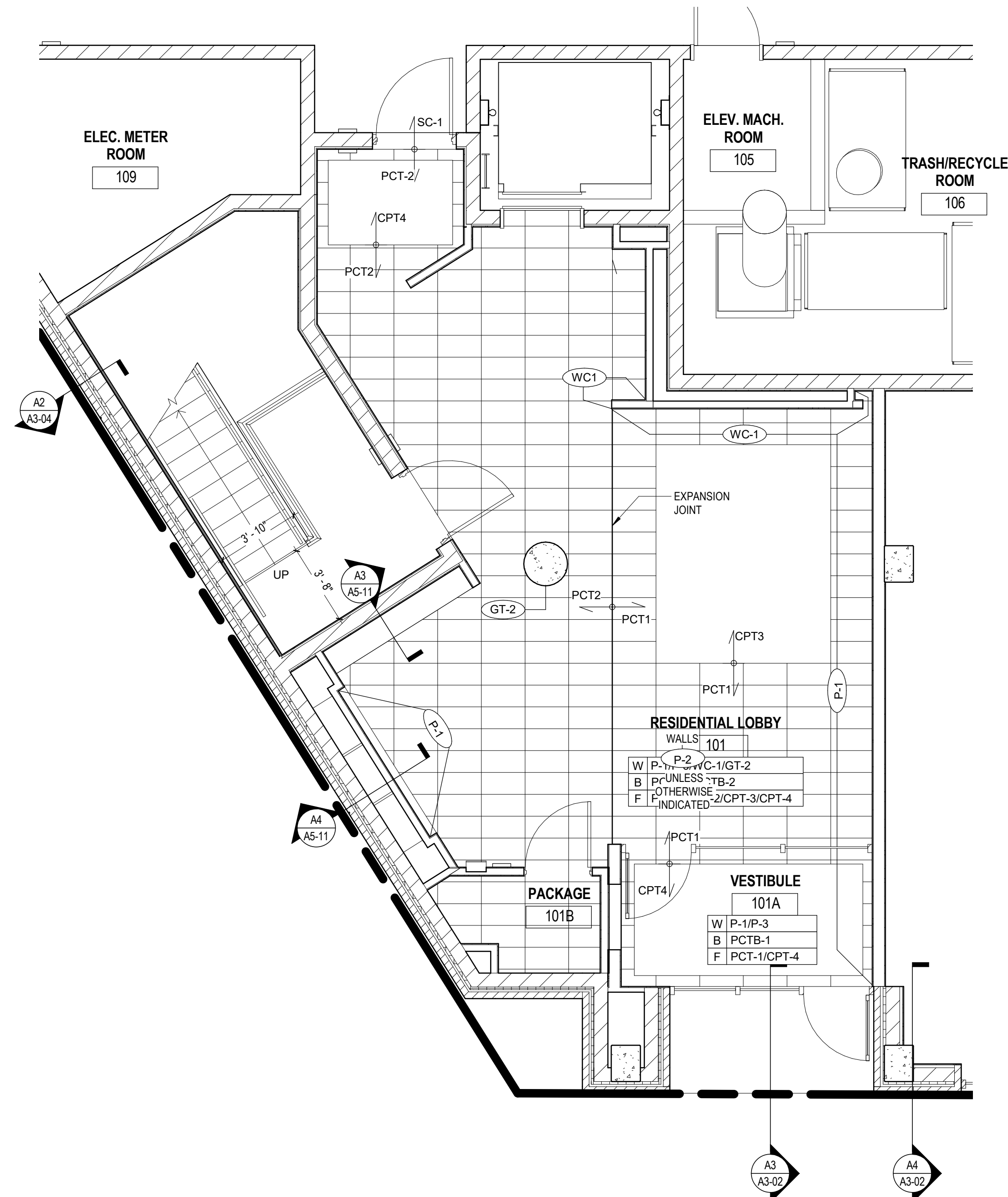
ENLARGED FIRST FLOOR PLAN EAST SIDE

A1-06

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C1 02 SECOND - 04 FOURTH FLOOR CORRIDOR
 FINISH PLAN
 1/4" = 1'-0"



A3 01 FIRST FLOOR FINISH PLAN- LOBBY
 1/4" = 1'-0"

FINISH NOTES

1. REFER TO PAINT SPECIFICATIONS WHERE APPLICABLE.
2. REFER TO SPECIFICATIONS FOR TILE FLOOR CONSTRUCTION.
3. REFER TO SPECIFICATIONS FOR WOOD FLOOR CONSTRUCTION.

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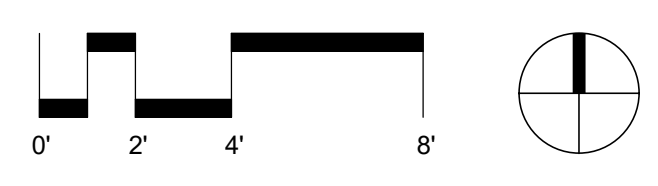
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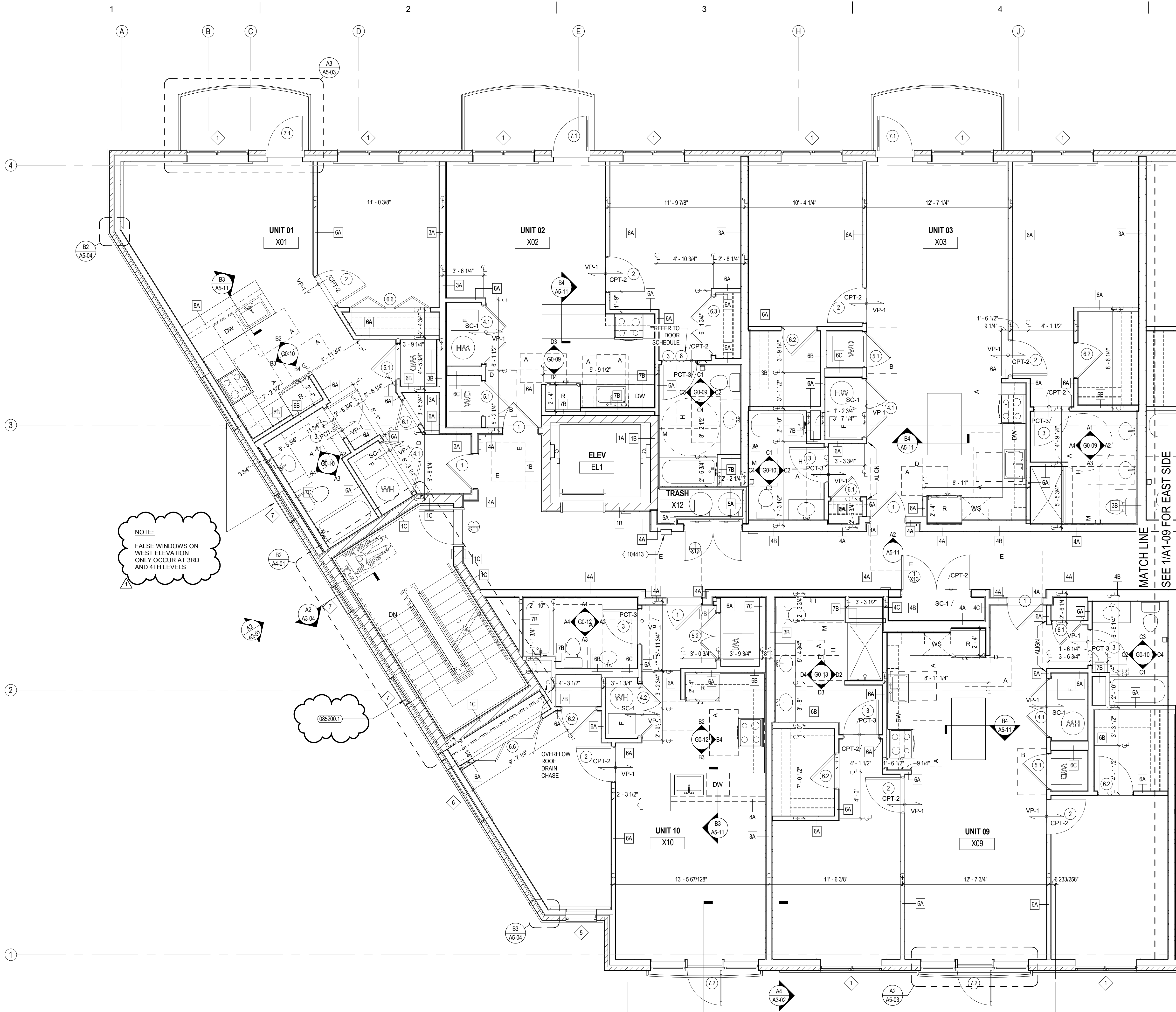
ENLARGED
 FINISH PLANS

A1-07



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PLAN NOTES

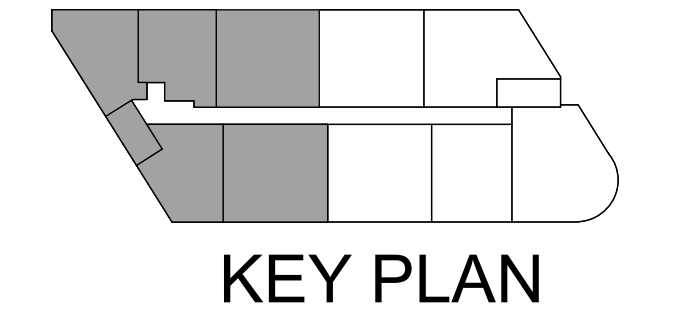
1. SEE STRUCTURAL PLANS FOR DIMENSIONS OF CMU STAIRS, ELEVATORS SHAFTS.
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4. SEE ENLARGED UNIT PLANS FOR UNIT DIMENSIONS, NOTES, AND REFERENCES.
5. SEE SPECIFICATION FOR FULL DESCRIPTION OF EQUIPMENT, MATERIALS, AND REQUIREMENTS.

KEYNOTES

- 085200.1 FAUX WINDOW AT WEST EXTERIOR WALL ONLY
- 104413 FIRE PROTECTION CABINETS

LEGEND

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- CMU WALL
- CONCRETE WALL
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-
-
-
- 30' CLEAR FLOOR AREA FOR APPROACH TO BATHING
-
- 30' WIDE ACCESSIBLE KITCHEN WORK SURFACE



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912 W. Lake St. Chicago, Illinois
t 312-563-9100 f 312-563-1919
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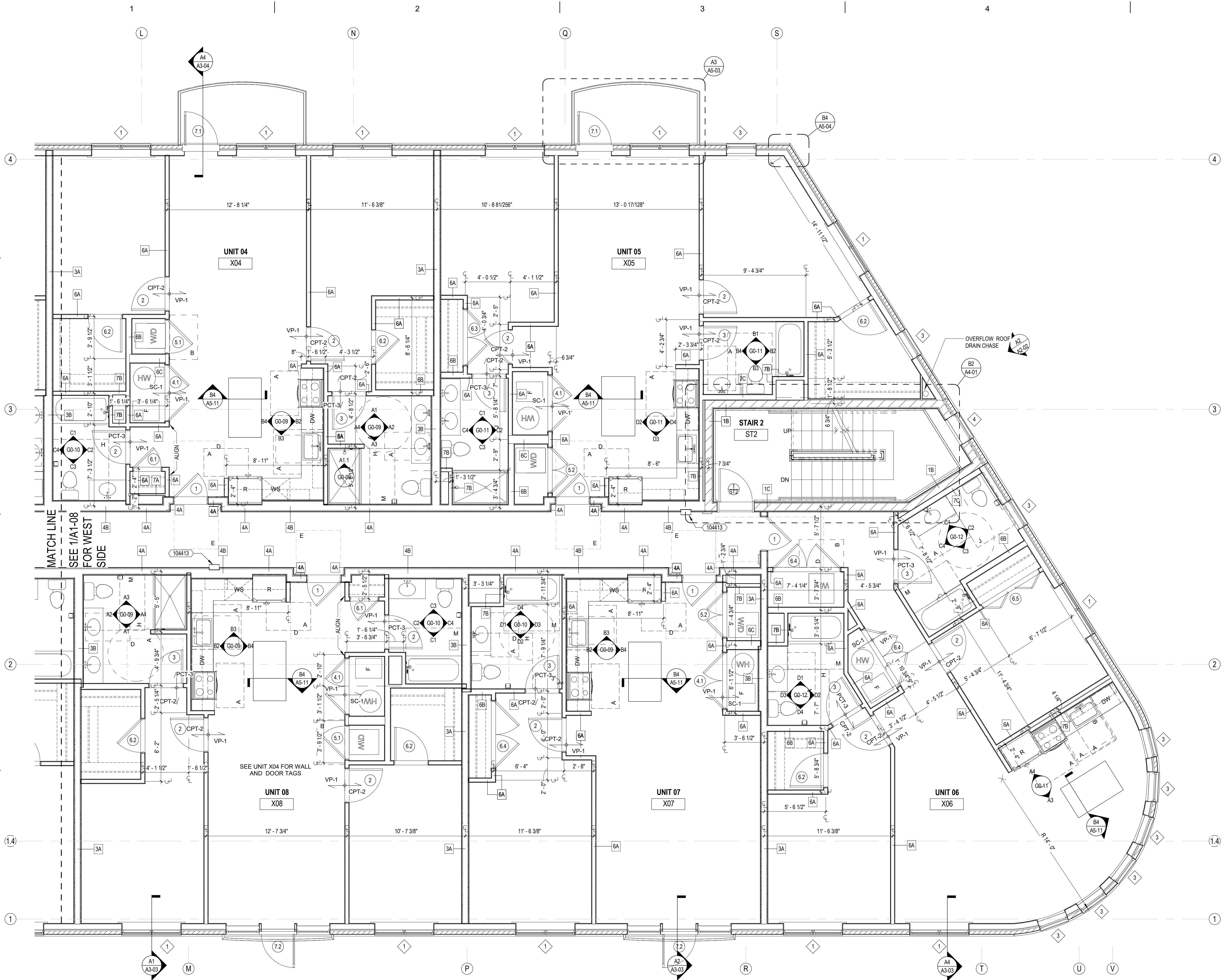


ENLARGED SECOND-FOURTH FLOOR PLAN WEST SIDE

A1-08

1 ENLARGED 02 SECOND - 04 FOURTH FLOOR-WEST SIDE
1/4" = 1'-0"

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1 ENLARGED 02 SECOND - 04 FOURTH FLOOR EAST
 1/4" = 1'-0"

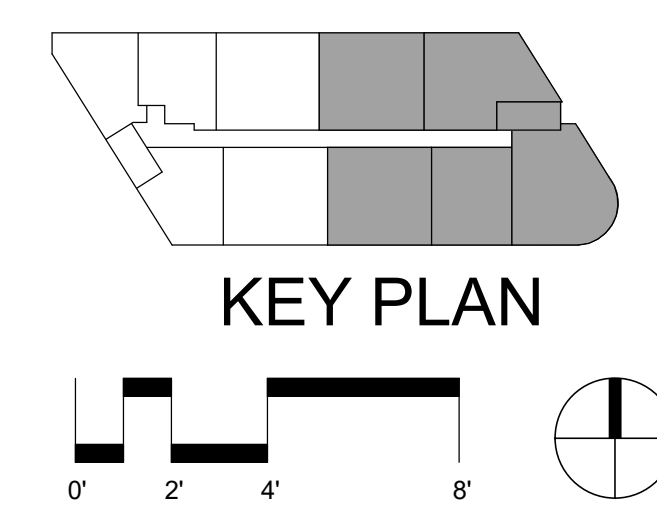
PLAN NOTES

1. SEE STRUCTURAL PLANS FOR DIMENSIONS OF CMU STAIRS, ELEVATORS SHAFTS.
3. LAY OUT ALL DEMISING AND CORRIDOR WALLS FOR ALL UNITS PRIOR TO UNIT INTERIORS.
4. SEE ENLARGED UNIT PLANS FOR UNIT DIMENSIONS, NOTES, AND REFERENCES.
5. SEE SPECIFICATION FOR FULL DESCRIPTION OF EQUIPMENT, MATERIALS, AND REQUIREMENTS.

KEYNOTES

LEGEND

- GYPSUM BOARD WALL
- CMU WALL
- CONCRETE WALL
- 30' x 48' CLEAR FLOOR AREA REQUIRED FOR ACCESSIBILITY
- 60' x 66' CLEAR FLOOR AREA FOR ACCESSIBLE WATER CLOSETS, VANITIES OR LAVATORIES ON THE WALL BEHIND WATER CLOSET SHALL BE PERMITTED TO OVERLAP.
-
-
-
- 30' CLEAR FLOOR AREA FOR APPROACH TO BATH/TUB
-
- 30' WIDE ACCESSIBLE KITCHEN WORK SURFACE



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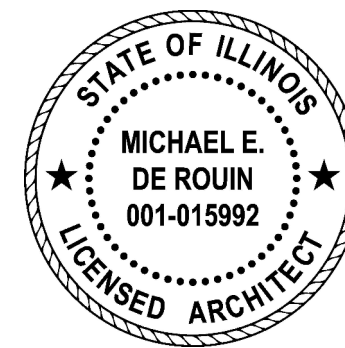
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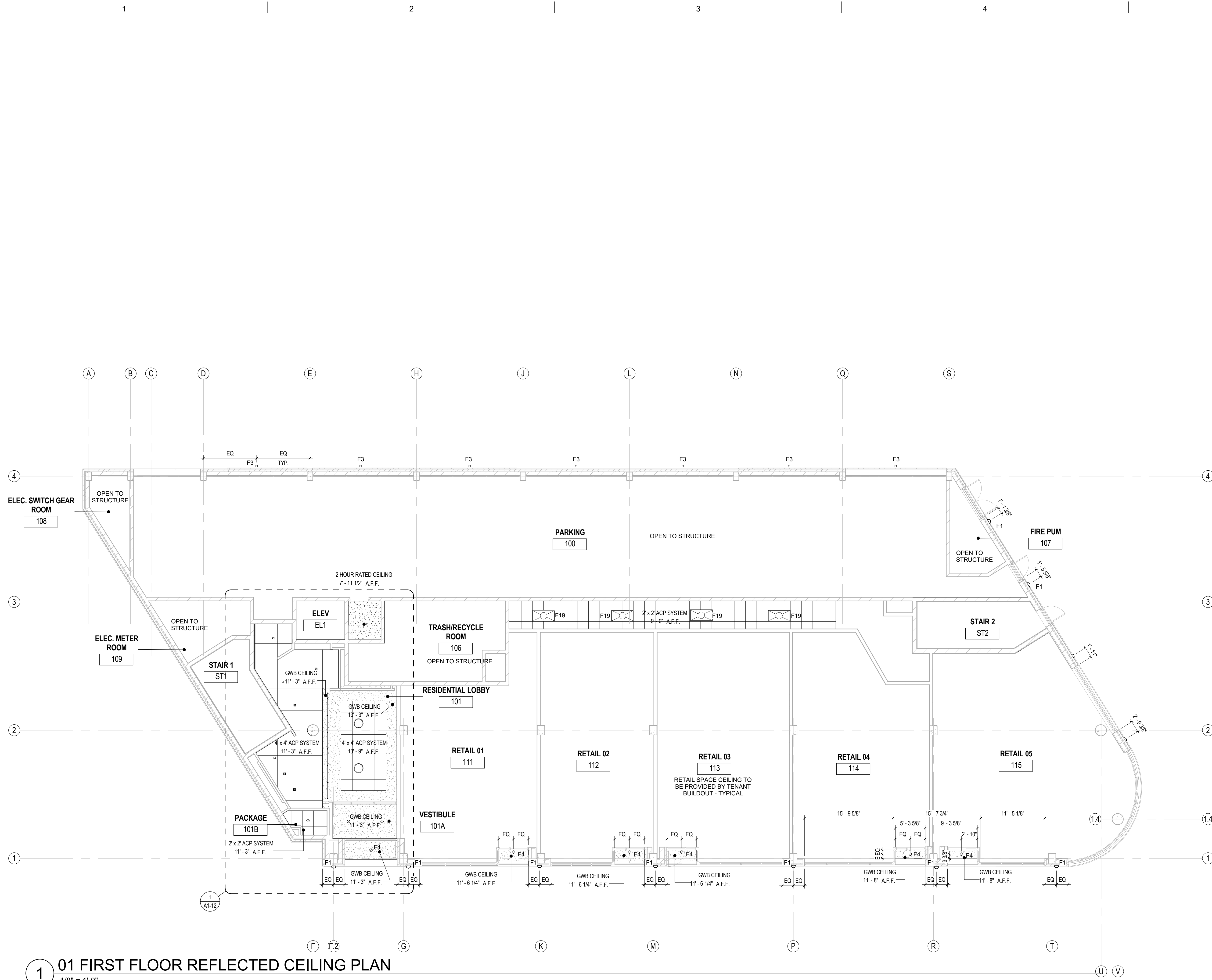


ENLARGED
 SECOND-FOURTH
 FLOOR PLAN
 EAST SIDE

A1-09

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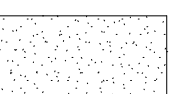
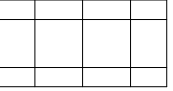



1 01 FIRST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"

CEILING PLAN NOTES

KEYNOTES

LEGEND

-  GYPSUM BOARD CEILING
-  ACOUSTIC CEILING PANEL
-  NO CEILING PROVIDED
OPEN TO STRUCTURE

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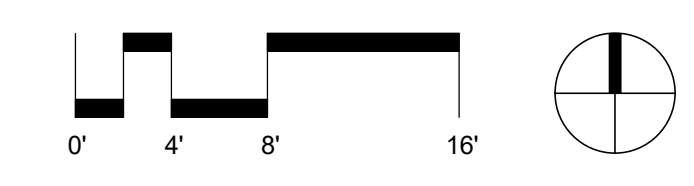
2	Owner Revisions	03/14/18
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FIRST FLOOR REFLECTED CEILING PLAN

A1-10



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KEYNOTES

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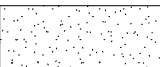
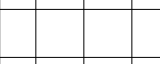

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LEGEND

-  GYPSUM BOARD CEILING
-  ACOUSTIC CEILING PANEL
-  NO CEILING PROVIDED OPEN TO STRUCTURE

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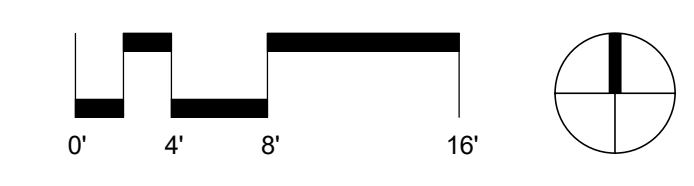
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SECOND-FOURTH FLOOR REFLECTED CEILING PLAN

A1-11

1 SECOND - FOURTH REFLECTED CEILING PLAN
 1/8" = 1'-0"



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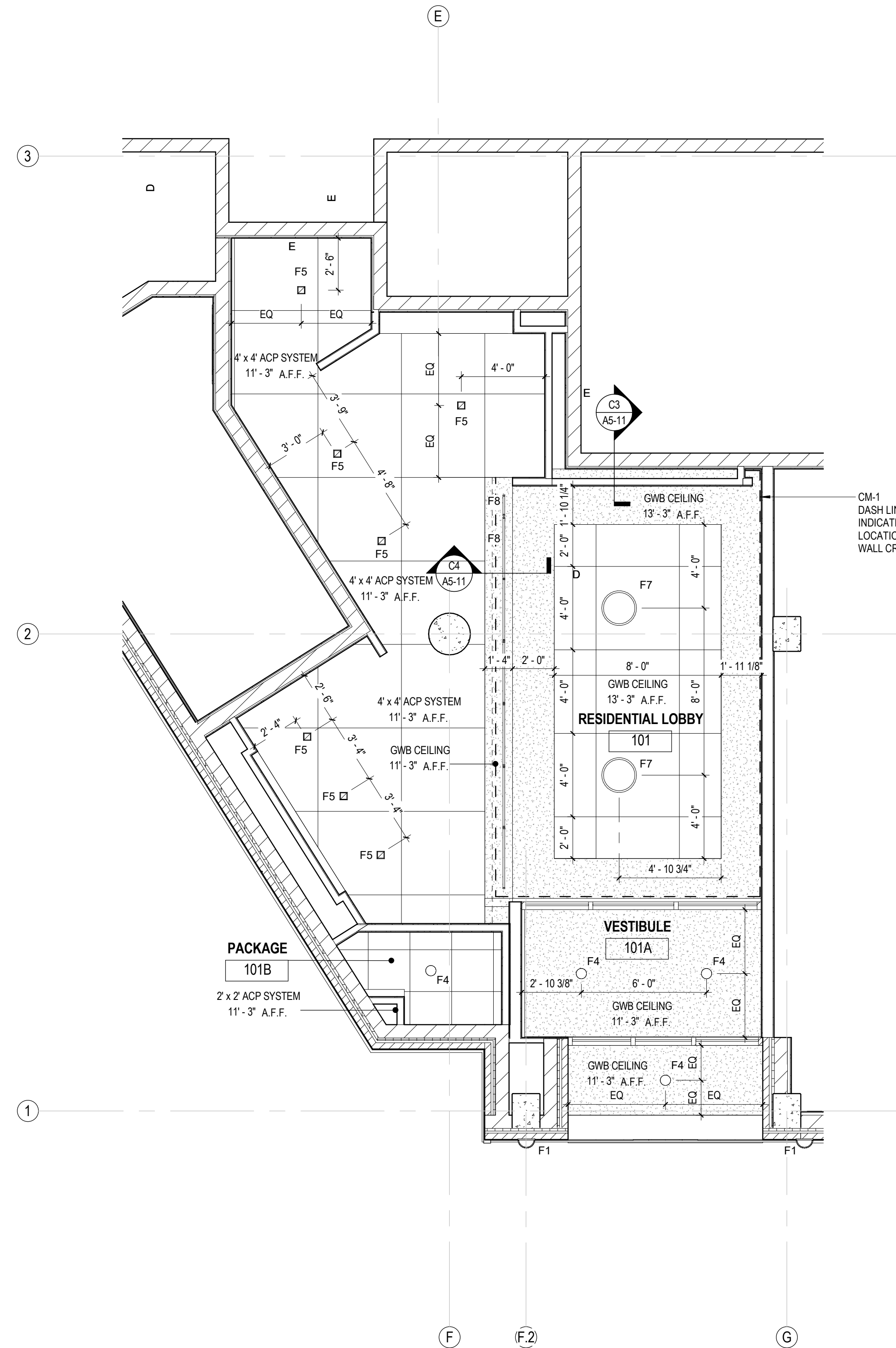
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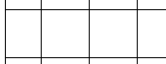

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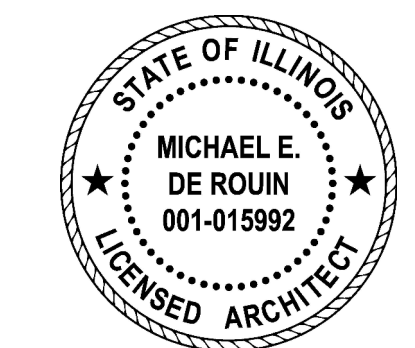


LEGEND

-  GYPSUM BOARD CEILING
-  ACOUSTIC CEILING PANEL
-  NO CEILING PROVIDED OPEN TO STRUCTURE

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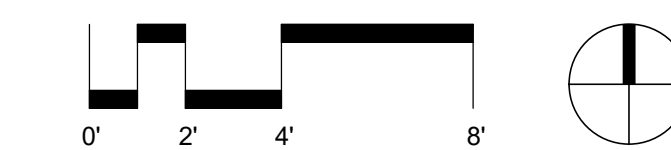
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ENLARGED
LOBBY
REFLECTED
CEILING PLAN

A1-12

1 01 ENLARGED FIRST FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"



1

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C1 SOUTH ELEVATION
1/8" = 1'-0"

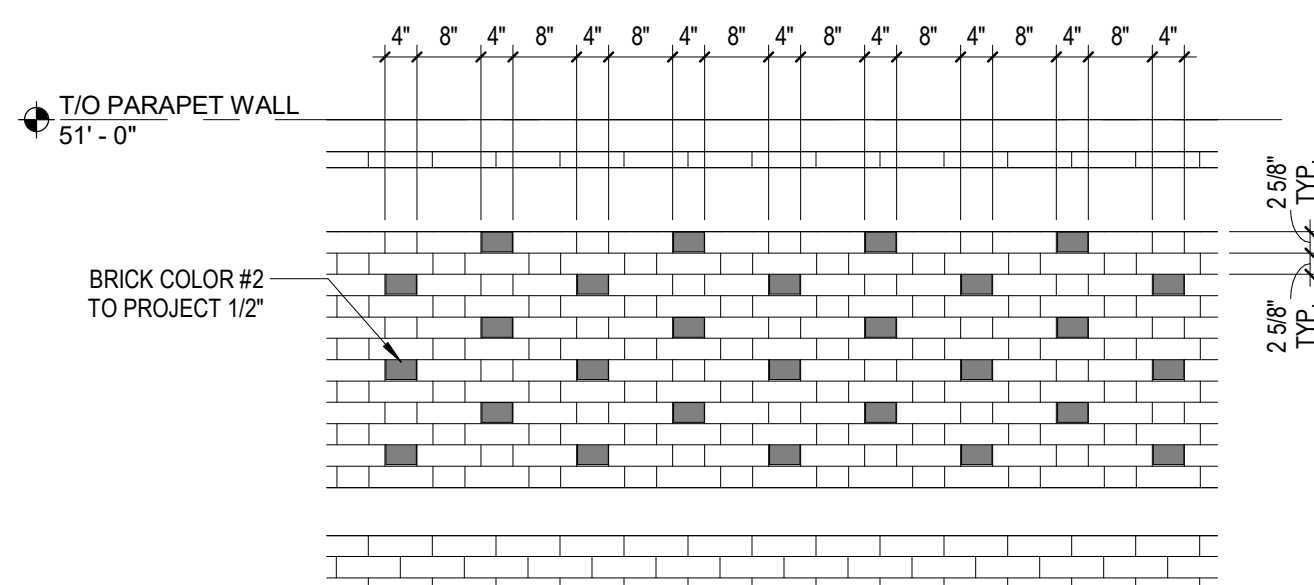
- T/O PARAPET WALL 51'-0"
- 05 ROOF PLAN T/O WOOD TRUSS (H.P.) 48'-1"
- 05 ROOF PLAN T/O WOOD TRUSS (L.P.) 47'-4"
- 04 FOURTH FLOOR T/O GYP TOPPING 36'-8"
- 04 FOURTH LEVEL T/O SUBFLOOR 36'-6 1/2"
- 03 THIRD LEVEL T/O GYP TOPPING 26'-0"
- 03 THIRD LEVEL T/O SUBFLOOR 25'-10 1/2"
- 02 SECOND FLOOR T/O TOPPING 15'-4"
- 02 SECOND LEVEL T/O PRECAST PLANK 15'-2"
- 01 FIRST LEVEL T/O SLAB 0"
- 01 FIRST FLOOR SUBLEVEL 1 -1'-9"
- 01 FIRST FLOOR SUBLEVEL 2 -2'-3"

ELEVATION NOTES

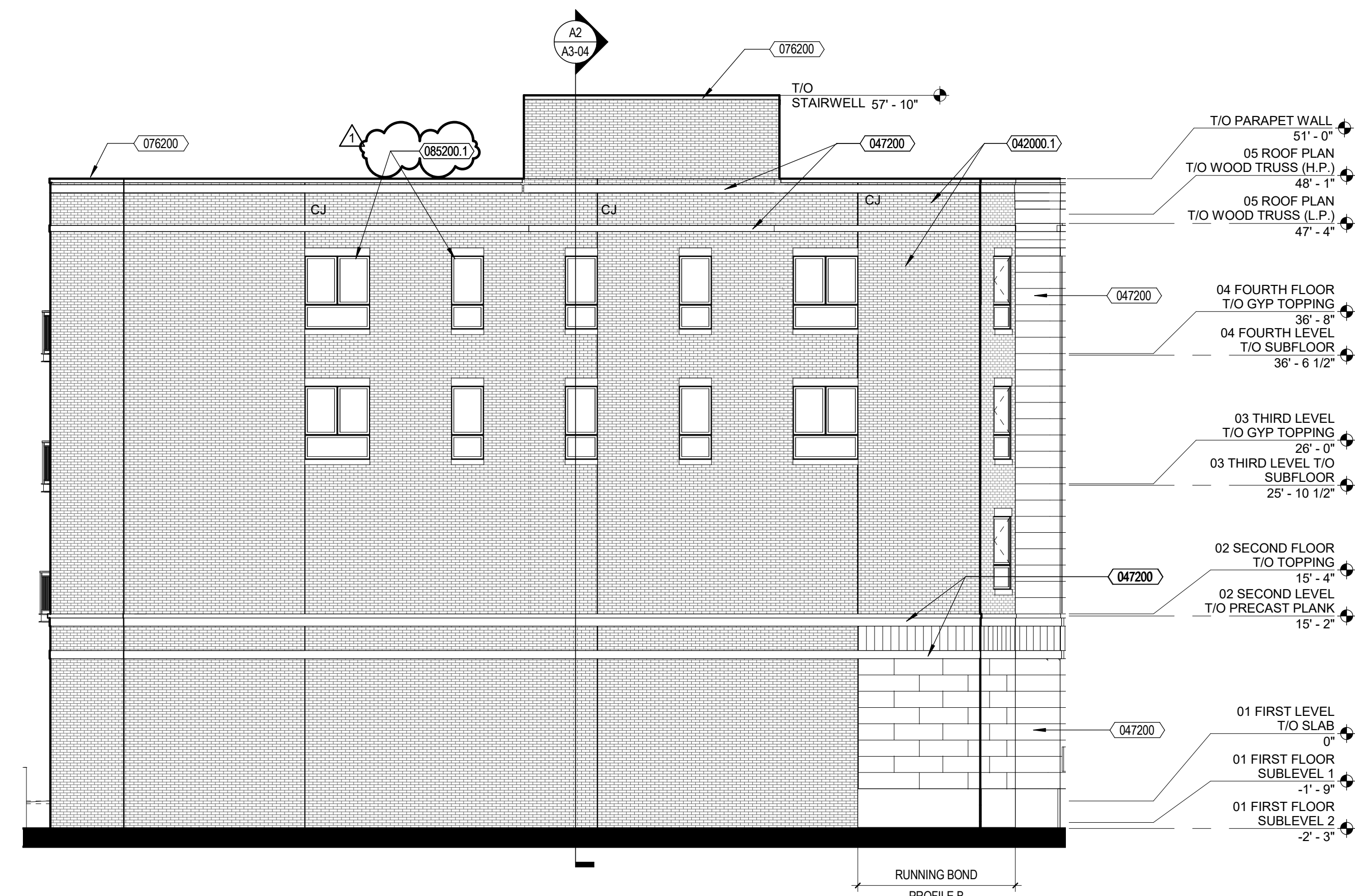
1. KEYNOTE SYMBOLS ON THIS DRAWING ARE TYPICAL FOR ALL SIMILAR CONDITIONS/ ITEMS ON THIS SHEET.
2. REFER TO SCHEDULE (SHEETS A3-01) FOR ADDITIONAL INFORMATION ON WALL/FLOOR ROOF CONSTRUCTION, OPENINGS AND REQUIREMENT FOR TEMPERED GLASS.
3. REFER TO WALL SECTIONS FOR ADDITIONAL NOTES AND DIMENSIONS.
4. G.C. TO COORDINATE WORK AMONG VARIOUS TRADES AND UTILITIES.
5. REFER TO STRUCTURAL DRAWINGS FOR ALL EXTERIOR BEARING CONDITION DETAILS. TYPICAL.
6. GENERAL FLASHING NOTE: AT BRICK VENEER LOCATIONS, PROVIDE CONTINUOUS FLASHING AT ALL WINDOW & DOOR HEADERS & SILLS WITH CELL VENTS @ 24" O.C. ALL FLASHING TO BE INSTALLED PROPERLY, LAPPED & SEALED WITH END DAMS ETC. FOR TIGHT CONDITIONS.
7. C.J. = CONTROL JOINT IN MASONRY.

KEYNOTES

- 042000.1 FACE BRICK
- 042000.2 FACE BRICK- FLEMISH BOND
- 044313 ANCHORED STONE MASONRY
- 047200 CAST STONE MASONRY
- 057300 METAL BALCONY AND RAILINGS
- 076200 SHEET METAL FLASHING AND TRIM
- 084113 ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS
- 085200 WINDOWS
- 085200.1 FAUX-WINDOW AT WEST EXTERIOR WALL ONLY
- 101419 DIMENSIONAL LETTER SIGNAGE
- 101423 PANEL SIGNAGE
- 107313 AWNINGS
- 265600 EXTERIOR LIGHTING



A1 MASONRY DETAIL AT CORNICE
1/2" = 1'-0"

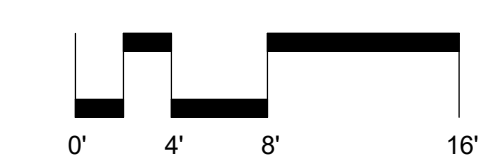


A2 WEST ELEVATION
1/8" = 1'-0"

- T/O PARAPET WALL 51'-0"
- 05 ROOF PLAN T/O WOOD TRUSS (H.P.) 48'-1"
- 05 ROOF PLAN T/O WOOD TRUSS (L.P.) 47'-4"
- 04 FOURTH FLOOR T/O GYP TOPPING 36'-8"
- 04 FOURTH LEVEL T/O SUBFLOOR 36'-6 1/2"
- 03 THIRD LEVEL T/O GYP TOPPING 26'-0"
- 03 THIRD LEVEL T/O SUBFLOOR 25'-10 1/2"
- 02 SECOND FLOOR T/O TOPPING 15'-4"
- 02 SECOND LEVEL T/O PRECAST PLANK 15'-2"
- 01 FIRST LEVEL T/O SLAB 0"
- 01 FIRST FLOOR SUBLEVEL 1 -1'-9"
- 01 FIRST FLOOR SUBLEVEL 2 -2'-3"

LEGEND

- RUNNING BOND BRICK
- FLEMISH BOND BRICK



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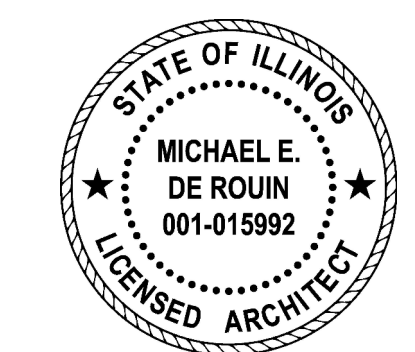
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EXTERIOR ELEVATIONS

A2-01

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C1 NORTH ELEVATION
1/8" = 1'-0"

ELEVATION NOTES

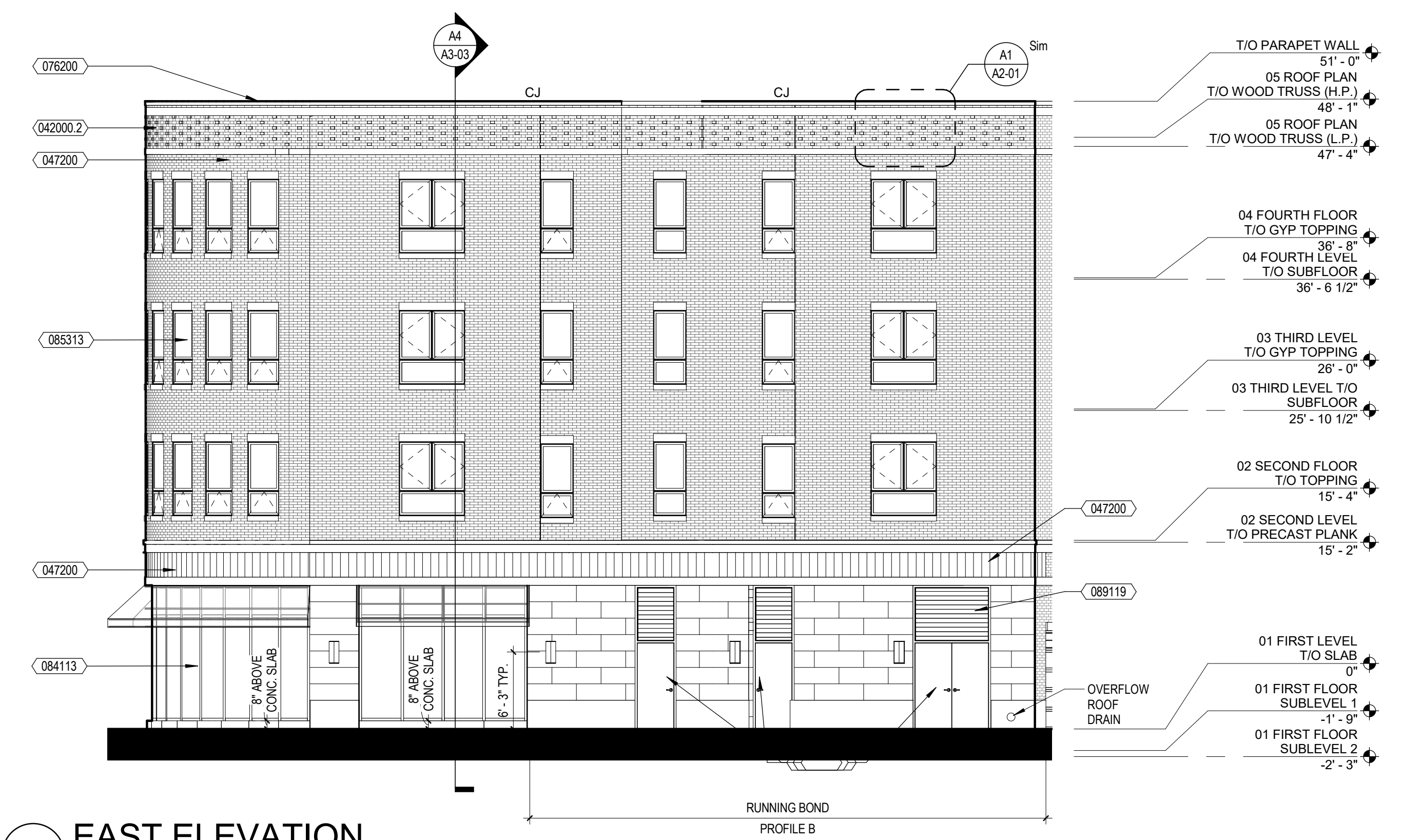
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2. REFER TO SCHEDULE (SHEETS A3-01) FOR ADDITIONAL INFORMATION ON WALL/FLOOR ROOF CONSTRUCTION, OPENINGS AND REQUIREMENT FOR TEMPERED GLASS.
3. REFER TO WALL SECTIONS FOR ADDITIONAL NOTES AND DIMENSIONS
4. G.C. TO COORDINATE WORK AMONG VARIOUS TRADES AND UTILITIES
5. REFER TO STRUCTURAL DRAWINGS FOR ALL EXTERIOR BEARING CONDITION DETAILS. TYPICAL.
6. GENERAL FLASHING NOTE: AT BRICK VENEER LOCATIONS, PROVIDE CONTINUOUS FLASHING AT ALL WINDOW & DOOR HEADERS & SILLS WITH CELL VENTS @ 24" O.C. ALL FLASHING TO BE INSTALLED PROPERLY, LAPPED & SEALED WITH END DAMS ETC., FOR TIGHT CONDITIONS
7. CJ = CONTROL JOINT IN MASONRY

KEYNOTES

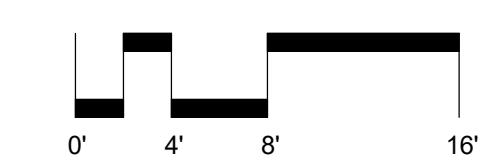
042000.1	FACE BRICK
042000.2	FACE BRICK- FLEMISH BOND
047200	CAST STONE MASONRY
057300	METAL BALCONY AND RAILINGS
076200	SHEET METAL FLASHING AND TRIM
077100	METAL GUTTER AND DOWNSPOUT
083613	SECTIONAL DOORS
084113	ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS
085200	WINDOWS
085313	FIXED LOUVERS
089119	EXTERIOR LIGHTING

LEGEND

	RUNNING BOND BRICK
	FLEMISH BOND BRICK



A2 EAST ELEVATION
1/8" = 1'-0"



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EXTERIOR ELEVATIONS

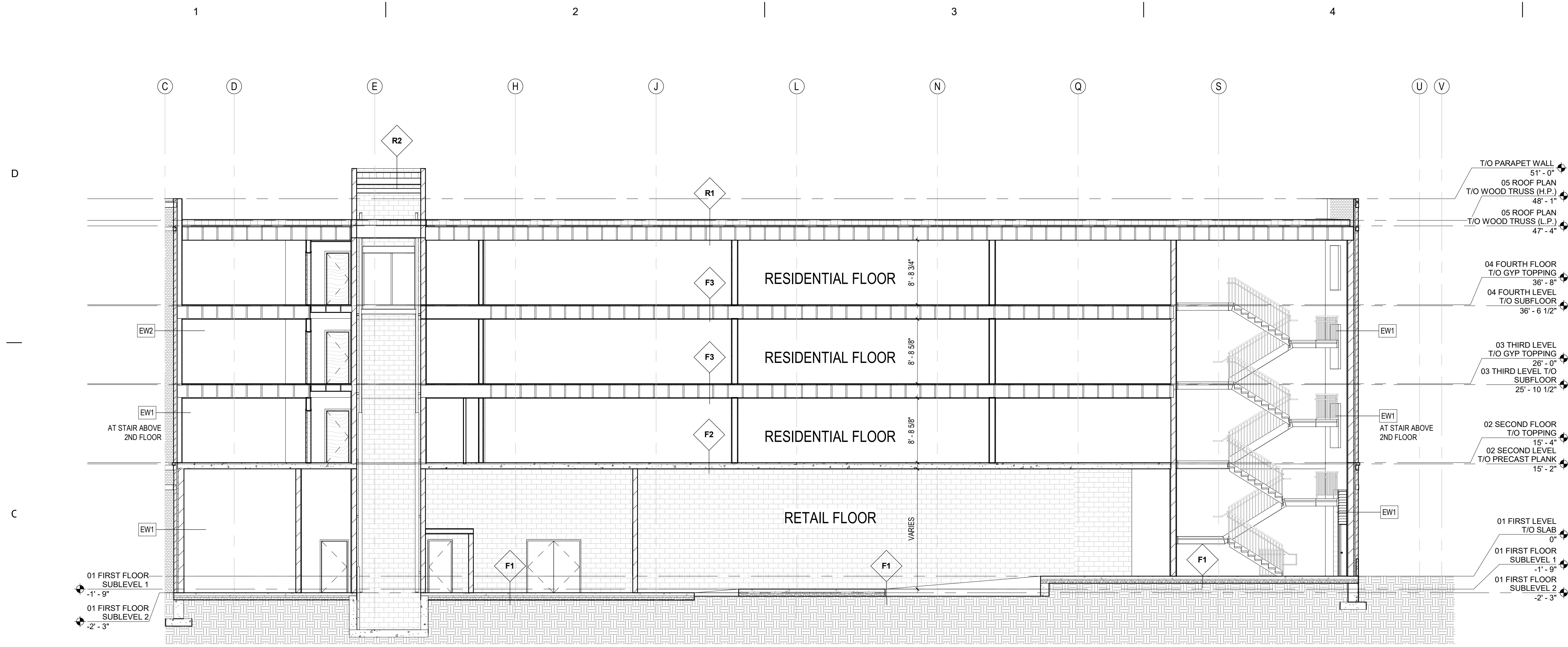
A2-02

1 | 2 | 3 | 4 | 5

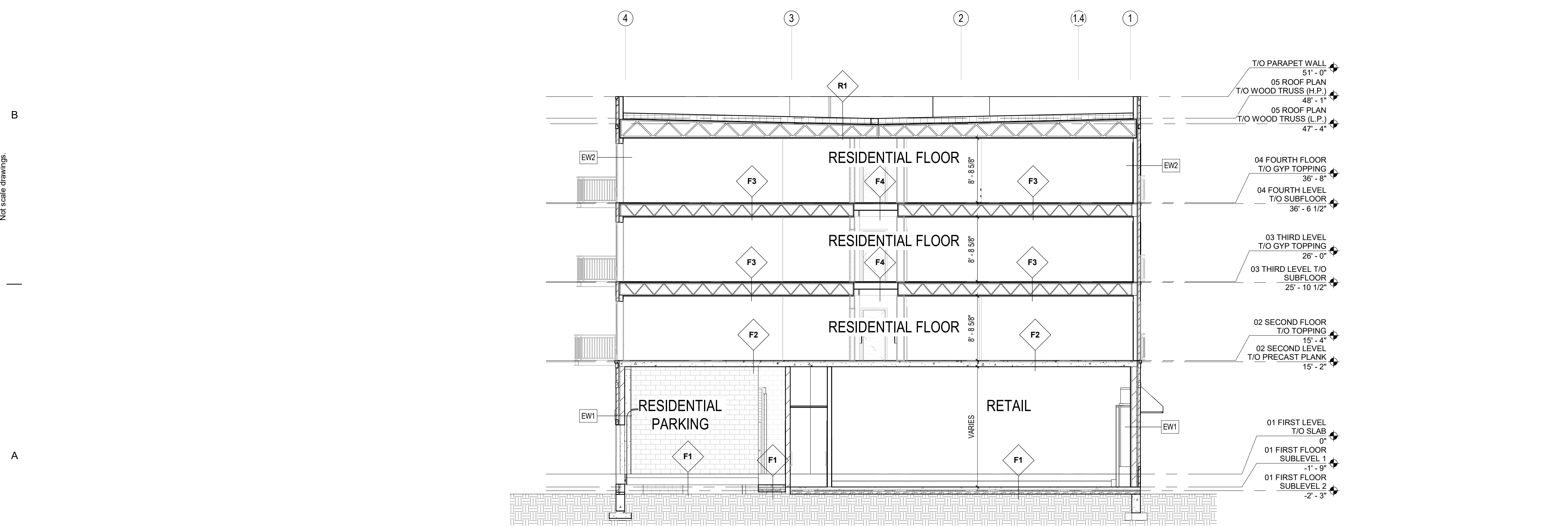
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C1 BUILDING SECTION - EAST WEST
1/8" = 1'-0"



A2 BUILDING SECTION - NORTH SOUTH
1/8" = 1'-0"

CONSTRUCTION NOTES

- ROOF TYPES**
- R1 - FLAT ROOF OVER WOOD TRUSS**
1 HOUR ASSEMBLY - UL P531
 - FULLY ADHERED EPDM WHITE, 60 MIL. UNREINFORCED ROOFING SYSTEM
 - MIN. R-45 RIGID ROOF INSULATION, PROVIDE "CRICKETS" AS REQ'D TO PROVIDE POSITIVE PITCH
 - VAPOR RETARDER - 10 MIL REINFORCED SHEET LOOSE LAID WITH TAPED SEAM
 - 5/8" T & G OSB SHEATHING (REFER TO STRUCTURAL DWGS.)
 - WOOD TRUSS (REFER TO STRUC. DWGS.) TOP CHORD TO BE PITCHED 1/4"=1'-0" MIN.
 - 1/2" RC DELUX RESILIENT CHANNELS AT 16" O.C.
 - TWO (2) LAYER 5/8" TYPE-C GYPSUM BOARD
 - R2 - ROOF ASSEMBLY @ STAIR 1 & ELEVATOR OVERRUN**
 - FULLY ADHERED EPDM WHITE, 60 MIL. UNREINFORCED ROOFING SYSTEM
 - TAPERED RIGID ROOF INSULATION (1/4" PER 1'-0") OVER MINIMUM R-45 RIGID INSULATION, PROVIDE POSITIVE PITCH TO DRAIN.
 - VAPOR RETARDER - 10 MIL REINFORCED SHEET LOOSE LAID WITH TAPED SEAMS
 - 5/8" T&G OSB SHEATHING (REFER TO STRUCTURAL DWGS.)
 - 2"x10" JOISTS (REFER TO STRUC. DWGS.)
 - TWO (2) LAYER 5/8" TYPE-C GYPSUM BOARD
- FLOOR TYPES**
- F1 - FIRST FLOOR - SLAB ON GRADE**
 - FINISH FLOORING, WHERE APPLICABLE SEE ROOM FINISH SCHEDULE)
 - VAPOR RETARDER
 - REINFORCED CAST-IN-PLACE CONCRETE SLAB (SEE STRUCTURAL DWGS.)
 - 15 MIL VAPOR BARRIER
 - 2" RIGID INSULATION ALONG PERIMETER 4'-0" MIN.
 - 6" MINIMUM COMPACTED GRANULAR FILL (SEE STRUCTURAL DWGS.)
 - F2 - SECOND FLOOR - PRECAST CONCRETE 3HR ASSEMBLY UL # J801**
 - CONCRETE TOPPING SLAB (SEE STRUCTURAL)
 - PRECAST CONCRETE PLANK (SEE STRUCTURAL)
 - BELOW PLANK CONSTRUCTION REFER TO BELOW: 3" MIN. SPRAY FOAM INSULATION
 - F3 - THIRD AND FOURTH FLOORS 1HR ASSEMBLY UL # L528**
 - FINISH FLOORING, WHERE APPLICABLE SEE ROOM FINISH SCHEDULE)
 - 1" MINIMUM GYPSUM-CEMENT-BASED UNDERLAYMENT, WITH MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI
 - 3/8" SOUND MAT (FELT SIDE UP WHERE SCHEDULED)
 - 3/4" OSB SHEATHING (REFER TO STRUCTURAL DWGS.)
 - OPEN WOOD PARALLEL WOOD CHORD TRUSSES (SEE STRUCTURAL DWGS.)
 - 3-1/2" SOUND ATTENUATION BLANKET - FIBERGLASS INSULATION
 - 1/2" RC DELUX RESILIENT CHANNELS AT 16" O.C.
 - ONE (1) LAYER 5/8" TYPE C GYPSUM BOARD
 - PAINT (SEE ROOM FINISH SCHEDULE)
 - F4 - FLOOR FRAMING AT RESIDENTIAL CORRIDOR, 1 HOUR ASSEMBLY - UL # L569**
 - FINISH FLOORING, WHERE APPLICABLE SEE ROOM FINISH SCHEDULE)
 - 1" MINIMUM GYPSUM-CEMENT BASED TOPPING, WITH MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI
 - 3/8" SOUND MAT (FELT SIDE UP WHERE SCHEDULED)
 - 3/4" OSB SHEATHING (REFER TO STRUCTURAL DWGS.)
 - 2"x10" FLOOR JOIST (SEE STRUCTURAL DWGS.)
 - 3-1/2" SOUND ATTENUATION BLANKET - FIBERGLASS INSULATION
 - 1/2" RC DELUXE RESILIENT CHANNELS AT 16" O.C.
 - ONE (1) LAYER 5/8" TYPE-C GYPSUM BOARD
- WALL TYPES**
- EW1 - MASONRY VENEER ON CMU TYPE I-A 3 HOUR EXTERIOR BEARING WALL - UL # U904**
 - 4" FACE BRICK OR MASONRY (SEE BUILDING ELEVATIONS FOR TYPE)
 - 1-1/4" AIR SPACE
 - 1-1/2" CONTINUOUS RIGID INSULATION
 - FLUID-APPLIED AIR AND VAPOR BARRIER
 - 8" CMU (REFER TO STRUCTURAL) WITH CONTINUOUS
 - TWO (2) PIECE MASONRY TIES AT 24" O.C. VERT.
 - CONTINUOUS 12" HIGH DOVETAIL-STYLE MORTAR NET WITH SELF-ADHERED 60 MIL FLASHING AND S.S. DRIP EDGE
 - PREFABRICATED 3/8" WIDE VERT./HEAD JOINT VENT AT 24" O.C.
 - 1-1/2" METAL STUDS FURRING
 - ONE (1) LAYER 5/8" TYPE-X GYPSUM BOARD
 - EW2 - MASONRY VENEER ON WOOD STUD (BEARING) 1 HOUR ASSEMBLY - UL # U305**
 - 4" FACE BRICK OR MASONRY (SEE BUILDING ELEVATIONS FOR TYPE)
 - CONTINUOUS 12" HIGH DOVETAIL-STYLE MORTAR NET WITH SELF-ADHERED 60 MIL FLASHING AND S.S. DRIP EDGE, AND WEEPS @ 24" O.C. AT INLETS AND FOUNDATION TYP.
 - 1 1/4" AIR SPACE
 - BUILDING WRAP- AIR AND WATER BARRIER
 - CONTINUOUS TWO (2) PIECE MASONRY TIES AT 24" O.C. VERTICALLY
 - 5/8" EXTERIOR-GRADE GYPSUM BOARD SHEATHING
 - 2" x 8" WOOD STUDS AT 16" O.C. (REFER TO STRUCTURAL DWGS.)
 - SPRAY INSULATION, MIN. R-20
 - ONE (1) LAYER 5/8" TYPE-X GYPSUM BOARD

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SCHEMATIC BUILDING SECTIONS

A3-01

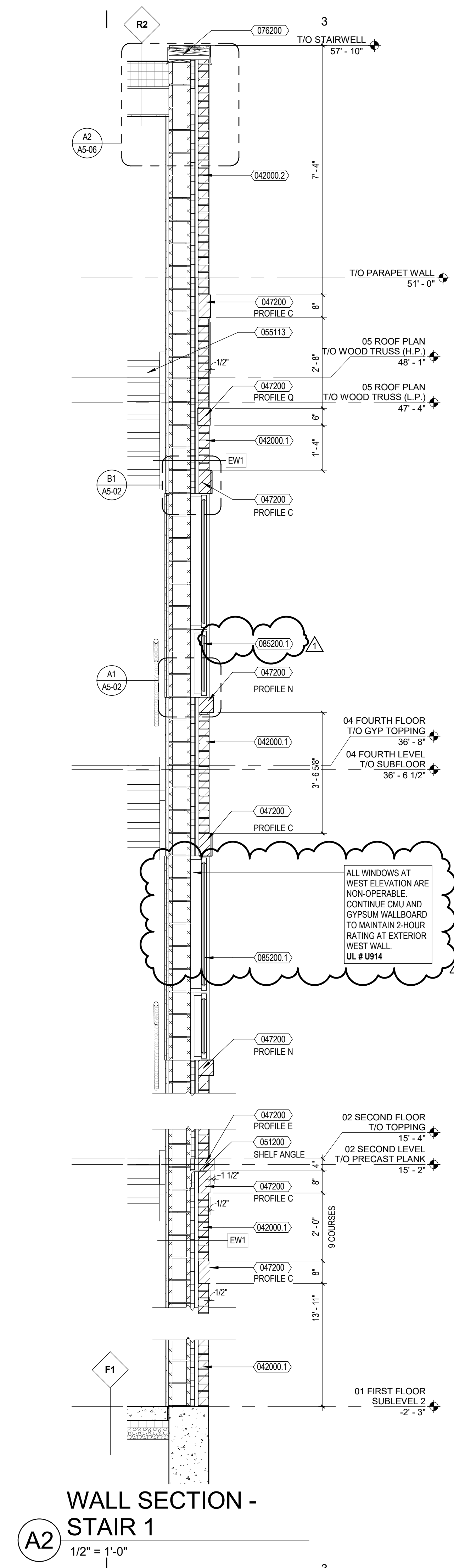
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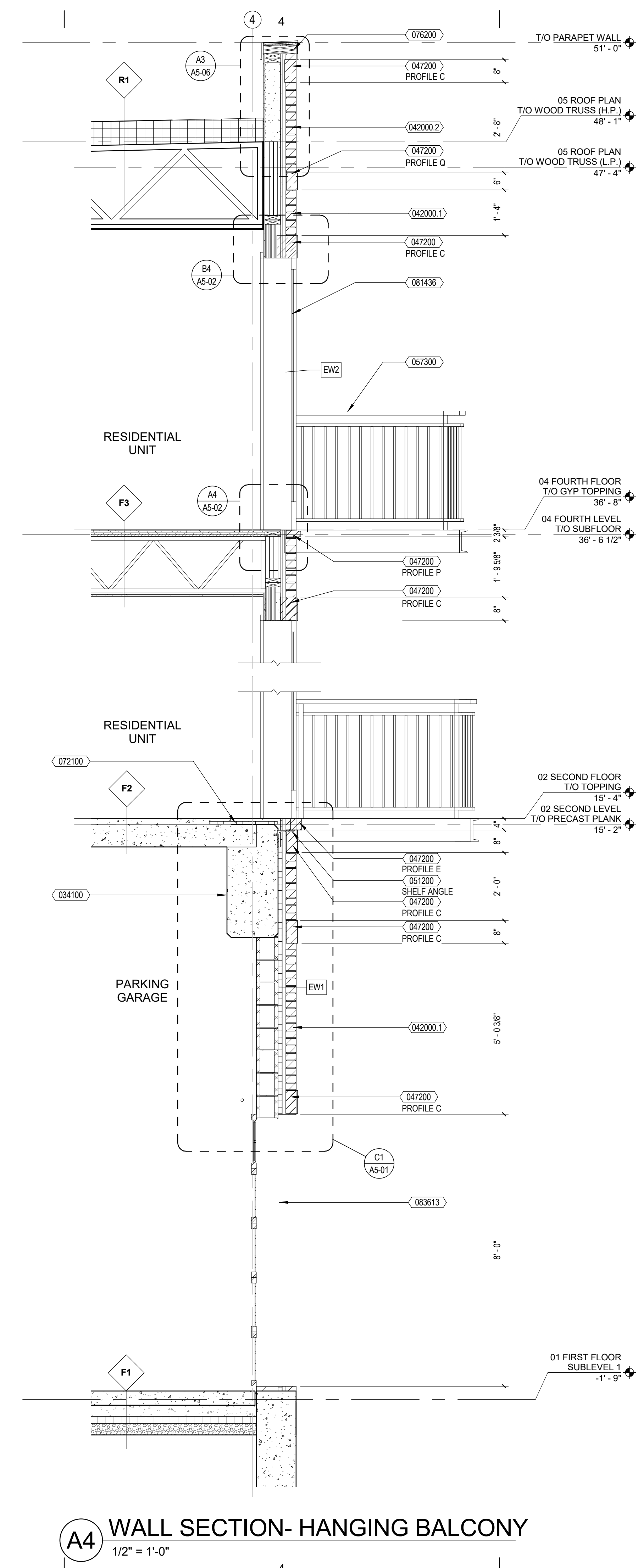
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1

2



A2 WALL SECTION - STAIR 1
1/2" = 1'-0"



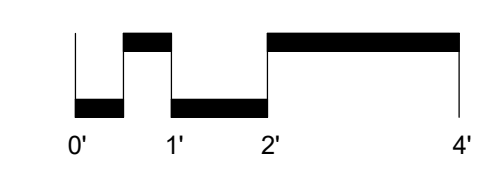
A4 WALL SECTION - HANGING BALCONY
1/2" = 1'-0"

GENERAL NOTES

- 05 ROOF PLAN T/O WOOD TRUSS (H.P.) 48'-1"
- 05 ROOF PLAN T/O WOOD TRUSS (L.P.) 47'-4"
- 04 PARAPET WALL 51'-0"
- 04 FOURTH FLOOR T/O GYP TOPPING 36'-8"
- 04 FOURTH LEVEL T/O SUBFLOOR 36'-6 1/2"
- 02 SECOND FLOOR T/O TOPPING 15'-4"
- 02 SECOND LEVEL T/O PRECAST PLANK 15'-2"
- 01 FIRST FLOOR SUBLEVEL 1 -1'-9"

KEYNOTES

- 034100 PRECAST STRUCTURAL CONCRETE
- 042000.1 FACE BRICK
- 042000.2 FACE BRICK - FLEMISH BOND
- 047200 CAST STONE MASONRY
- 051200 STRUCTURAL STEEL FRAMING
- 055113 METAL PAN STAIRS
- 057300 METAL BALCONY AND RAILINGS
- 072100 THERMAL INSULATION
- 076200 SHEET METAL FLASHING AND TRIM
- 081436 HINGED WOOD-FRAMED GLASS DOORS
- 083613 FUNCTIONAL JOISTS
- 085200.1 FAUX WINDOW AT WEST EXTERIOR WALL ONLY



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t 312-563-9100 f 312-563-1919
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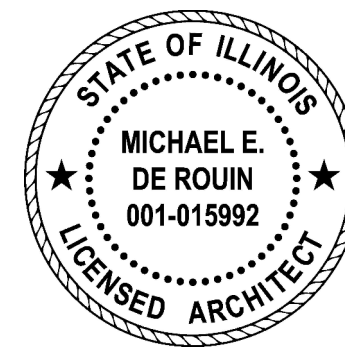
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	Issue for Design Development	11/12/14

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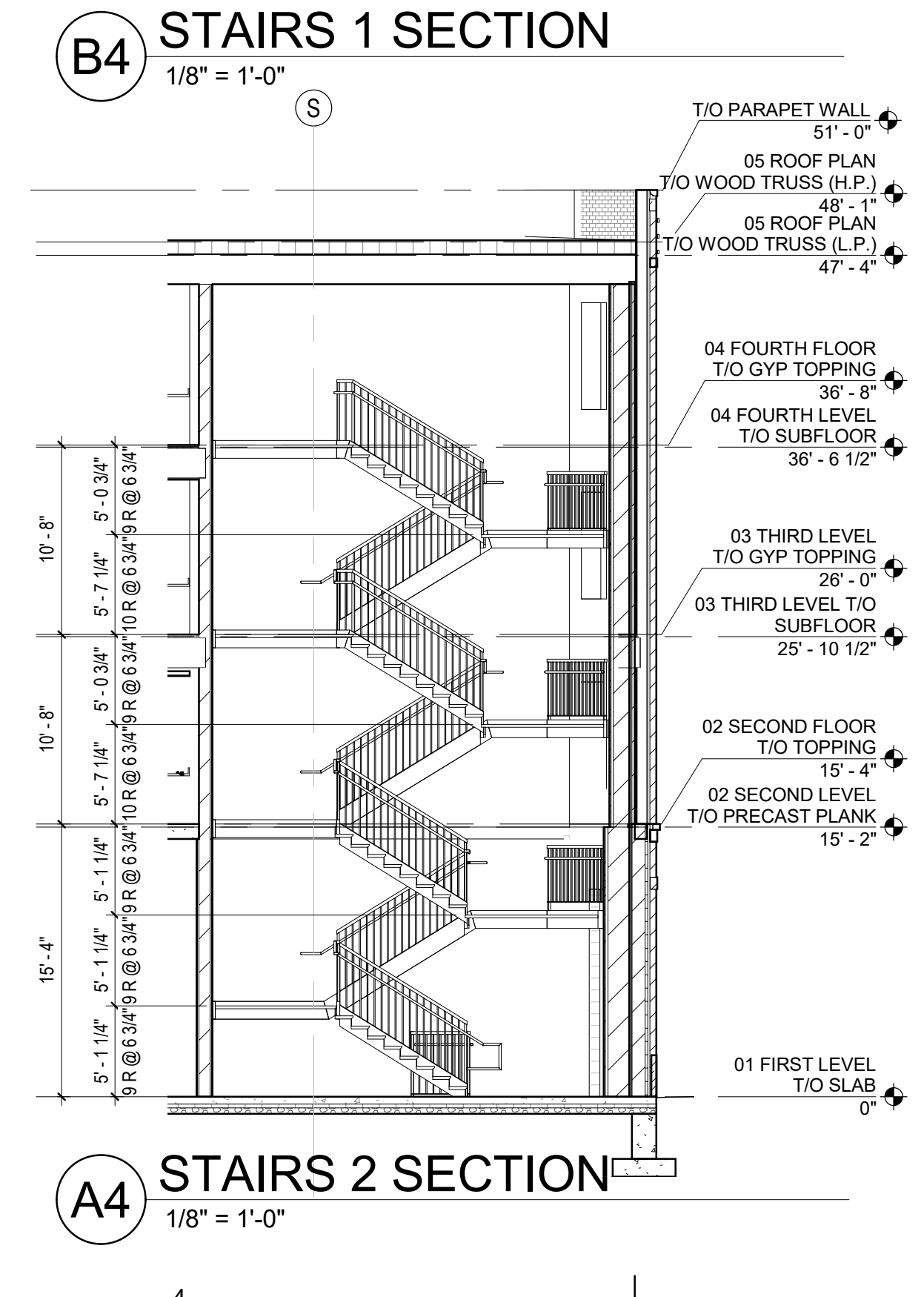
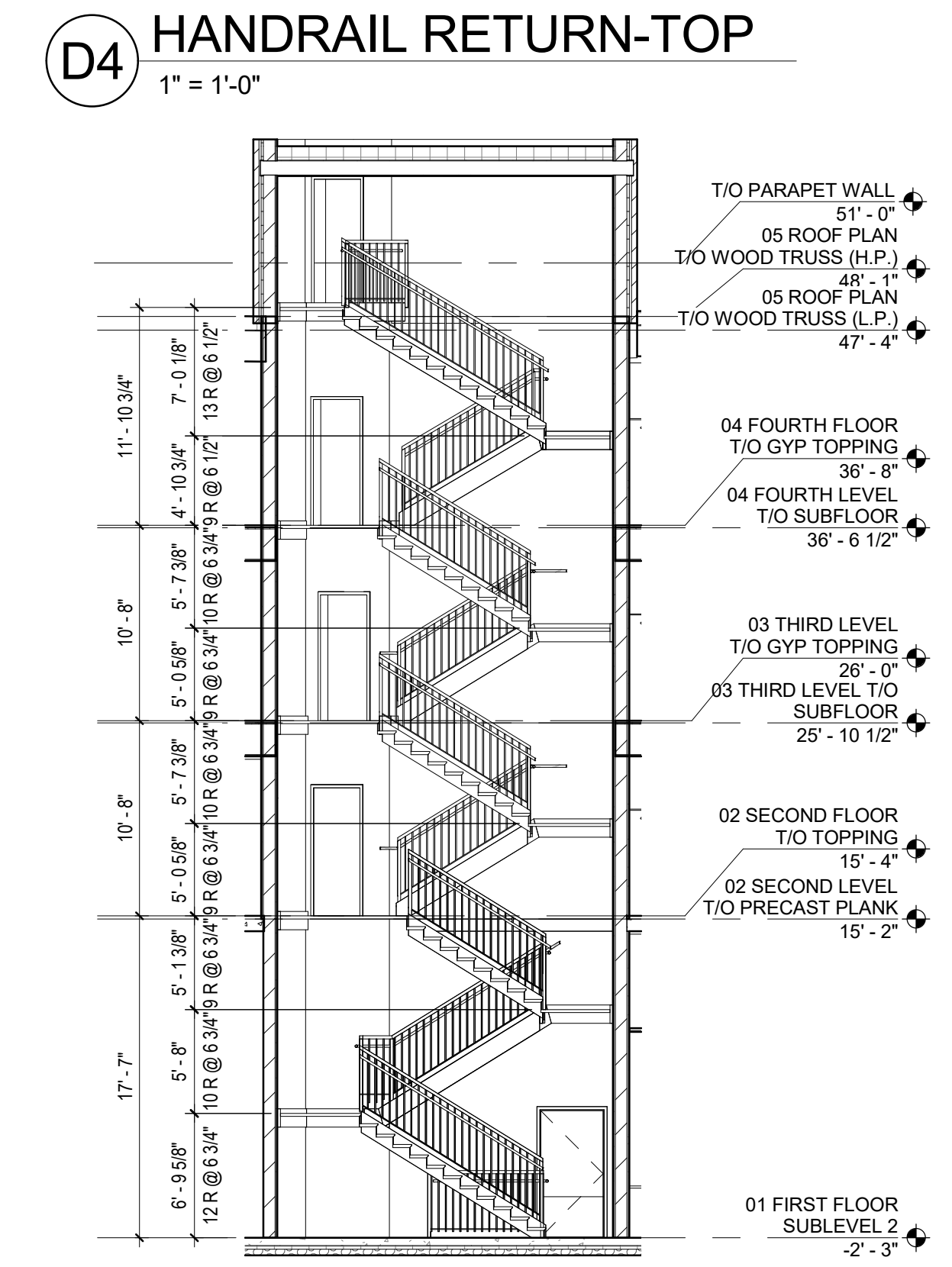
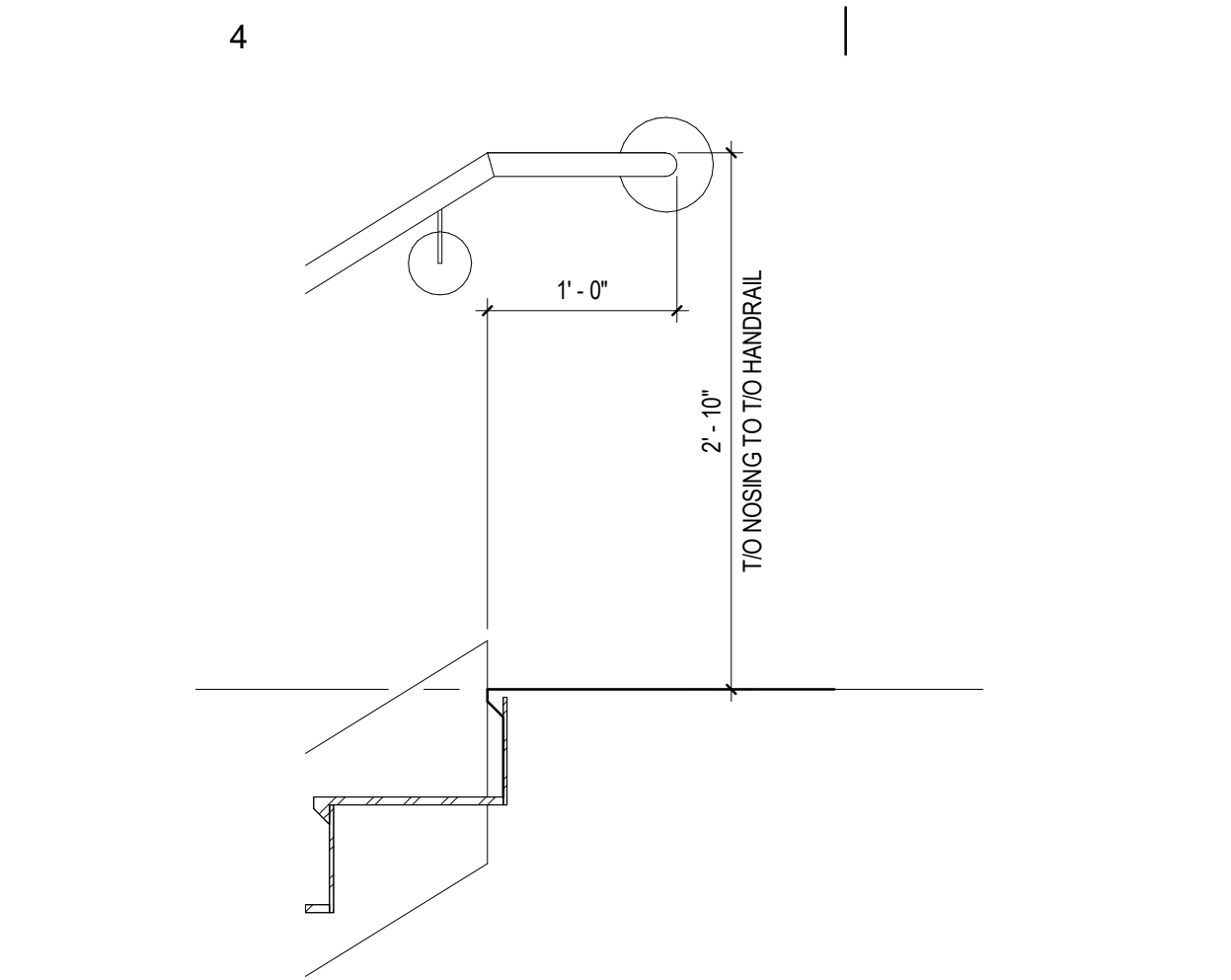
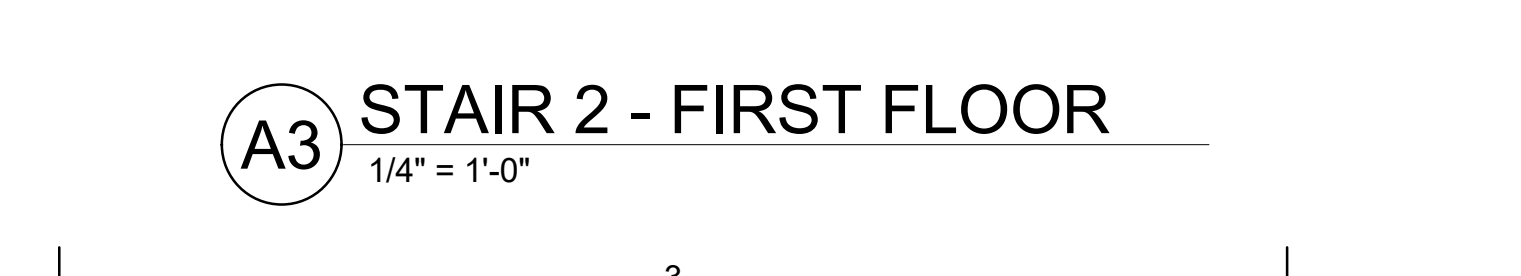
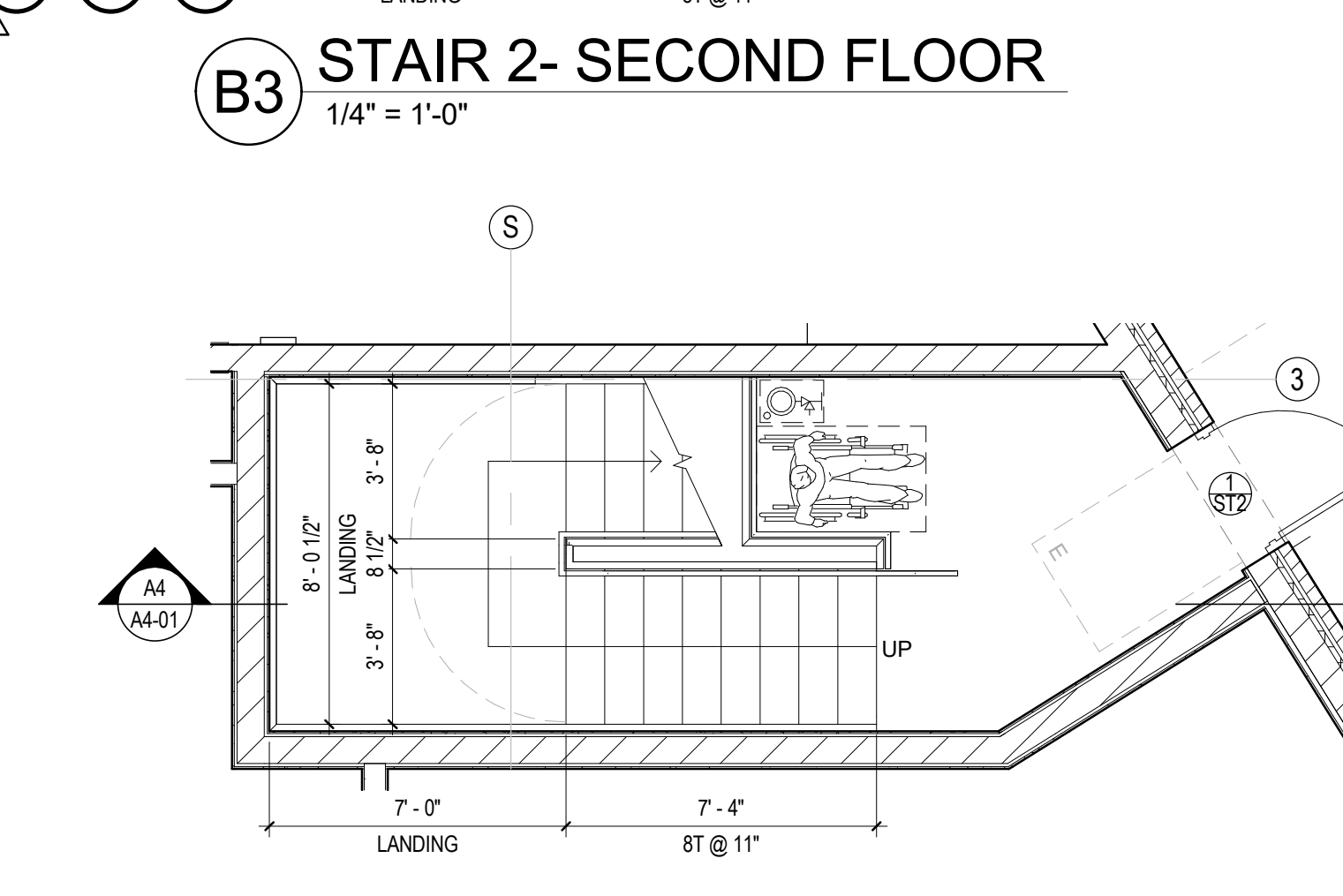
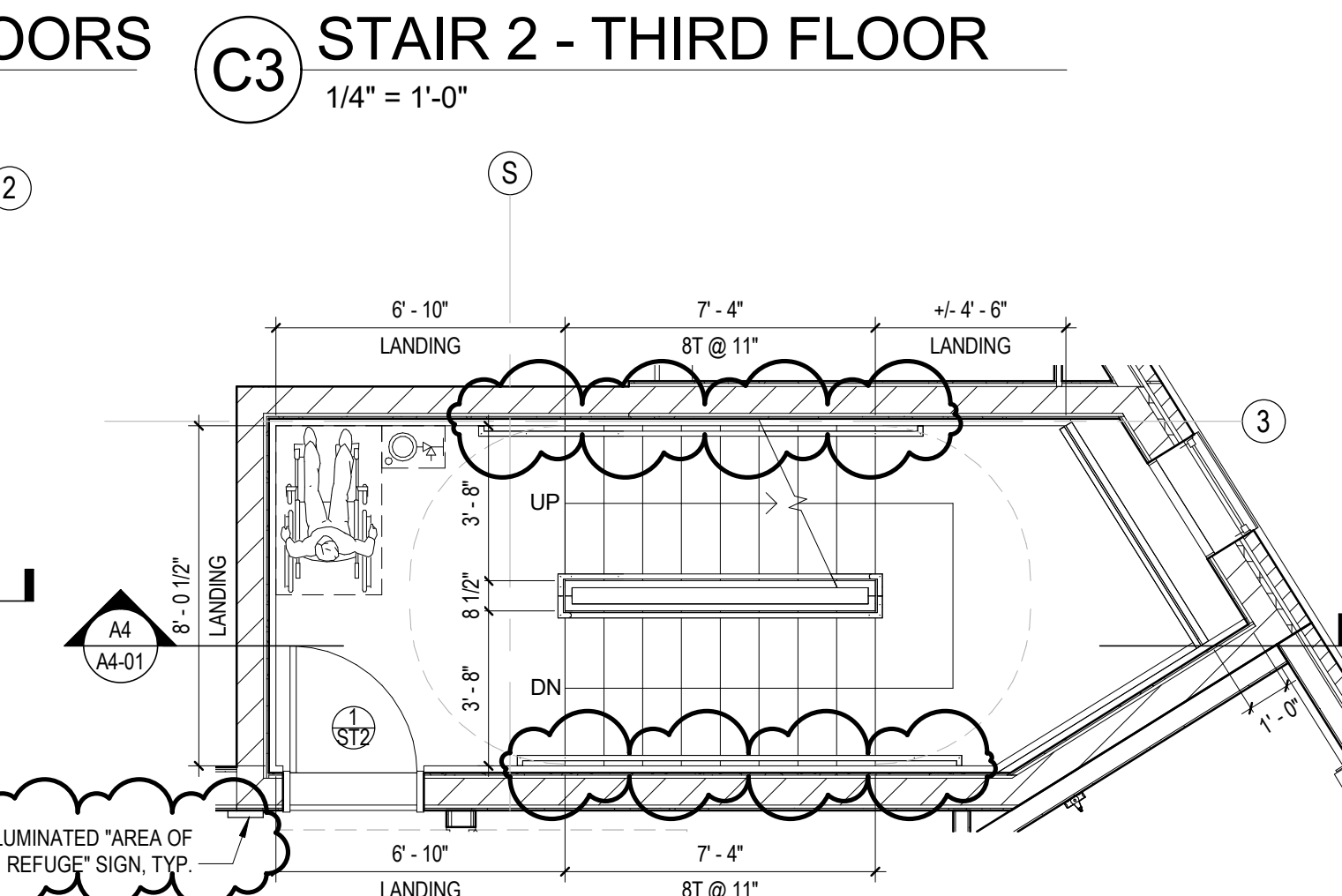
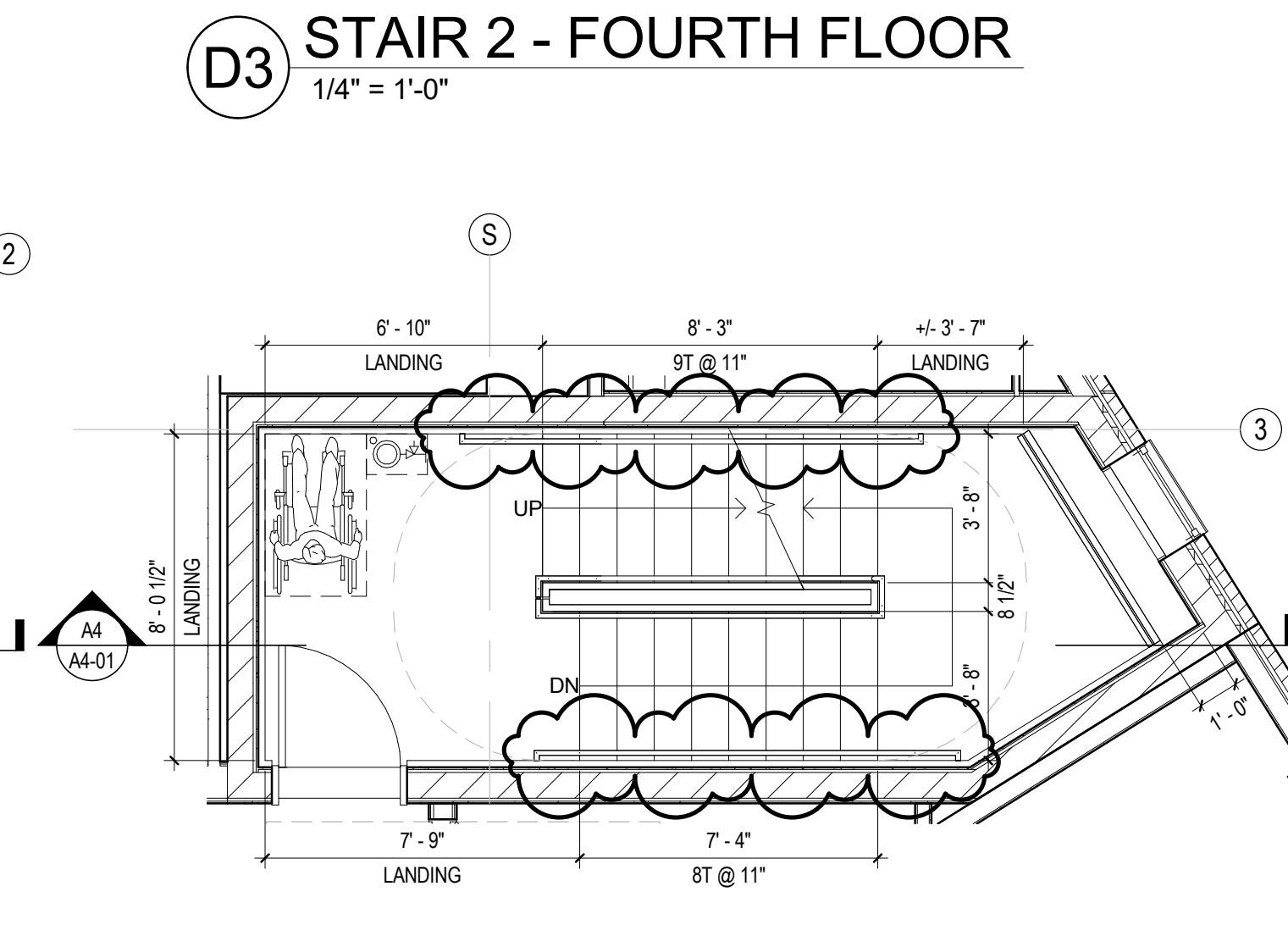
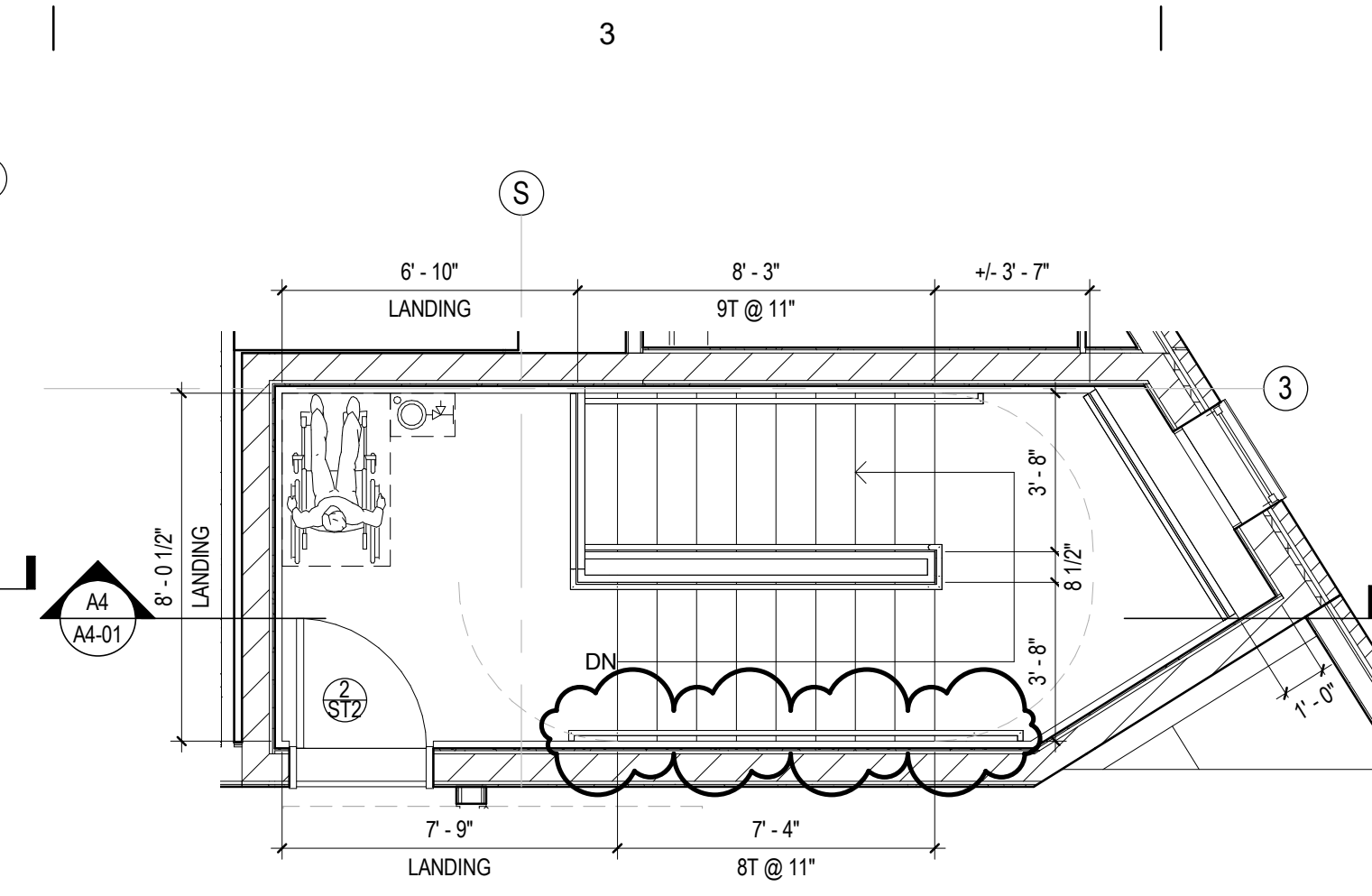
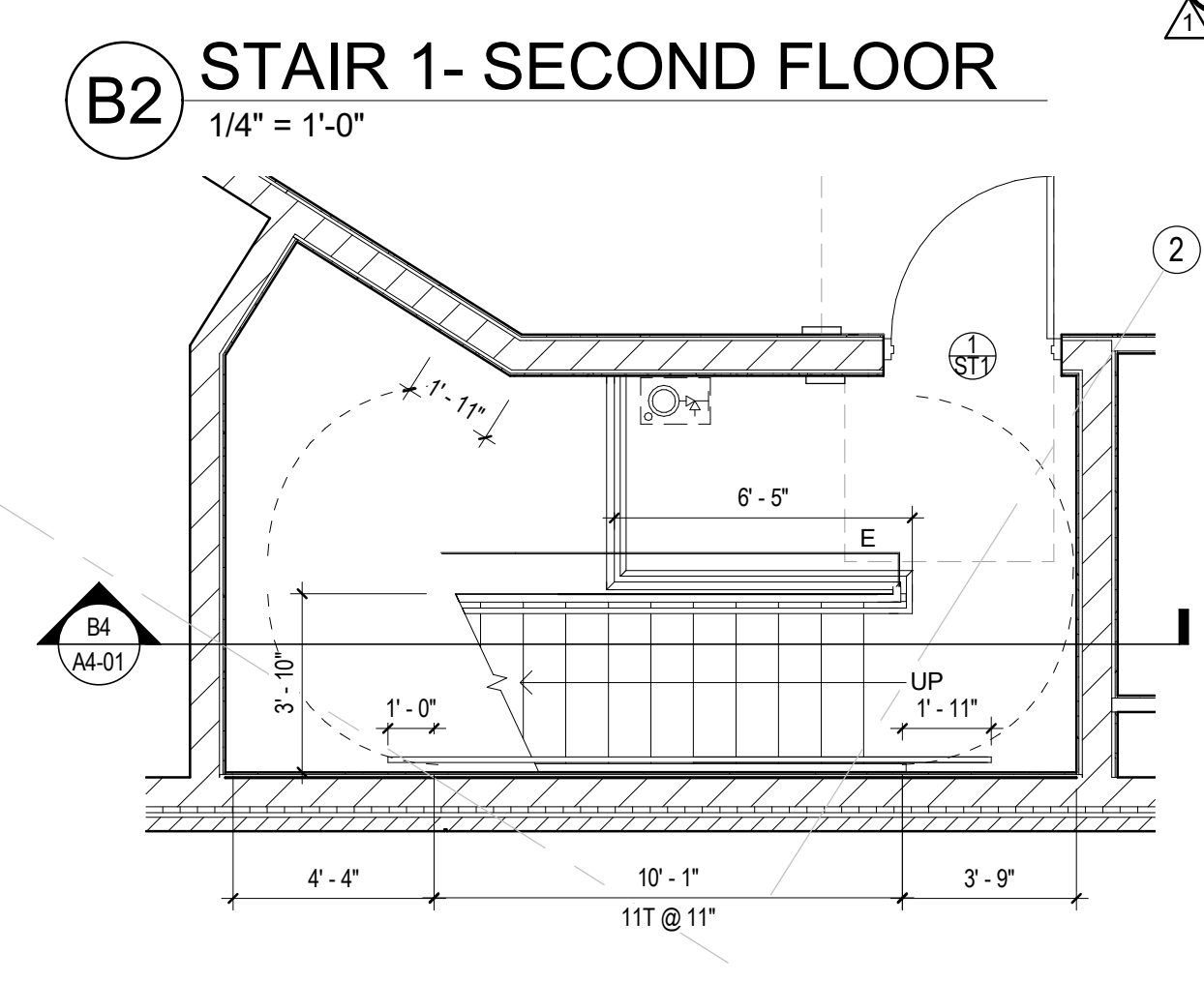
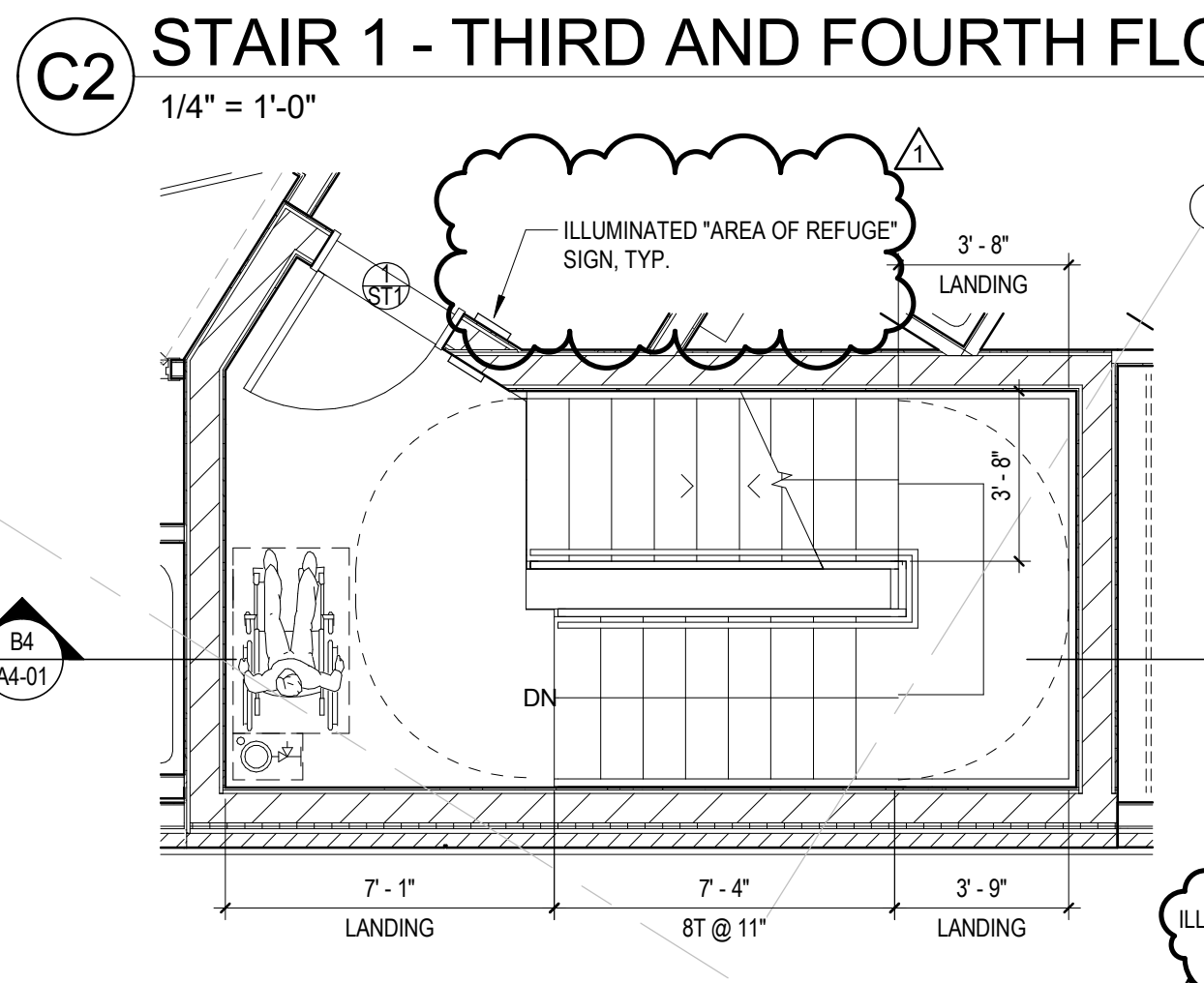
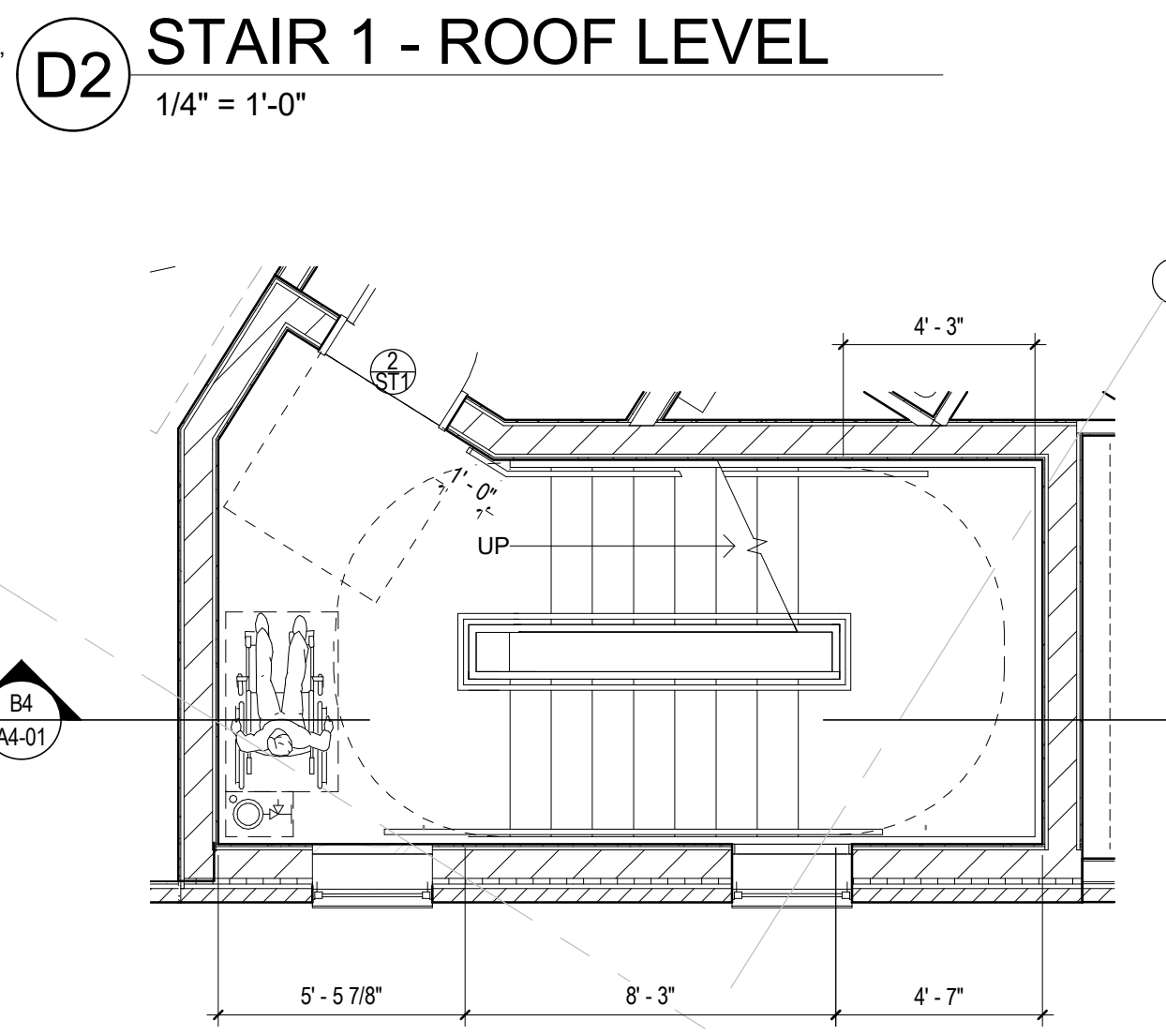
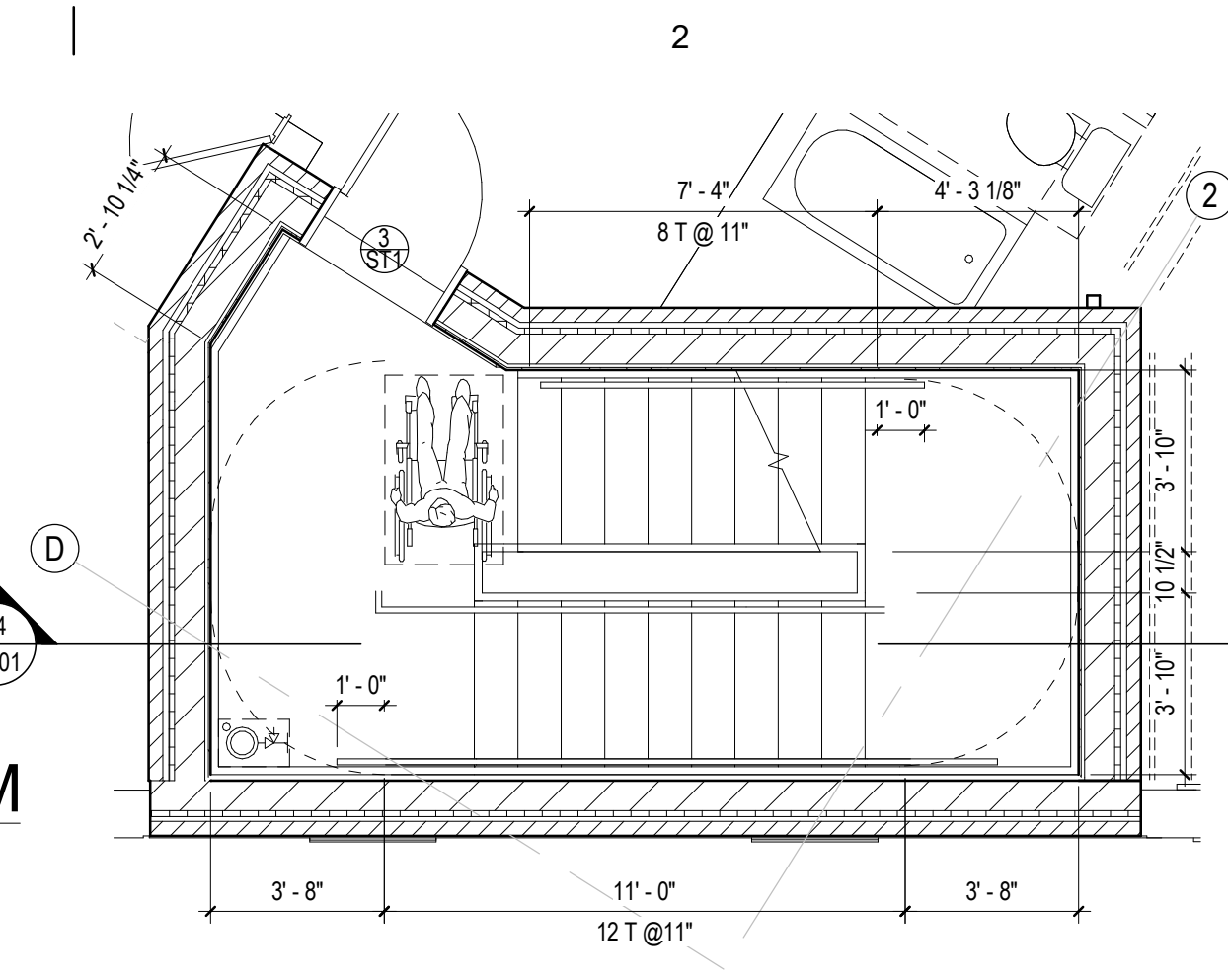
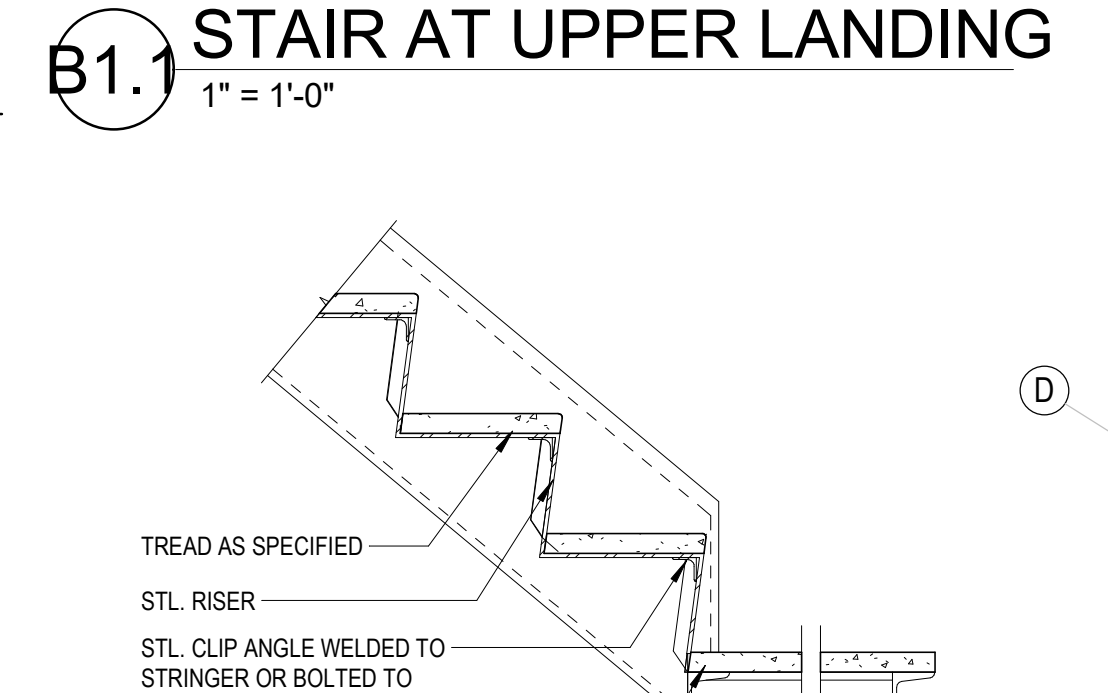
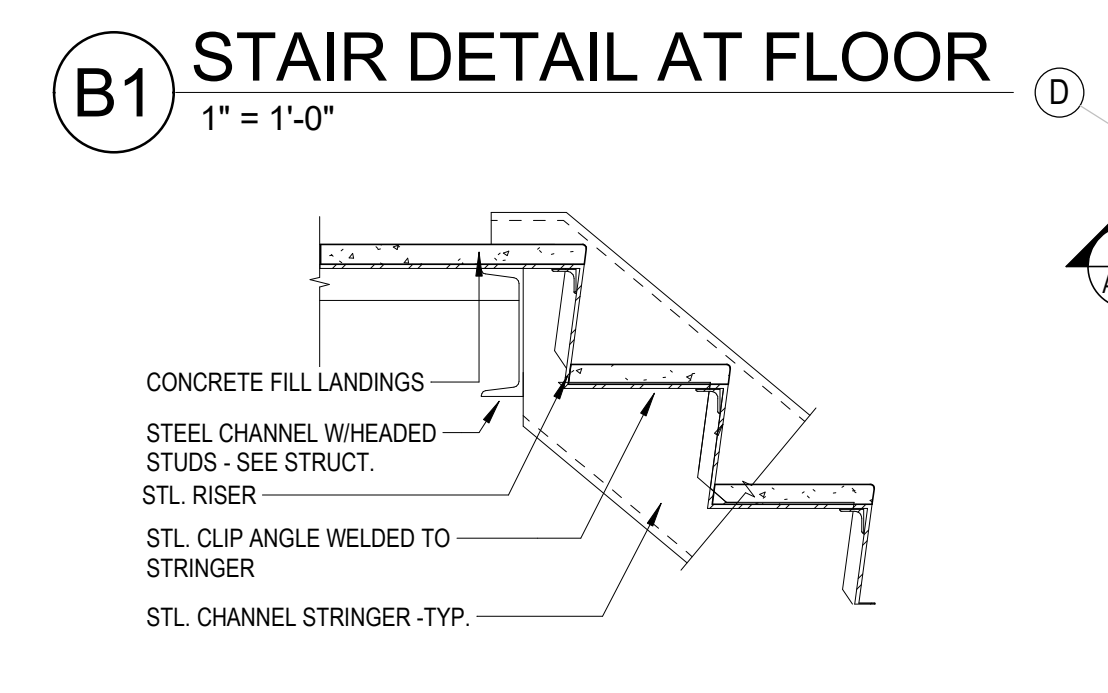
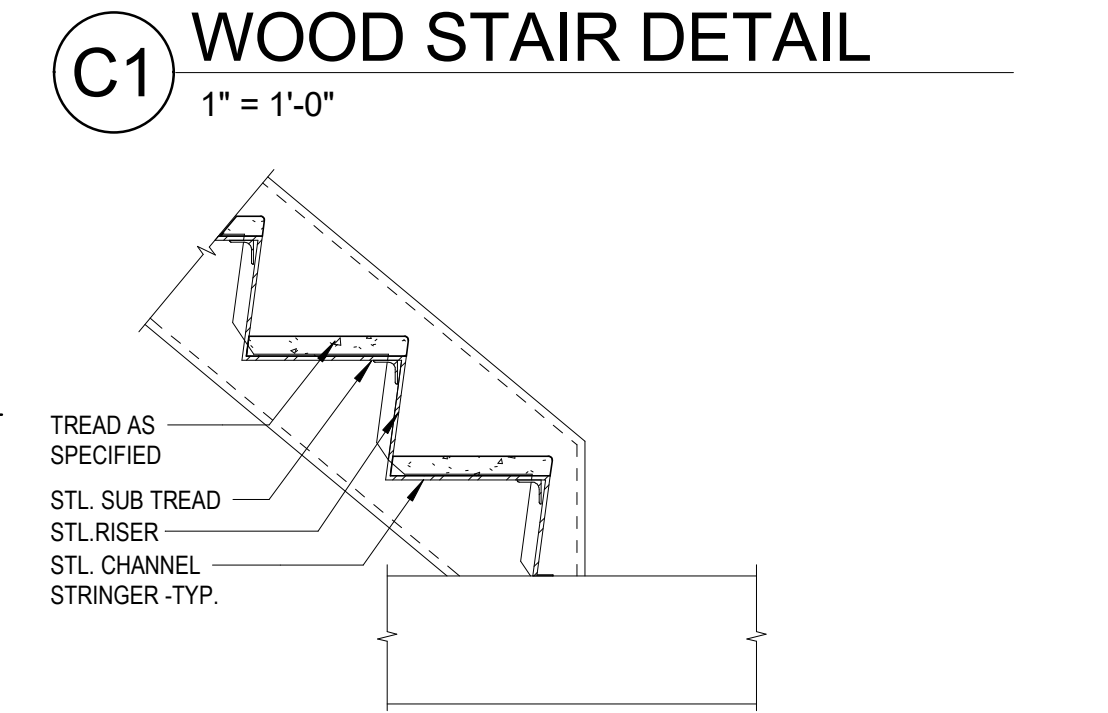
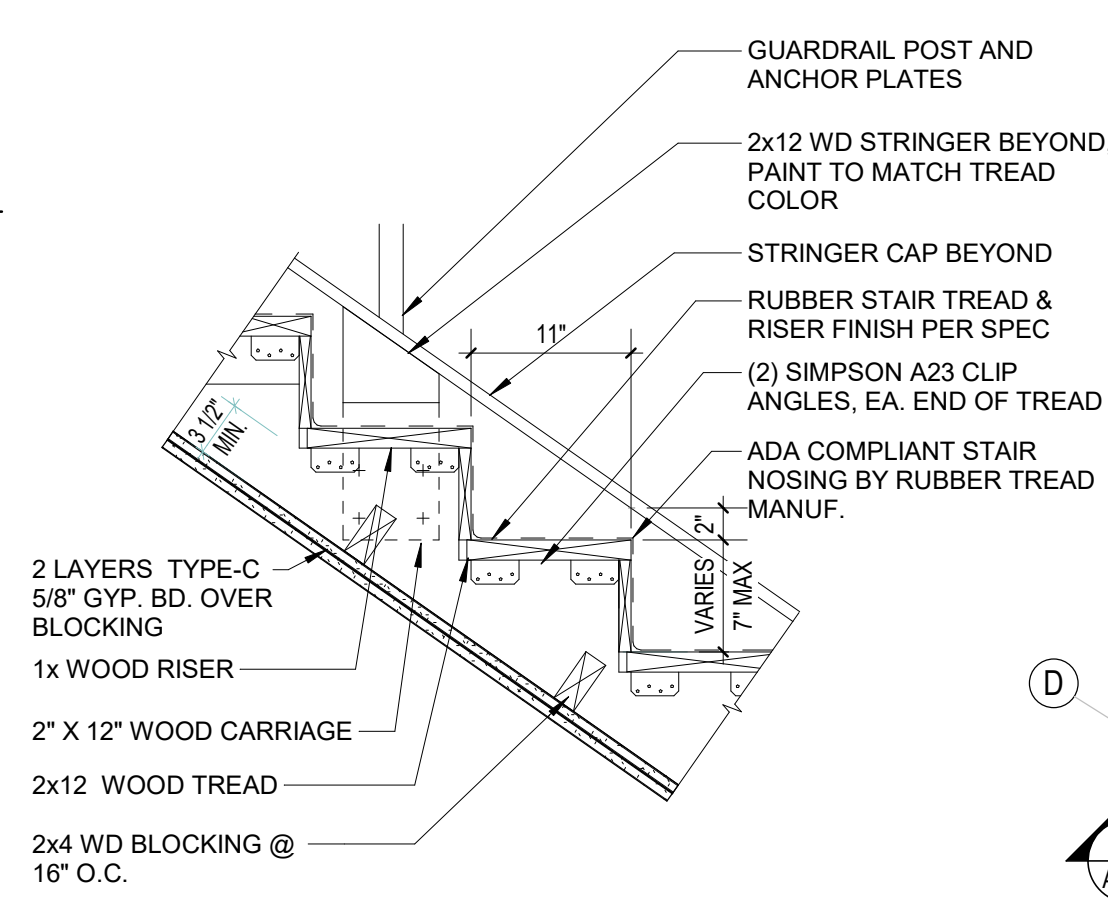
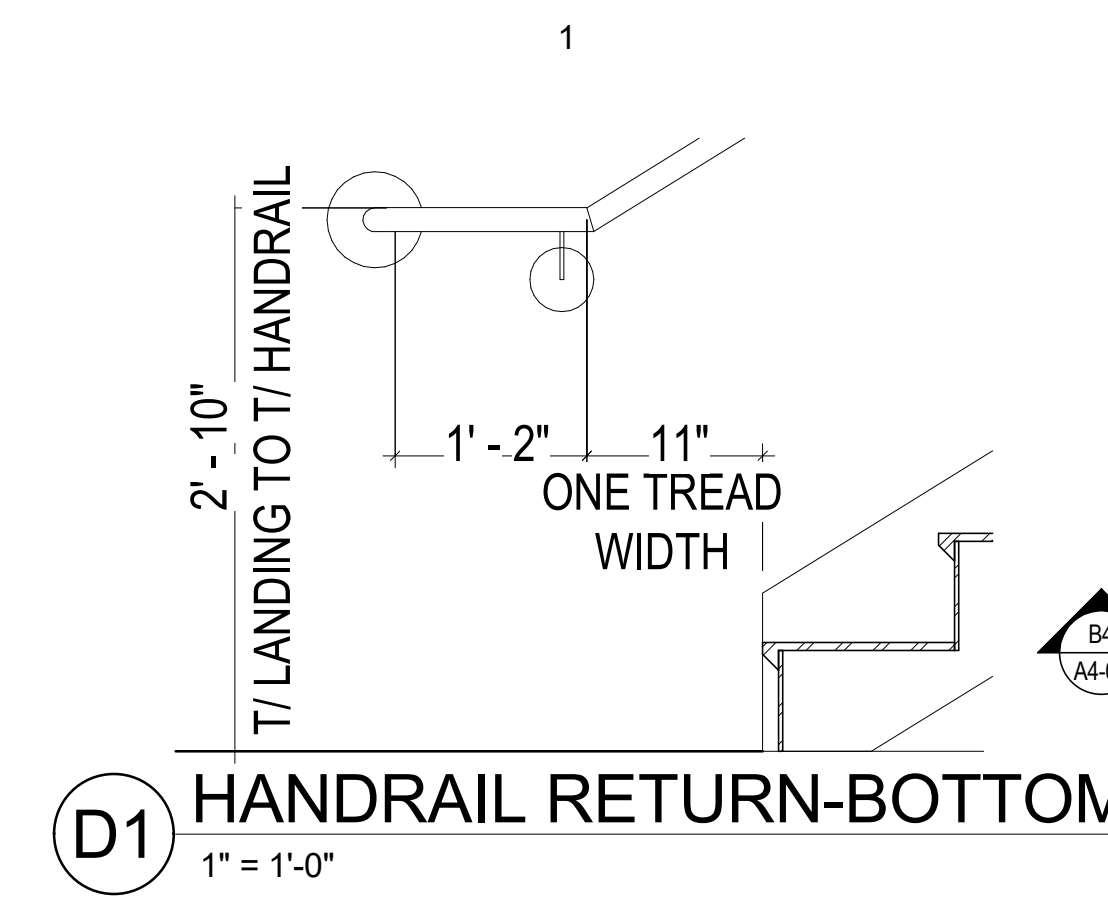


EXTERIOR WALL SECTIONS

A3-04

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- ### STAIR NOTES
1. THE MAXIMUM RISER HEIGHT SHALL BE 7" AND THE MINIMUM TREAD DEPTH SHALL BE 11", UNLESS NOTED OTHERWISE.
 2. STAIR CONTRACTOR SHALL FIELD MEASURE AT ALL STAIR LOCATIONS PRIOR TO FABRICATION, AND SHALL PROVIDE SHOP DRAWINGS FOR THE ARCHITECT'S REVIEW PRIOR TO FABRICATION. SHOP DRAWINGS SHALL BE REVIEWED AND SEALED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF ILLINOIS.
 3. MINIMUM STAIR HEADROOM TO BE 7'-0" TYP.
 4. PAINT ALL STEEL STAIRS - STRINGERS, RISERS, RAILS, STEEL LANDINGS, ETC. SEE PAINT SPECIFICATIONS.
 5. GRIND ALL WELDS SMOOTH AND SPOT PRIME AND PAINT TO MATCH ALL STAIR COMPONENTS.
 6. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION
 7. STANDPIPES SHALL NOT ENCRUSH ON THE REQUIRED EXIT WIDTH OF ALL STAIRS OR THE AREA OF REFUGE. ANY VALVES, ELBOWS, OR APPURTANANCES TO THE STANDPIPE SHALL CONFORM WITH IBC SECTION 1008.1.1 AND NOT PROJECT MORE THAN 4" INTO THE EXIT WIDTH IN A HEIGHT RANGE OF 34" TO 80" AFF.
 8. EACH AREA OF RESCUE ASSISTANCE SHALL BE IDENTIFIED BY A SIGN WHICH STATES "AREA OF RESCUE ASSISTANCE" AND DISPLAYS THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGN SHALL BE ILLUMINATED WHEN EXIT SIGN ILLUMINATION IS REQUIRED AND MOUNTED AT 60" A.F.F. MAX.

KEYNOTES

- ### LEGEND
- 30' x 48' AREA OF REFUGE
 - STANDPIPE

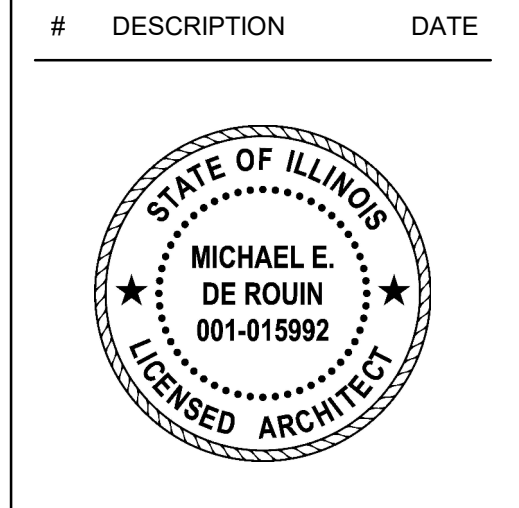
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STAIR PLANS AND SECTIONS

A4-01

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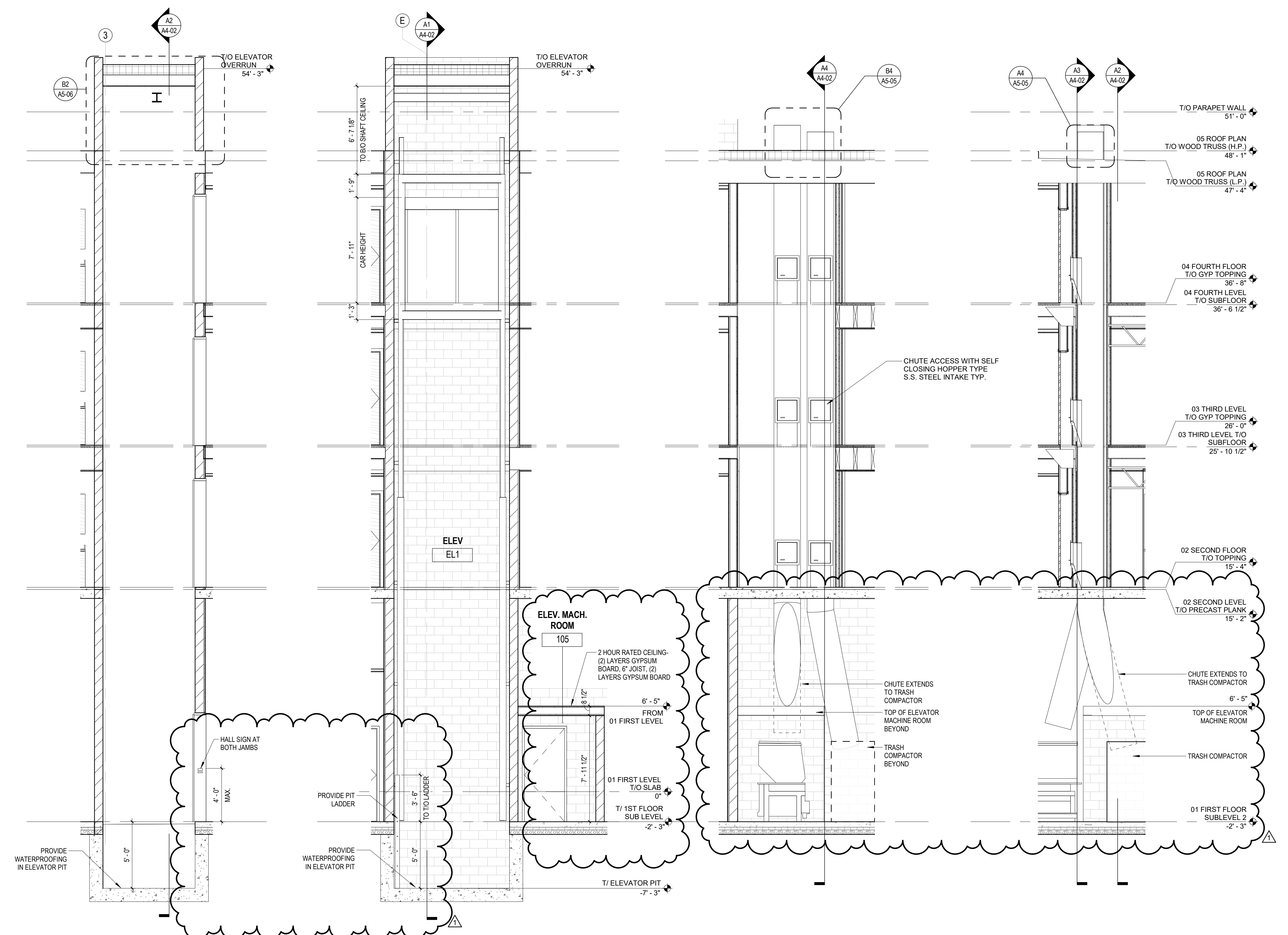
1

2

3

4

5



A1 SECTION - ELEVATOR NS
1/4" = 1'-0"

A2 SECTION - ELEVATOR EW
1/4" = 1'-0"

A3 SECTION - TRASH CHUTE EW
1/4" = 1'-0"

A4 SECTION - TRASH CHUTE NS
1/4" = 1'-0"

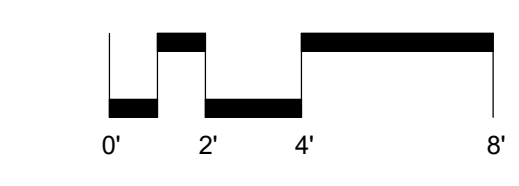
ELEVATOR NOTES

1. REFER TO SPECIFICATION BOOK, DIVISION 14, FOR ELEVATOR SPECS.

TRASH CHUTE NOTES

1. REFER TO SPECIFICATION BOOK, DIVISION 14, FOR TRASH CHUTE SPECS.
2. PROVIDE OPENINGS AT EACH FLOOR FOR TRASH CHUTES. SEE STRUCTURAL DWGS. FOR OPENING SUPPORT DETAILS.
3. REFER TO FLOOR PLANS FOR ALL WALL TYPES.

KEYNOTES



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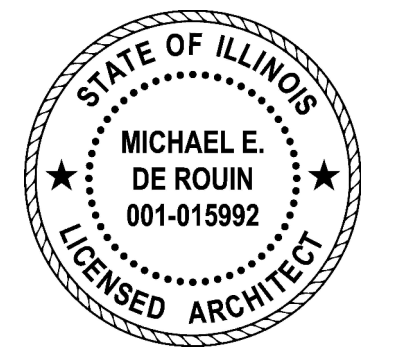
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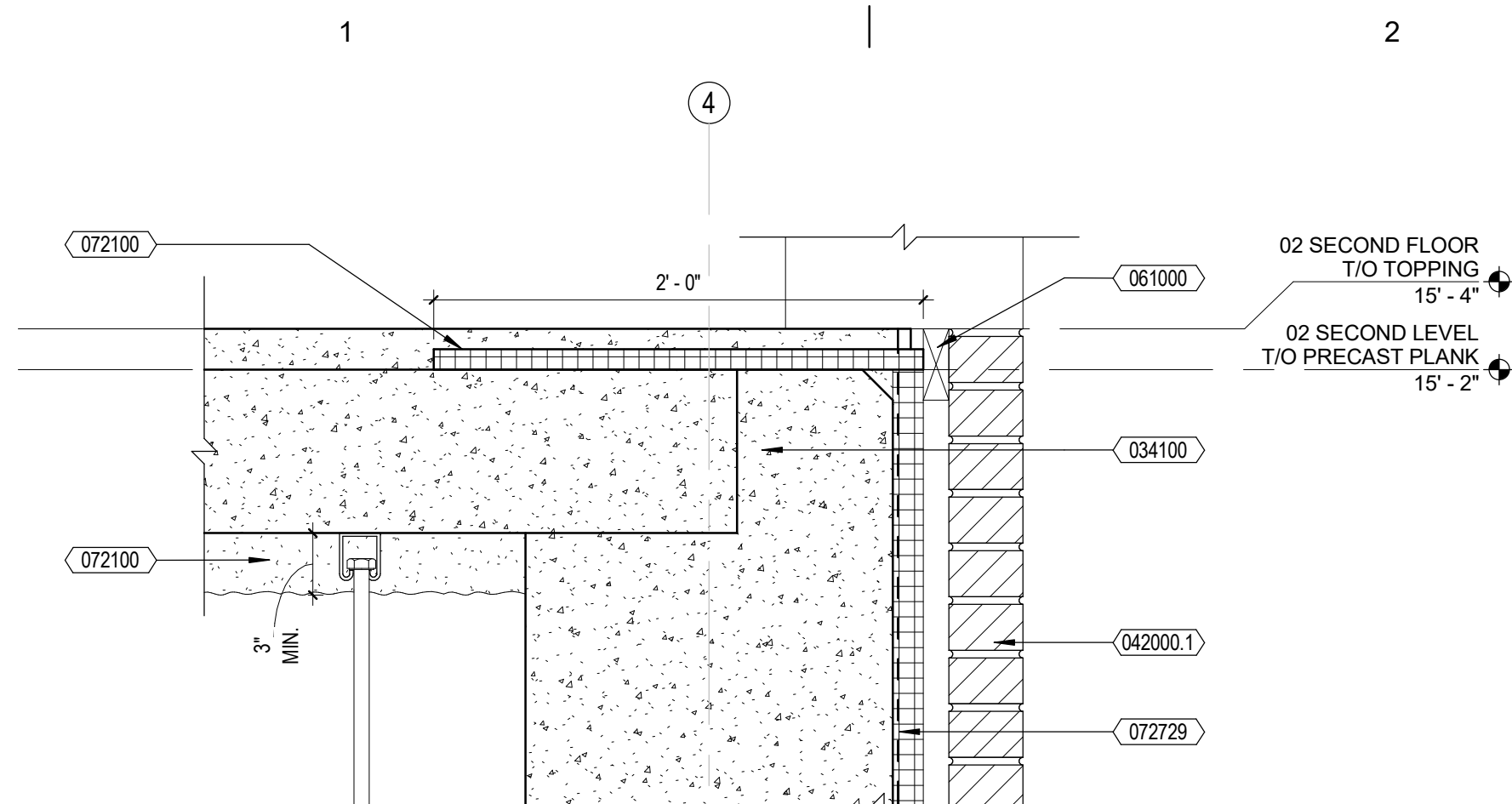
ELEVATOR AND TRASH CHUTE SECTIONS

A4-02

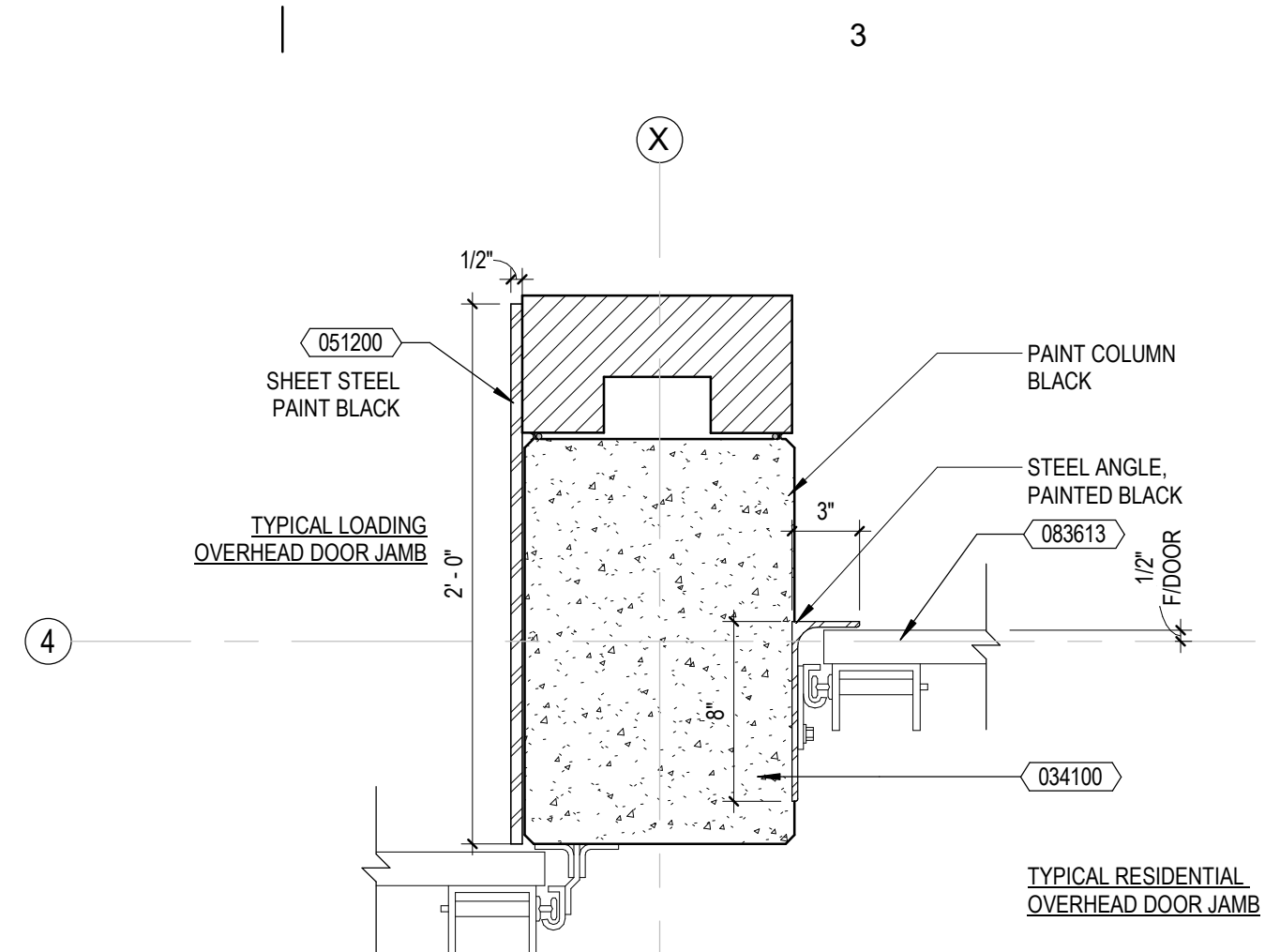
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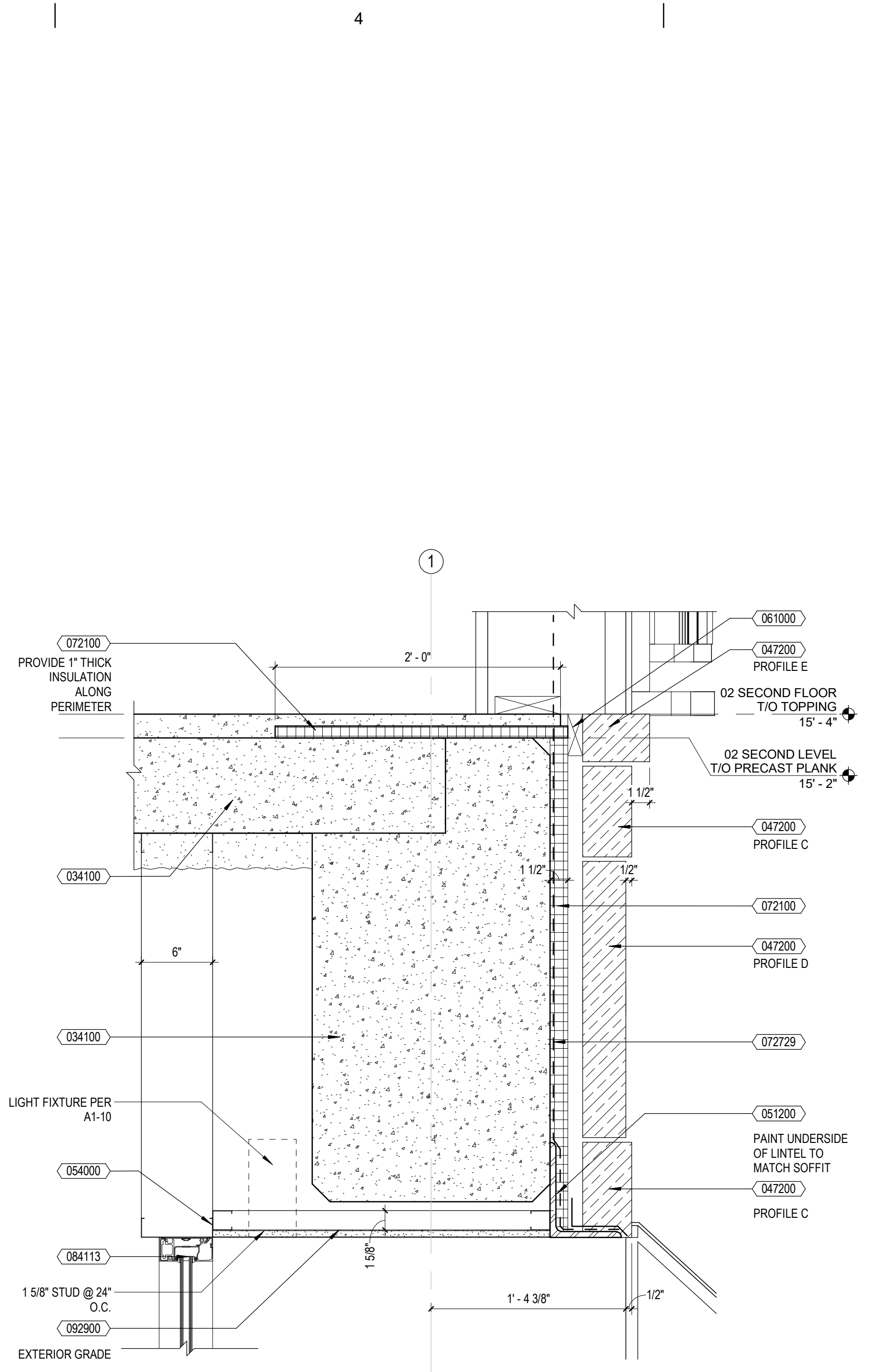
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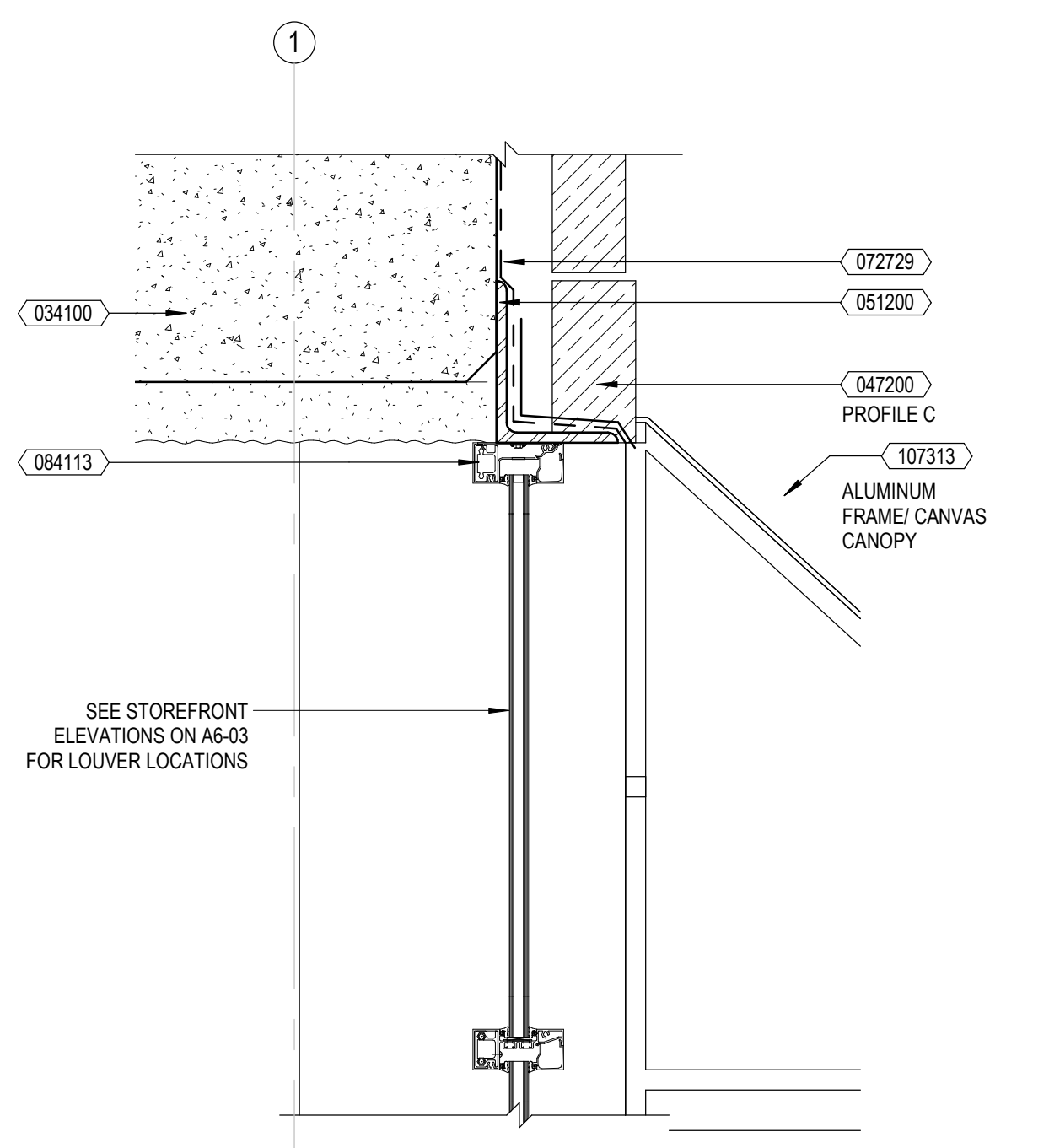
C1 DETAIL- GARAGE DOOR HEAD
1 1/2" = 1'-0"



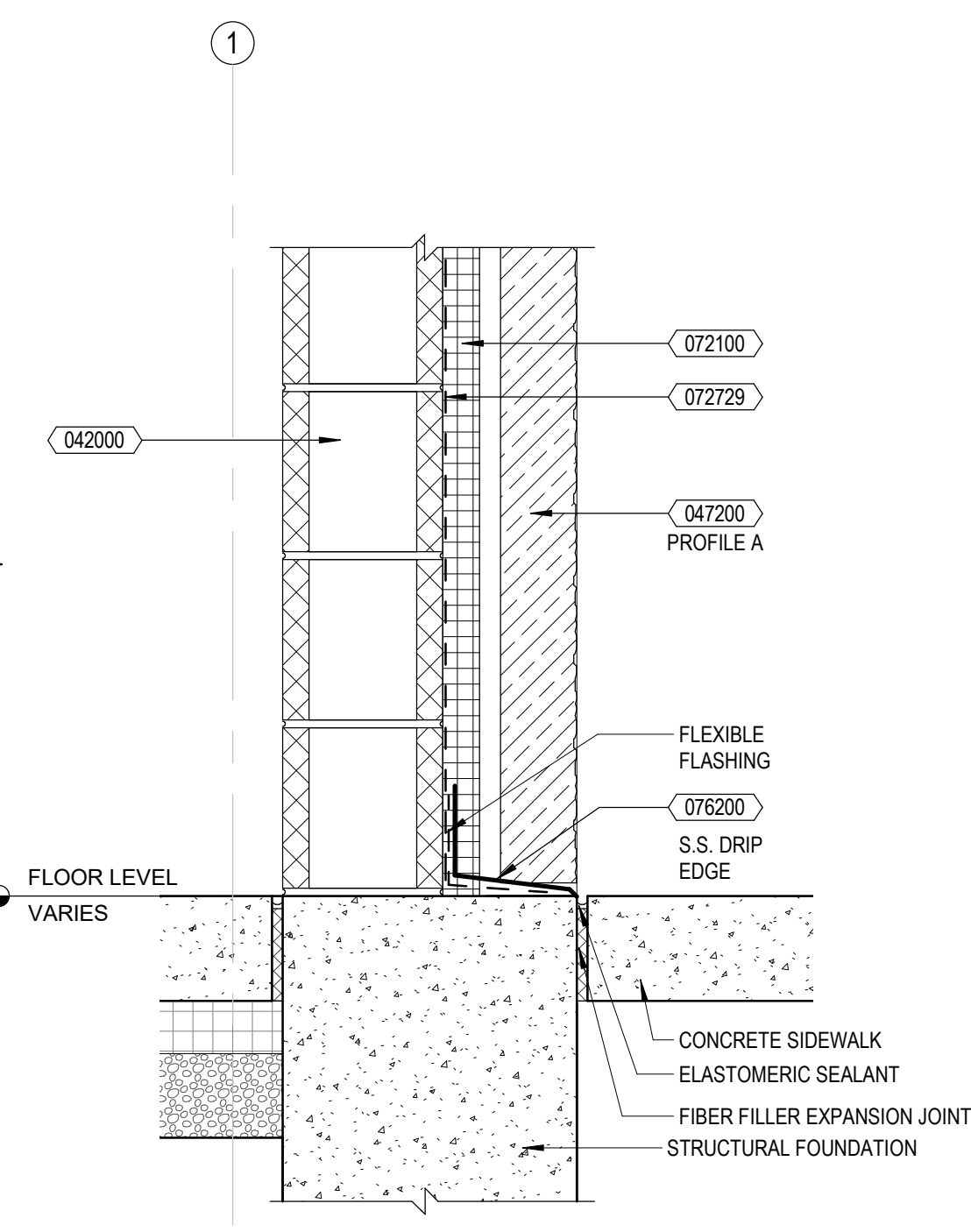
D2 DETAIL- GARAGE DOOR JAMB
1 1/2" = 1'-0"



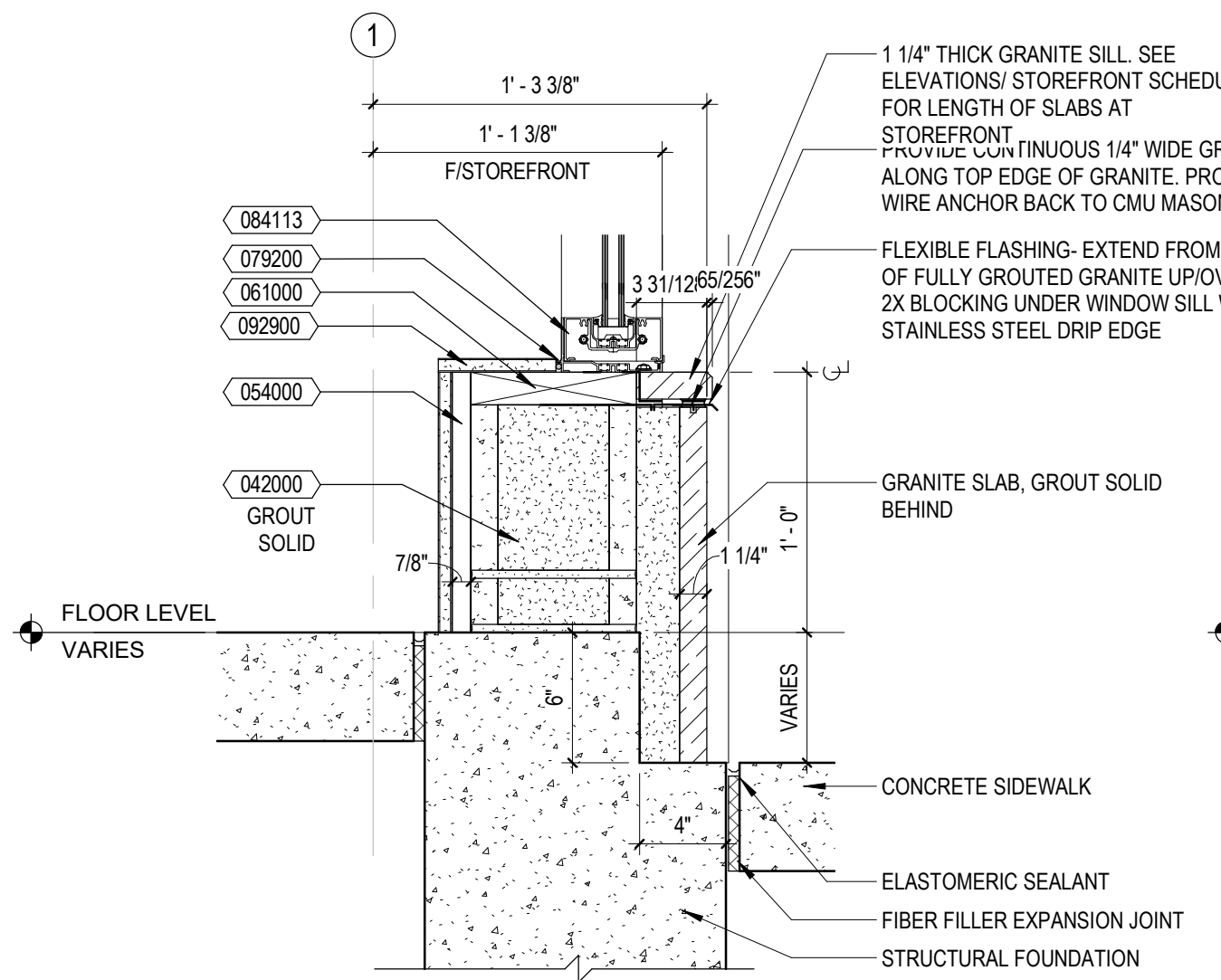
B3 DETAIL- TYPICAL STOREFRONT ENTRY SOFFIT
1 1/2" = 1'-0"



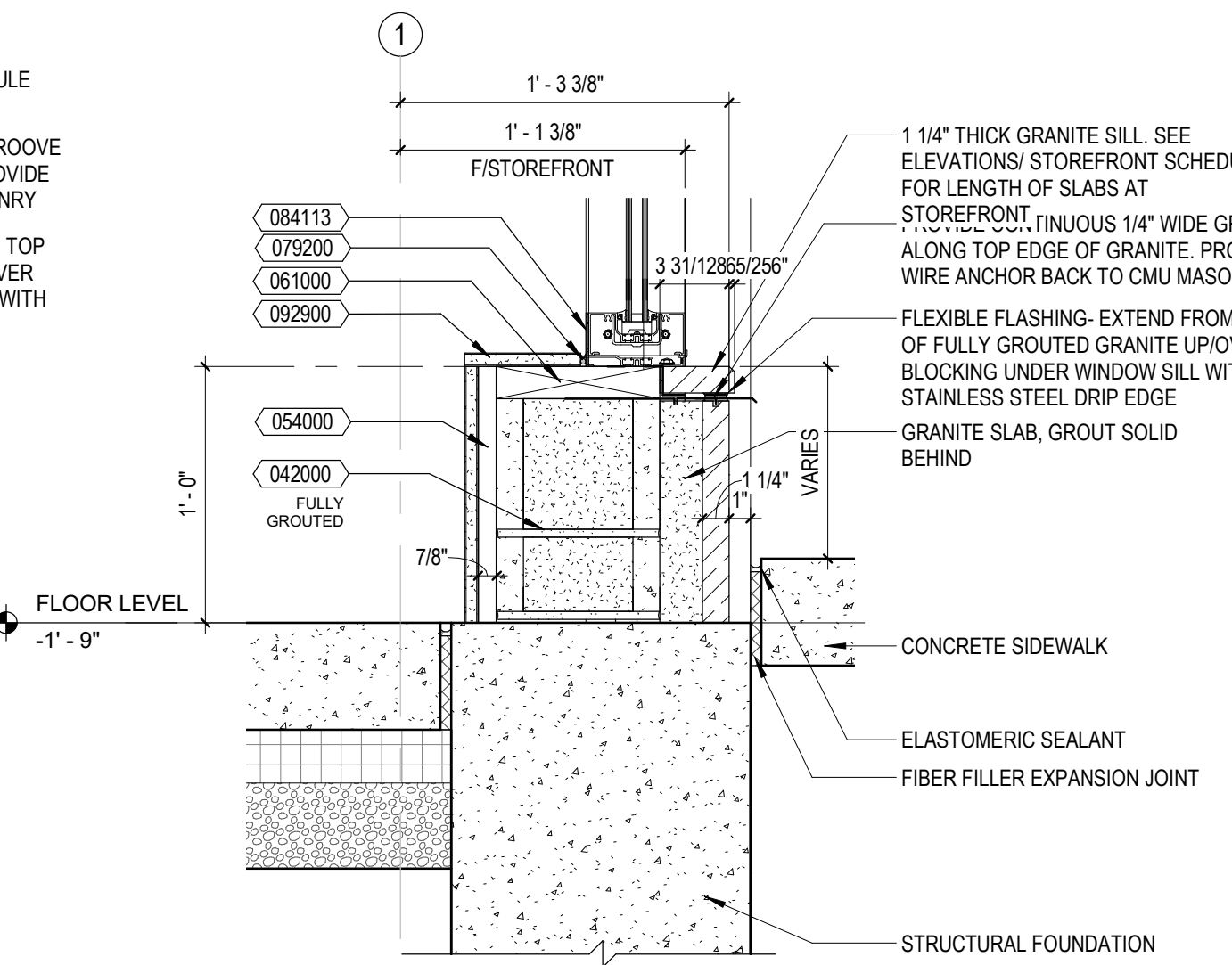
B2 DETAIL- TYPICAL STOREFRONT HEAD
1 1/2" = 1'-0"



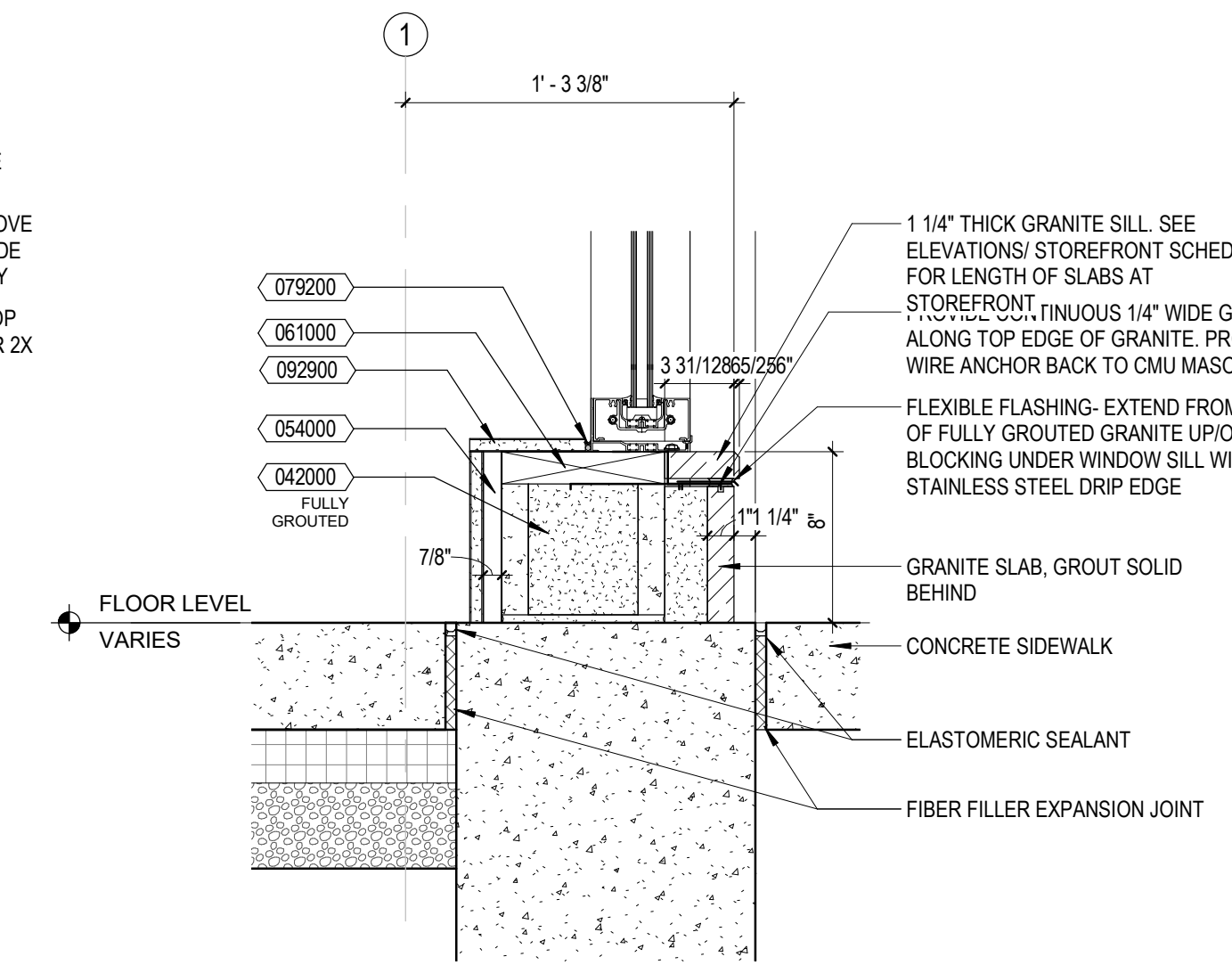
A1 DETAIL AT STONE BASE
1 1/2" = 1'-0"



A2 DETAIL- STOREFRONT GRANITE BASE @ STEPPED FOUNDATION
1 1/2" = 1'-0"



A3 DETAIL- STOREFRONT GRANITE BASE 1
1 1/2" = 1'-0"



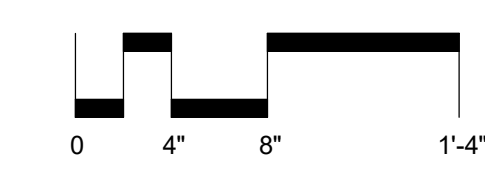
A4 DETAIL- STOREFRONT GRANITE BASE 2
1 1/2" = 1'-0"

NOTES

1. ALL PRODUCTS USED FOR FIRE STOPPING OR FIRE SEALING SHALL HAVE DOCUMENTATION ON STIE AND AVAILABLE FOR THE INSPECTOR'S USE.

KEYNOTES

034100	PRECAST STRUCTURAL CONCRETE
042000	UNIT MASONRY
042000.1	FACE BRICK
047200	CAST STONE MASONRY
051200	STRUCTURAL STEEL FRAMING
054000	COLD-FORMED METAL FRAMING
061000	ROUGH CARPENTRY
072100	THERMAL INSULATION
072729	AIR BARRIER COATINGS
076200	SHEET METAL FLASHING AND TRIM
079200	JOINT SEALANTS
083613	SECTIONAL DOORS
084113	ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS
092900	GYPSUM BOARD
107313	AWNINGS



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t 312-563-9100
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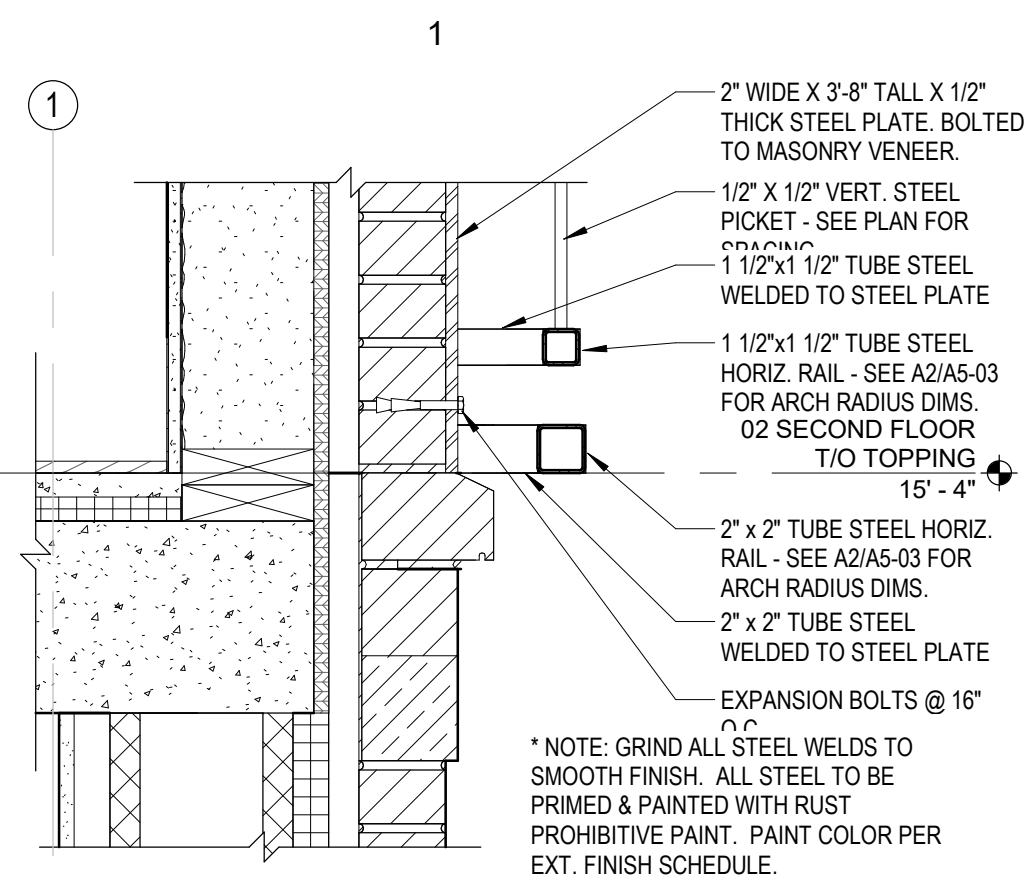


EXTERIOR DETAILS

A5-01

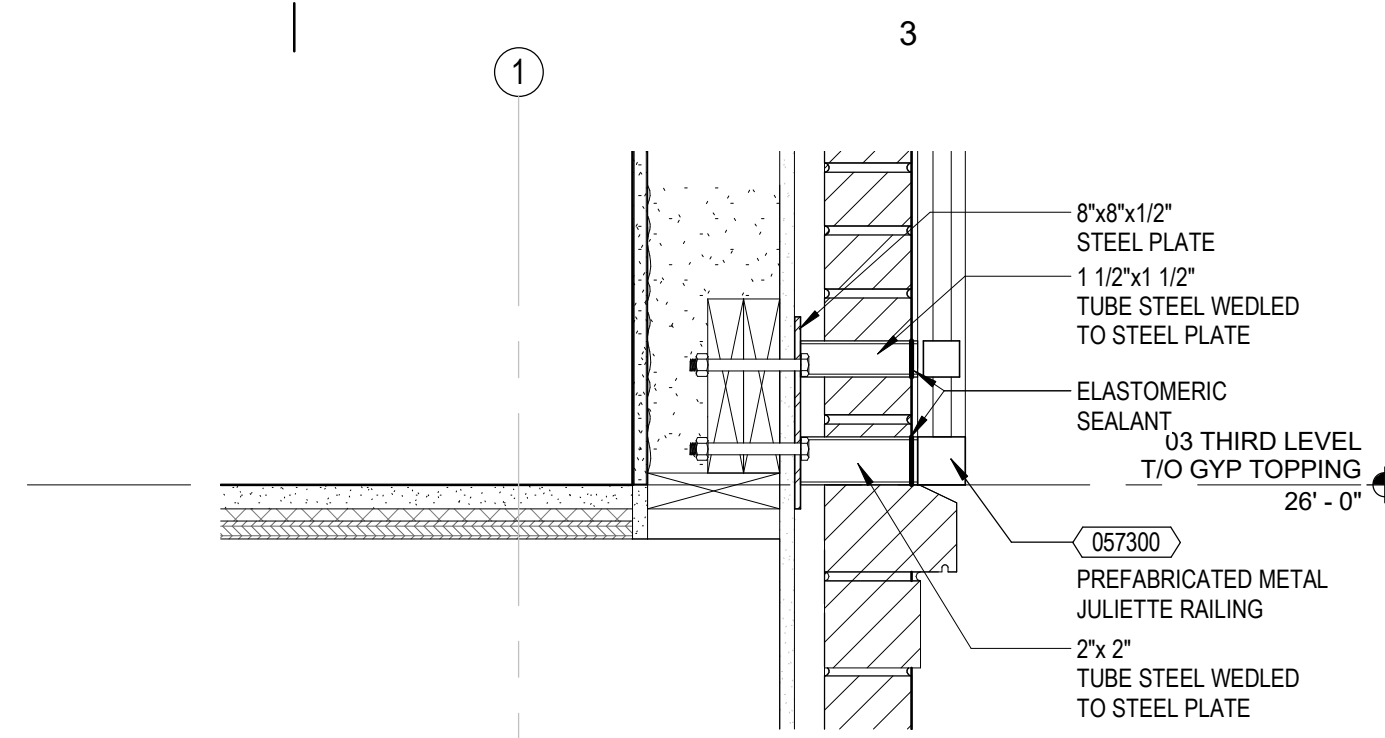
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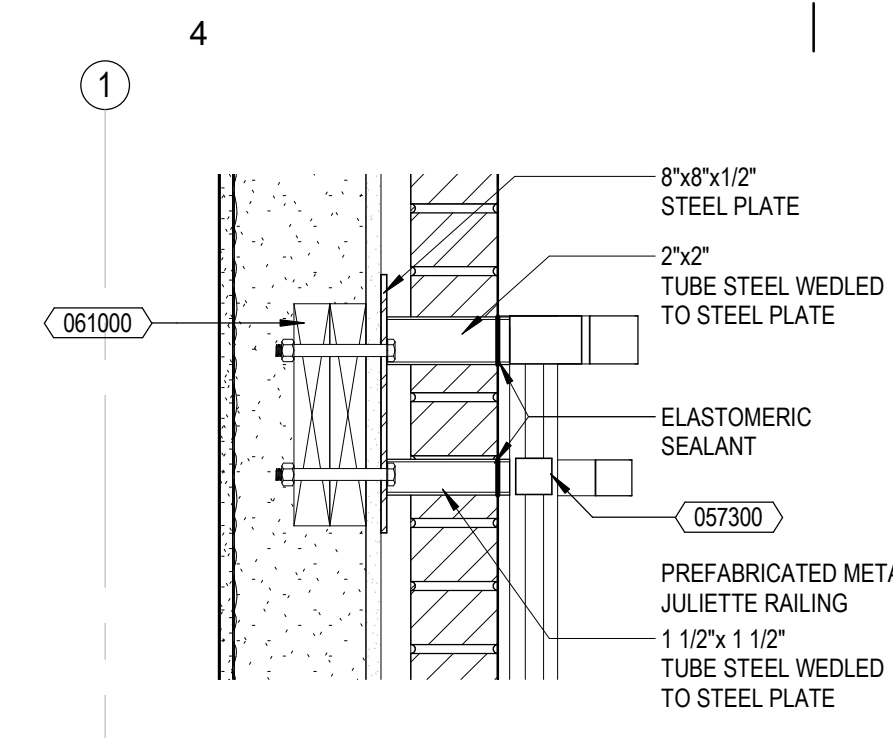
DETAIL- JULIETTE BALCONY CONNECTION AT CONCRETE PODIUM

D1
1 1/2" = 1'-0"



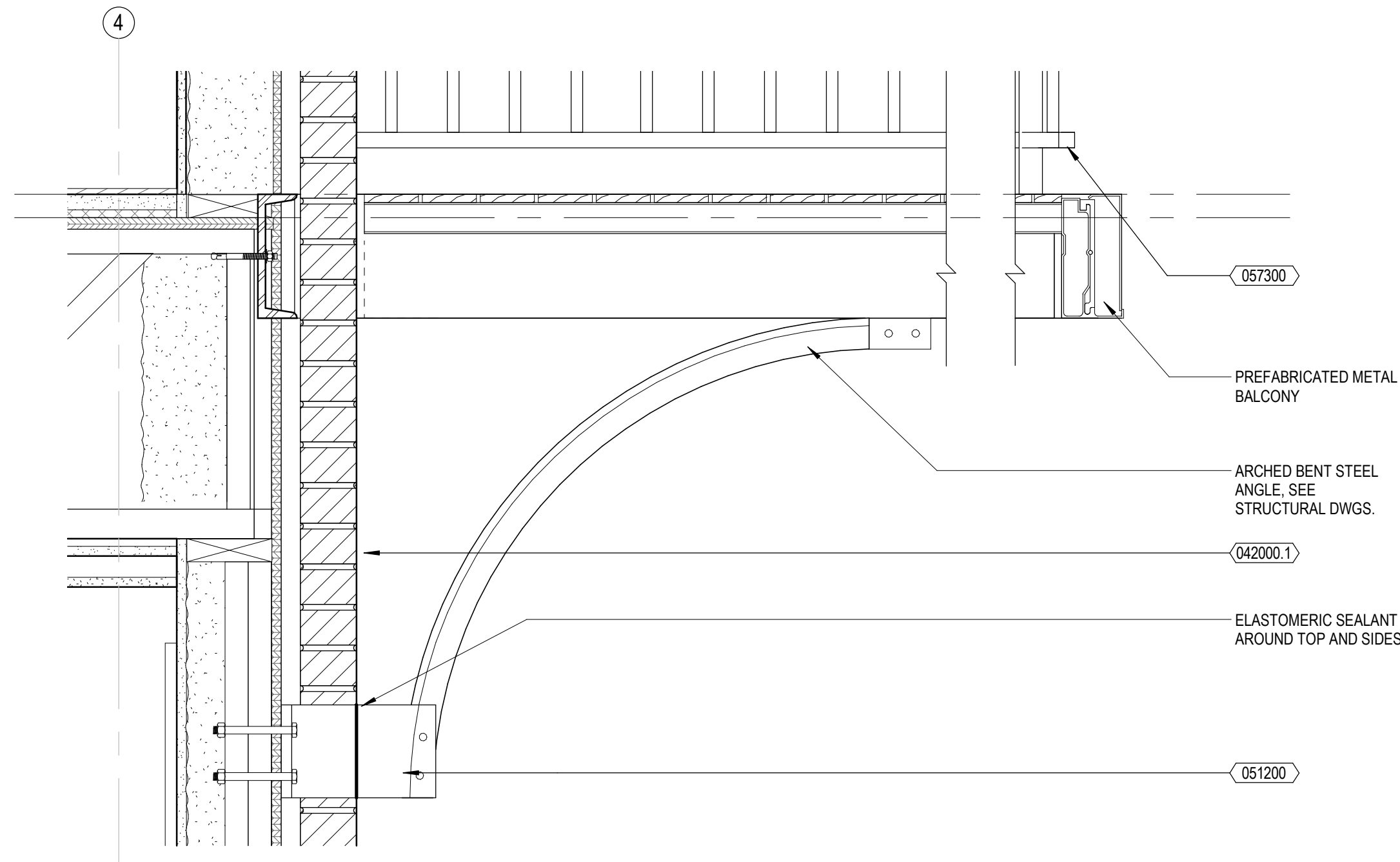
DETAIL- JULIETTE BALCONY CONNECTION AT WOD FRAMING

D2
1 1/2" = 1'-0"



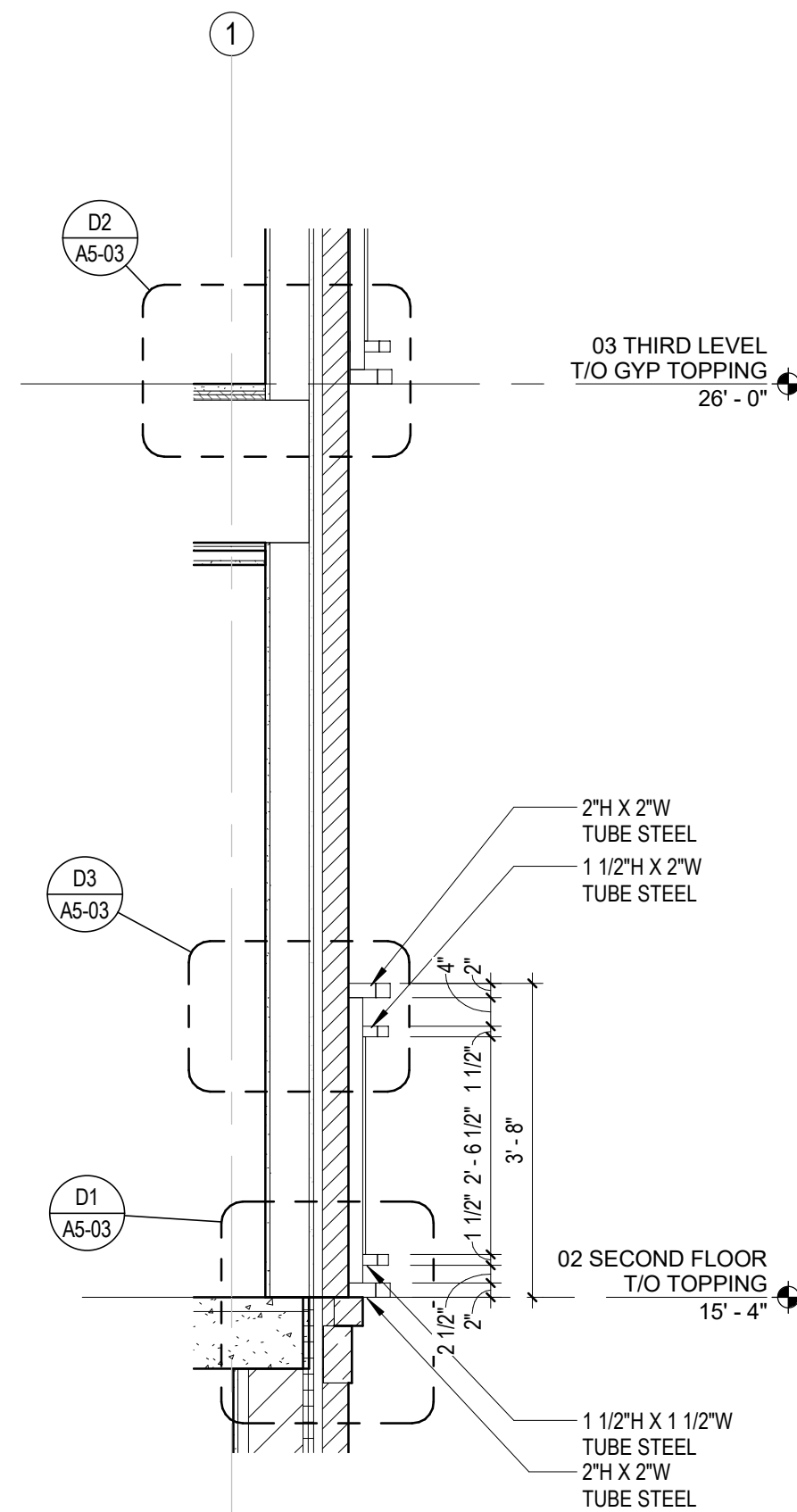
DETAIL- JULIETTE BALCONY CONNECTION AT WOD FRAMING 2

D3
1 1/2" = 1'-0"



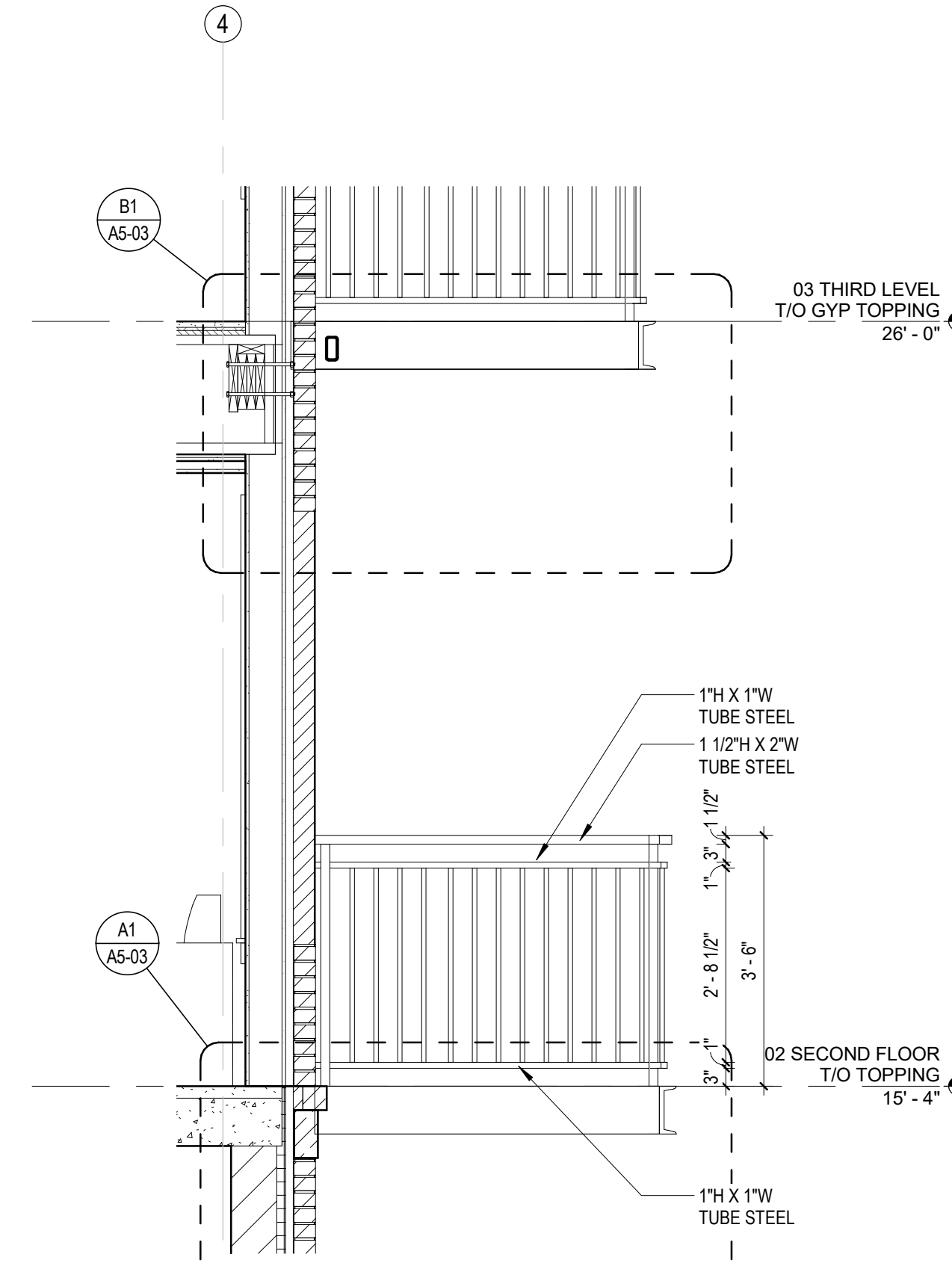
DETAIL- HANGING BALCONY CONNECTION AT WOOD FRAMING

B1
1 1/2" = 1'-0"



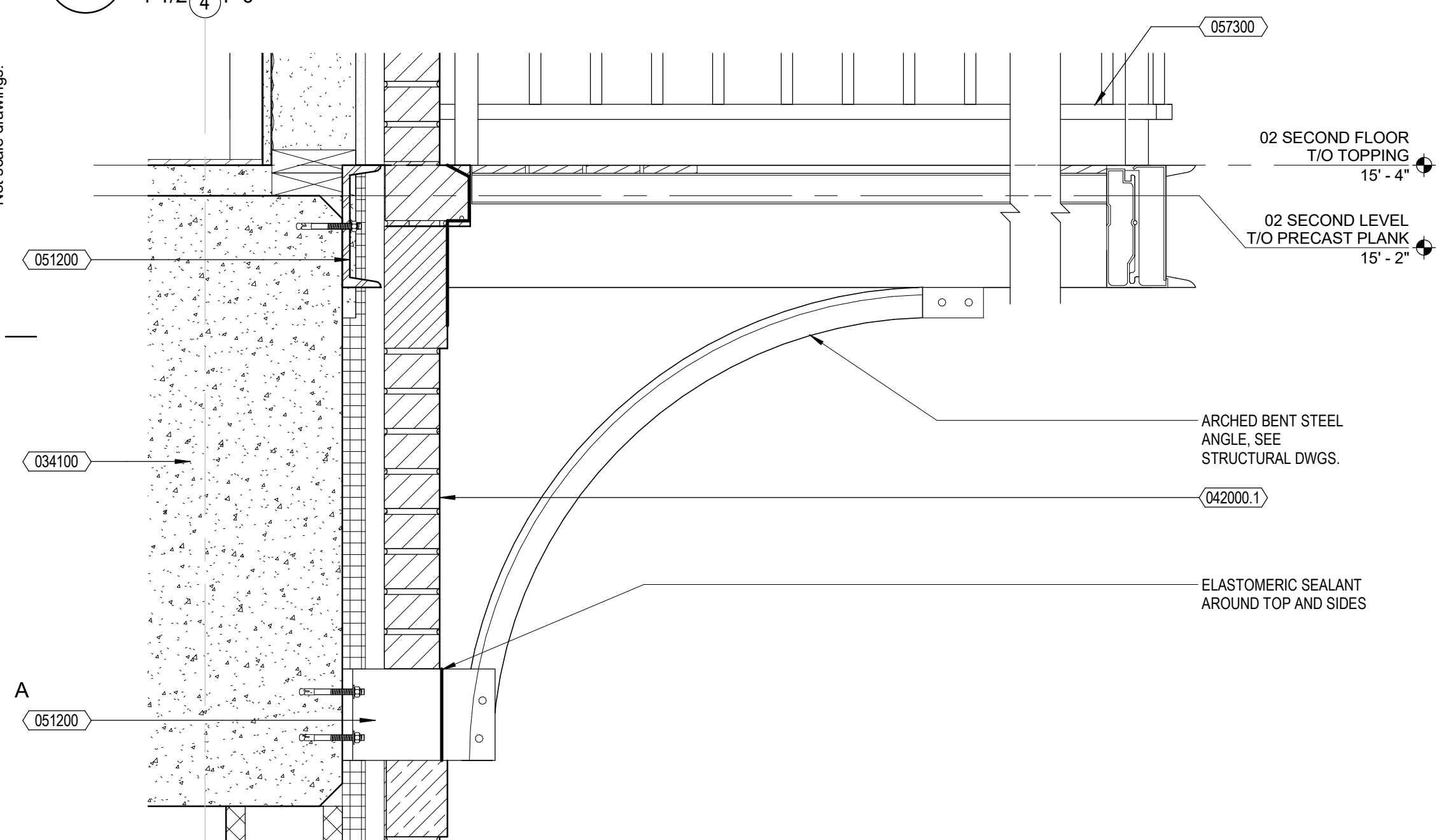
SECTION - JULIETTE BALCONY

1/2" = 1'-0"



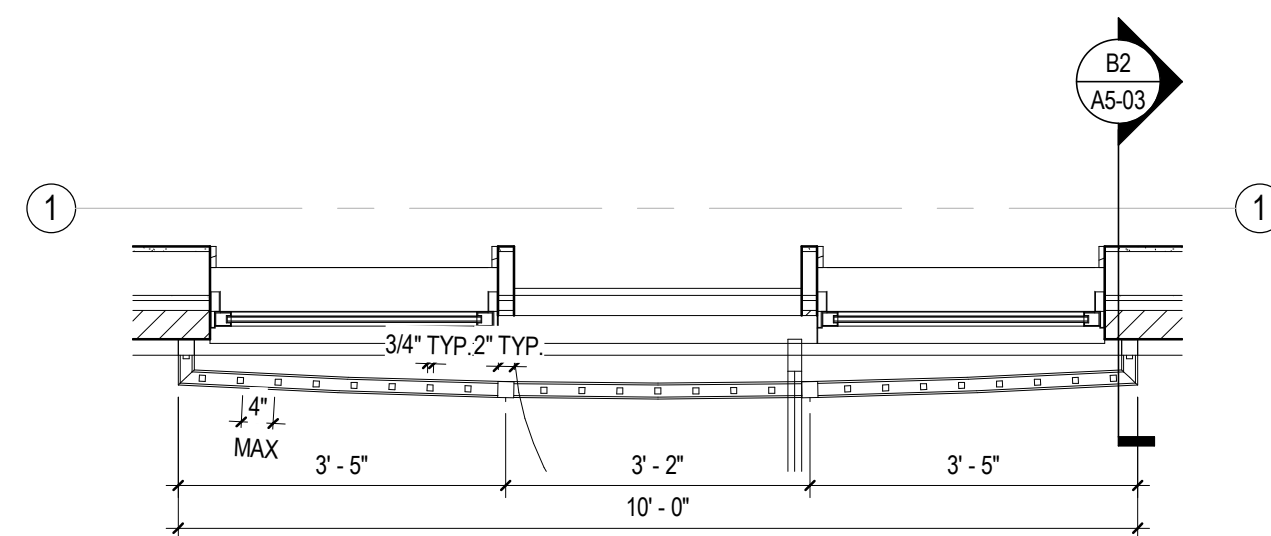
SECTION- HANGING BALCONY

1/2" = 1'-0"



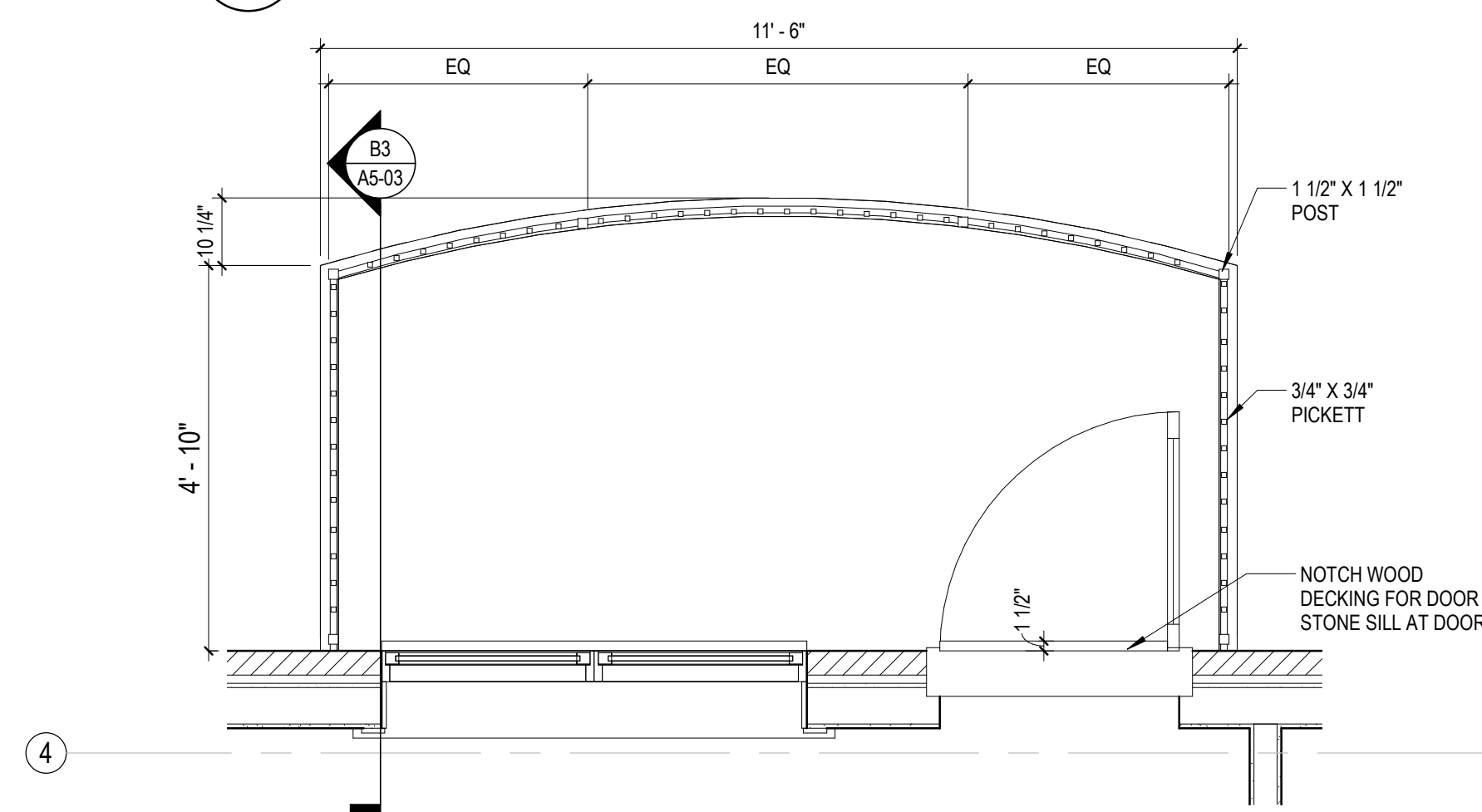
DETAIL- HANGING BALCONY CONNECTION AT CONCRETE PODIUM

A1
1 1/2" = 1'-0"



TYPICAL JULIETTE BALCONY

1/2" = 1'-0"



TYPICAL HANGING BALCONY

1/2" = 1'-0"

NOTES

1. ALL PRODUCTS USED FOR FIRE STOPPING OR FIRE SEALING SHALL HAVE DOCUMENTATION ON SITE AND AVAILABLE FOR THE INSPECTOR'S USE.

KEYNOTES

034100	PRECAST STRUCTURAL CONCRETE
042000.1	FACE BRICK
051200	STRUCTURAL STEEL FRAMING
057300	METAL BALCONY AND RAILINGS
061000	ROUGH CARPENTRY

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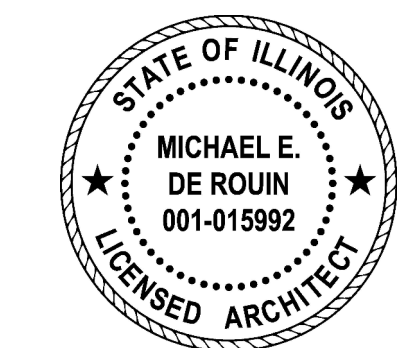
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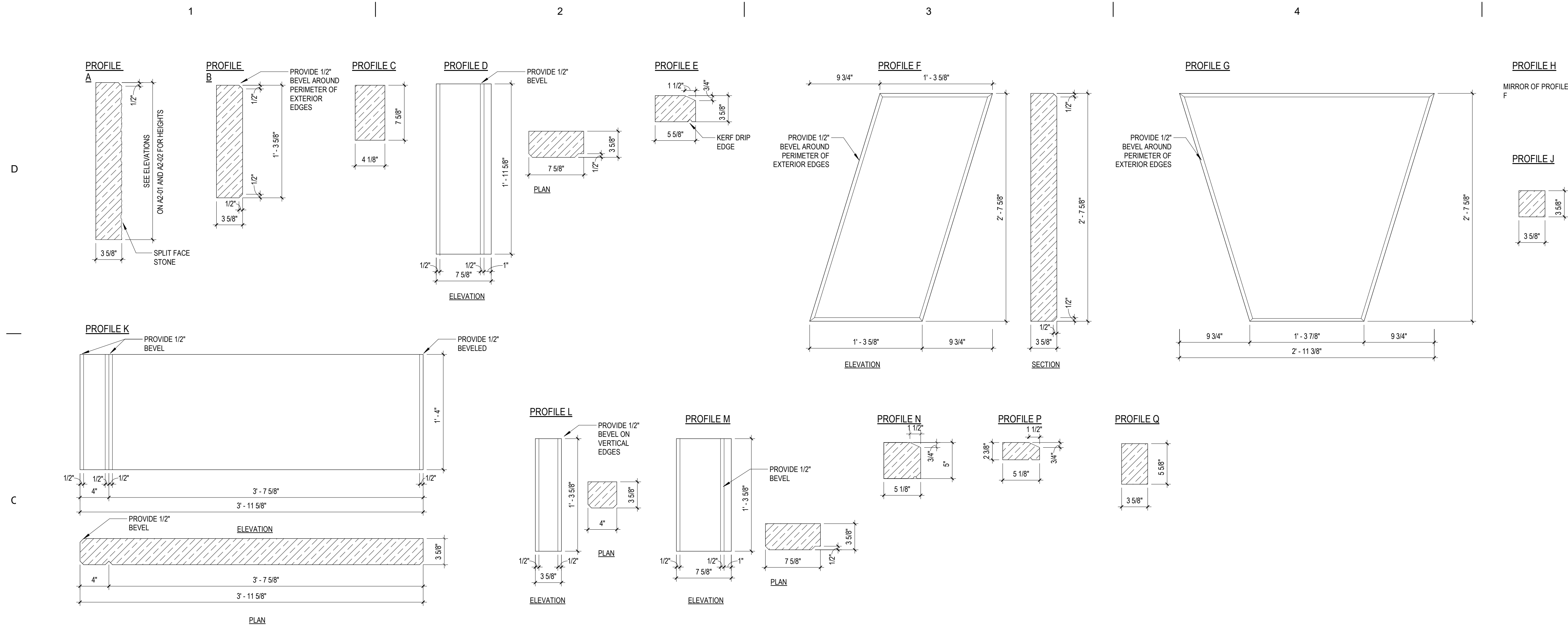


BALCONY DETAILS

A5-03

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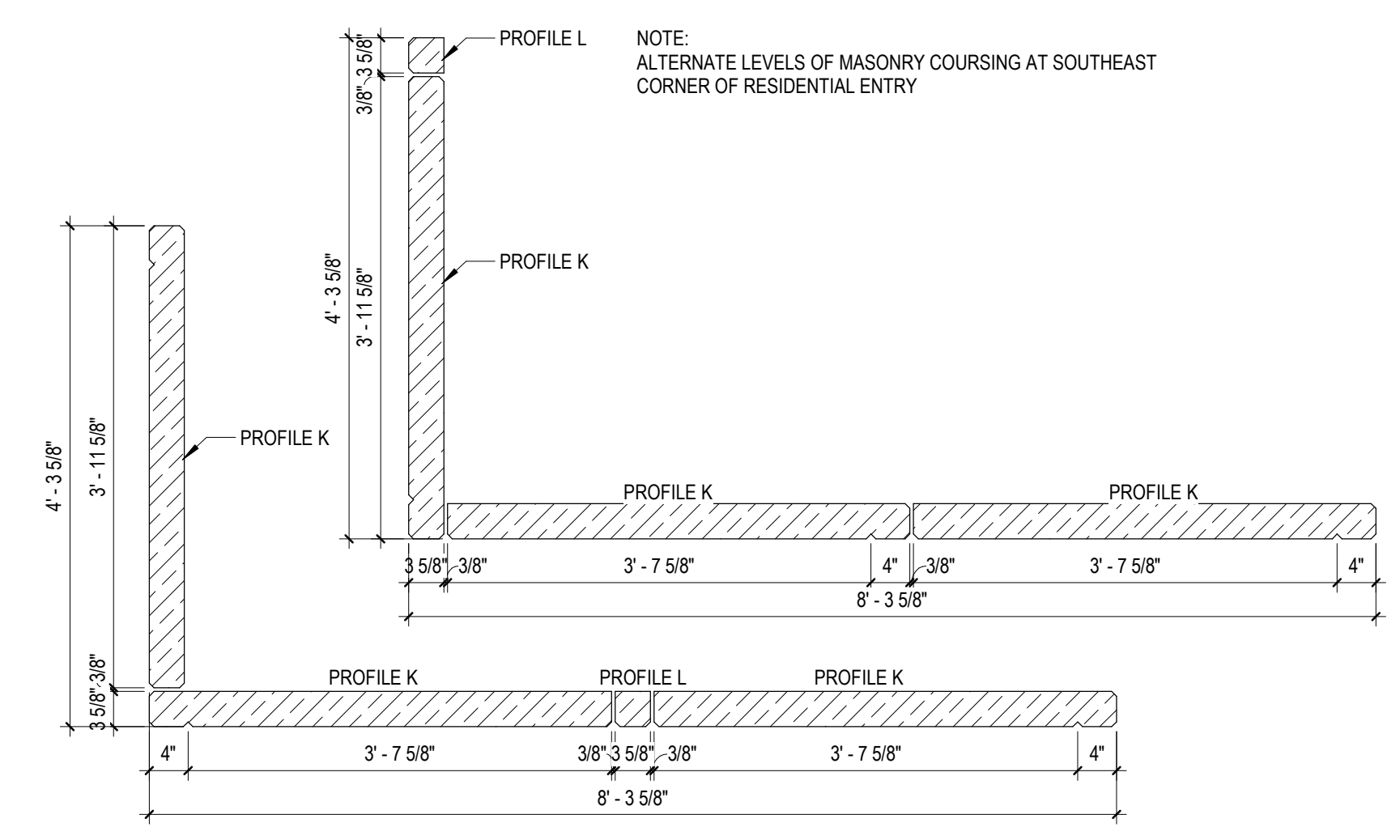
Ravinia

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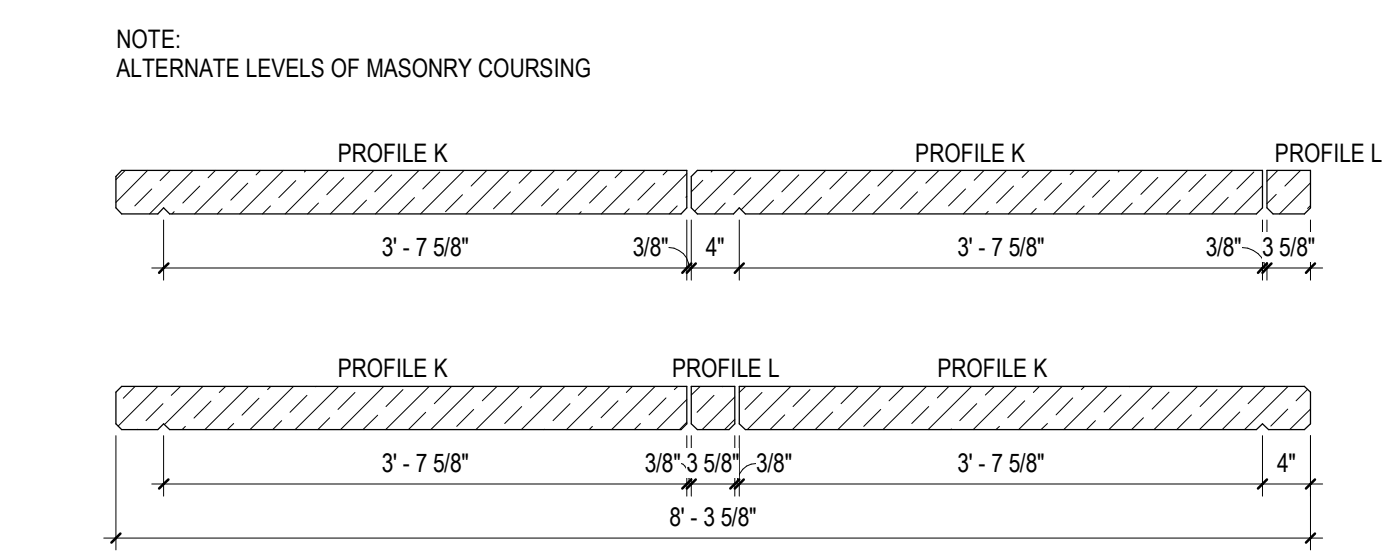
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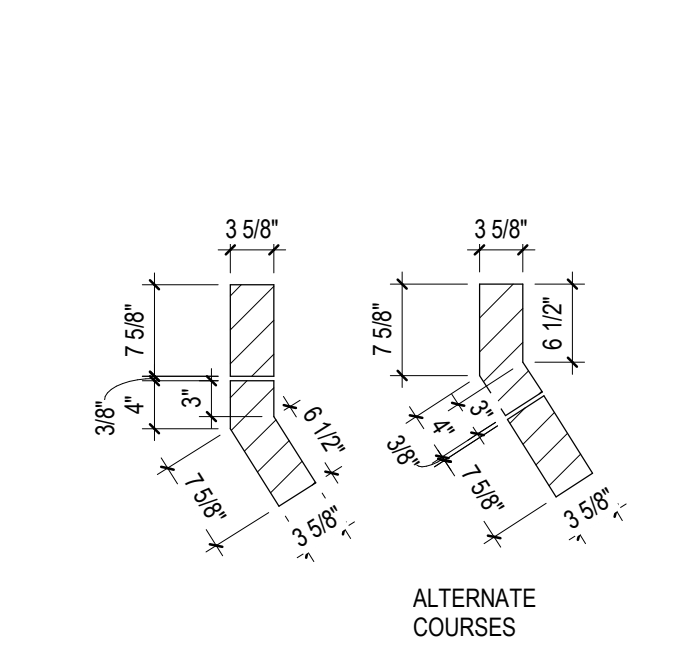
C1 MASONRY PROFILES
1 1/2" = 1'-0"



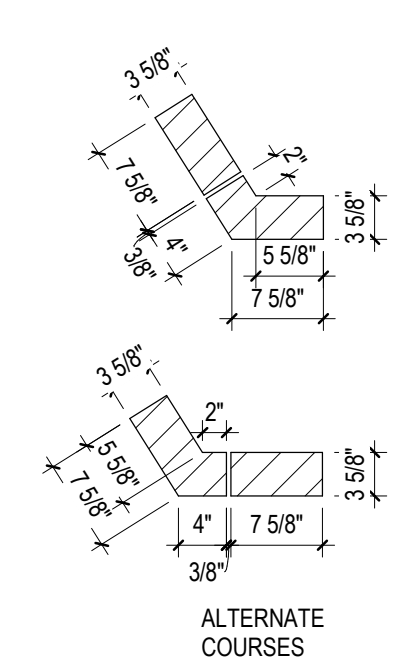
B1 MASONRY PLAN DETAIL RESIDENTIAL EAST
3/4" = 1'-0"



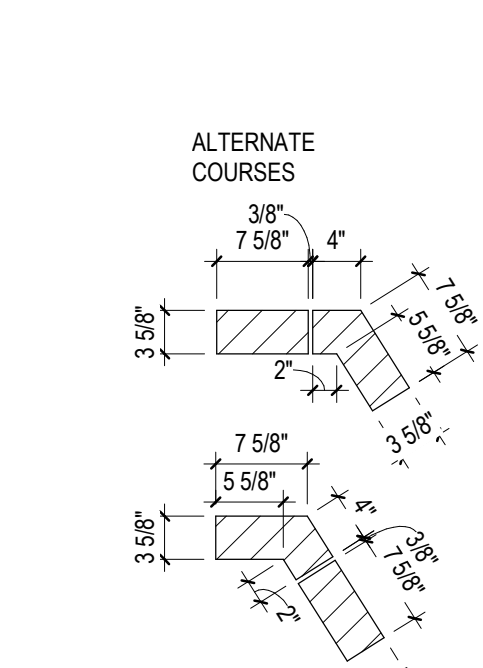
A1 MASONRY PLAN DETAIL RESIDENTIAL WEST
3/4" = 1'-0"



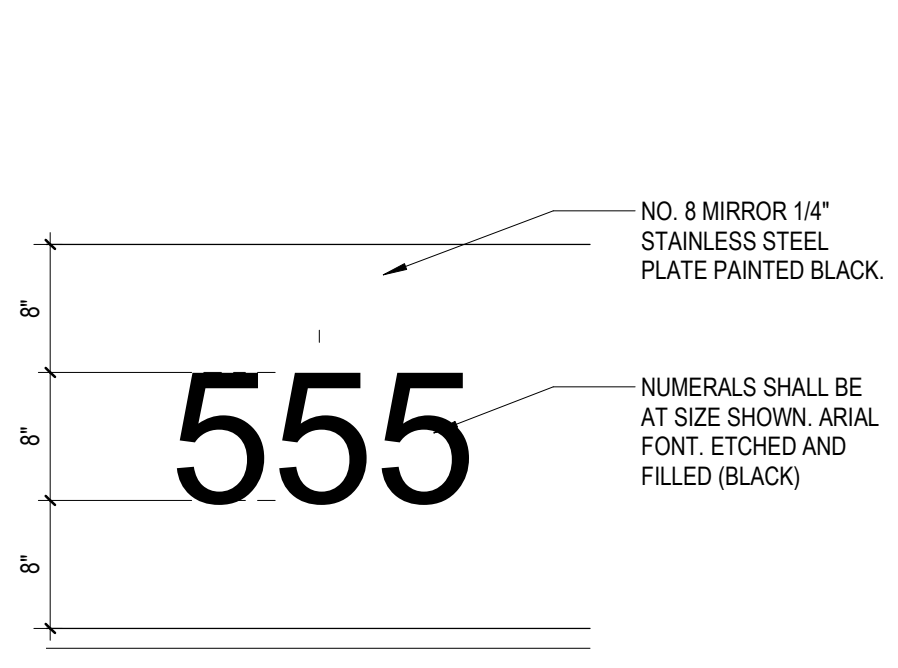
B2 MASONRY PLAN DETAIL 1
3/4" = 1'-0"



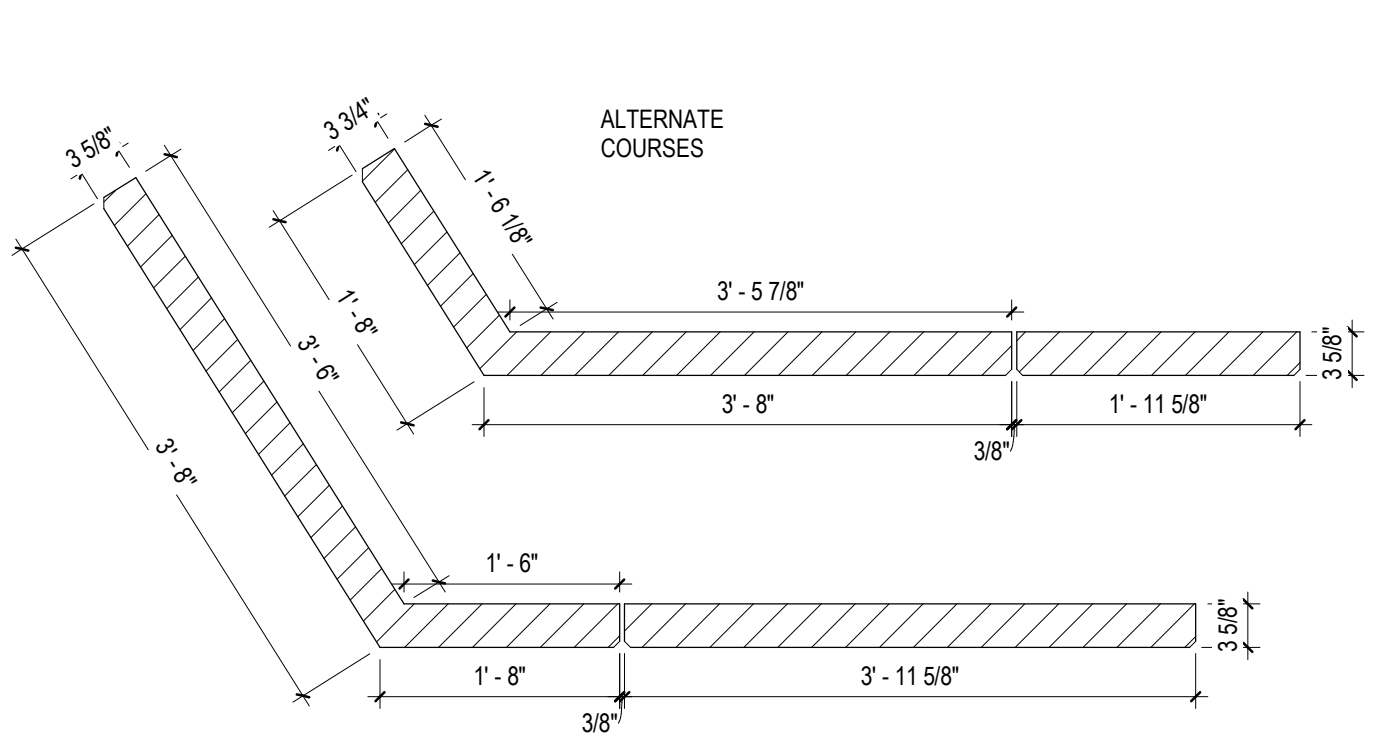
B3 MASONRY PLAN DETAIL 2
3/4" = 1'-0"



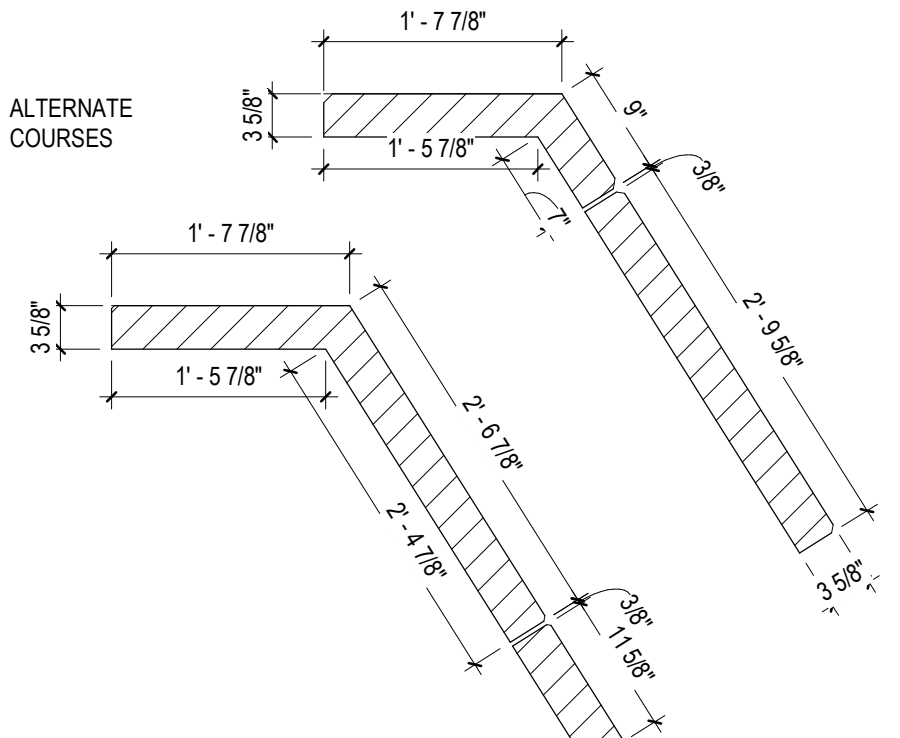
B4 MASONRY PLAN DETAIL 3
3/4" = 1'-0"



B5 RESIDENTIAL SIGNAGE
1" = 1'-0"



A2 MASONRY PLAN DETAIL 4
3/4" = 1'-0"



A3 MASONRY PLAN DETAIL 5
3/4" = 1'-0"

1	Permit Corrections 01	02/01/18
	Issue for Permit / Bid	03/24/17

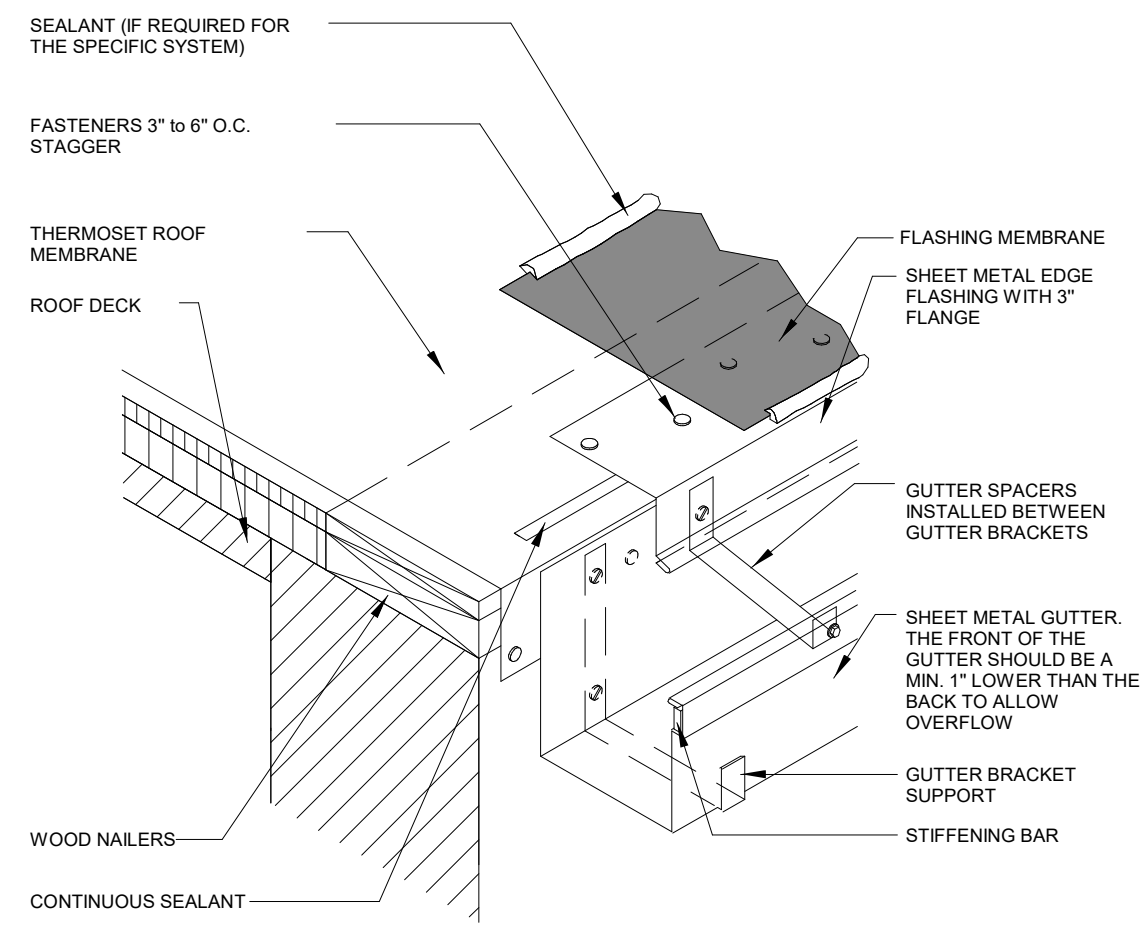
#	DESCRIPTION	DATE
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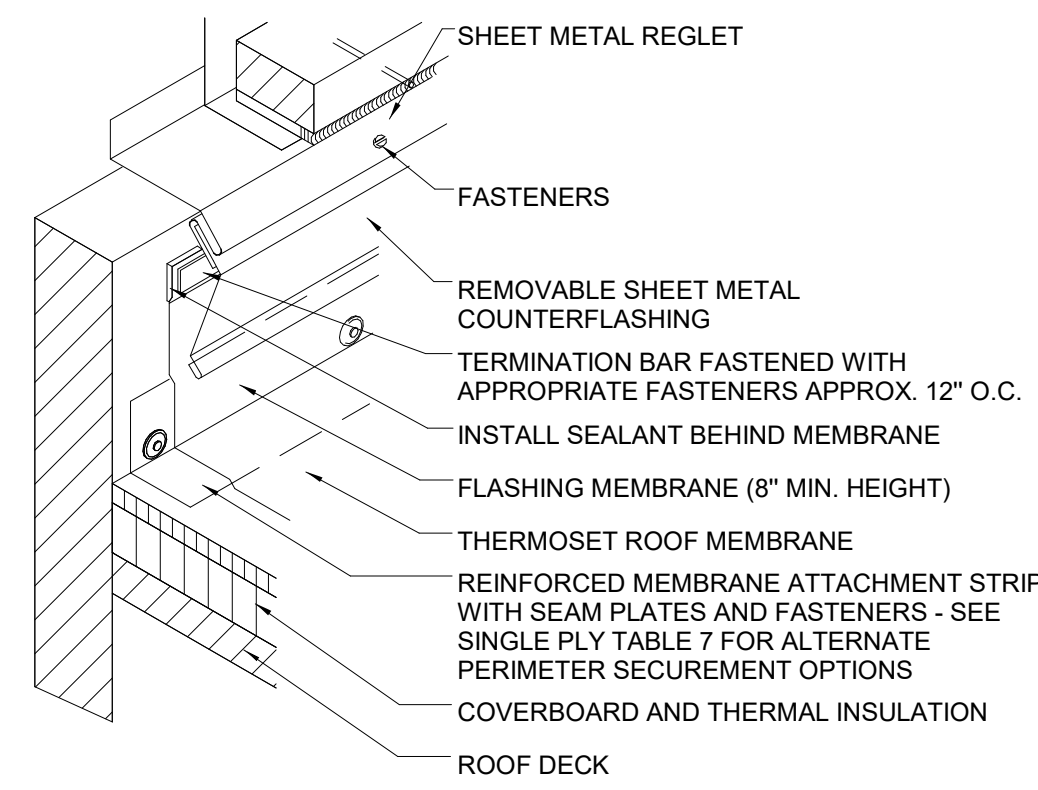
MASONRY DETAILS

A5-04

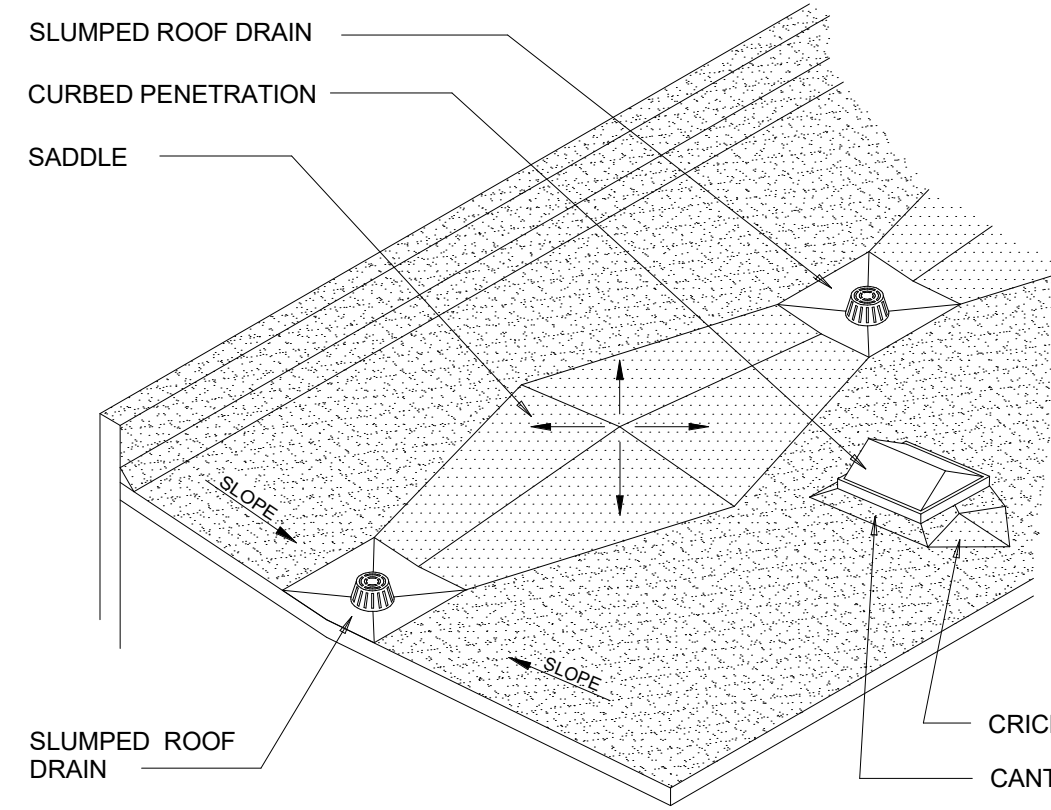
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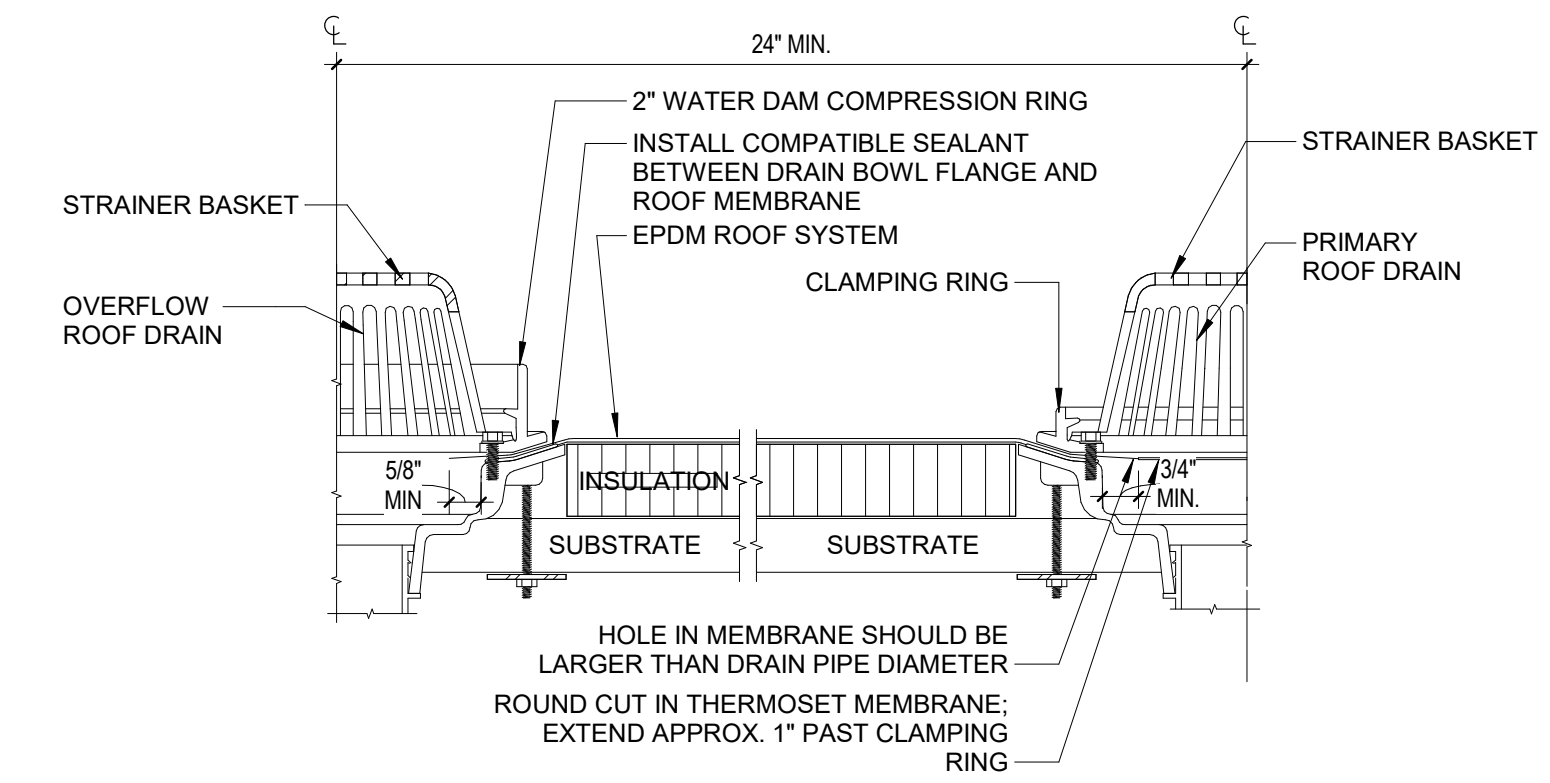
D1 PENTHOUSE GUTTER DETAIL
1 : 10



D2 ROOF TERMINATION - MASONRY
6" = 1'-0"

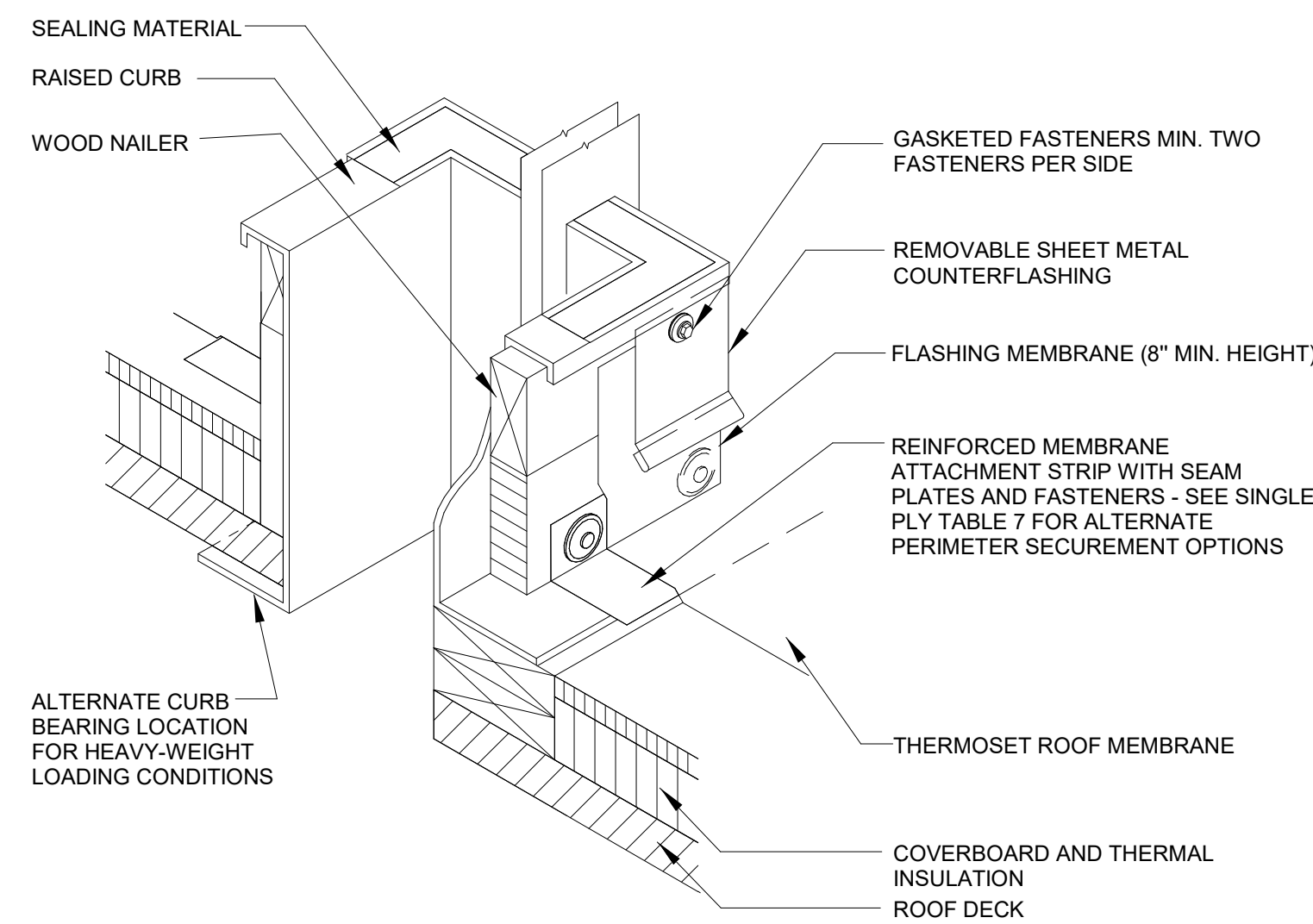


D3 CRICKET AND SADDLE GUIDE LINES
1 1/2" = 1'-0"

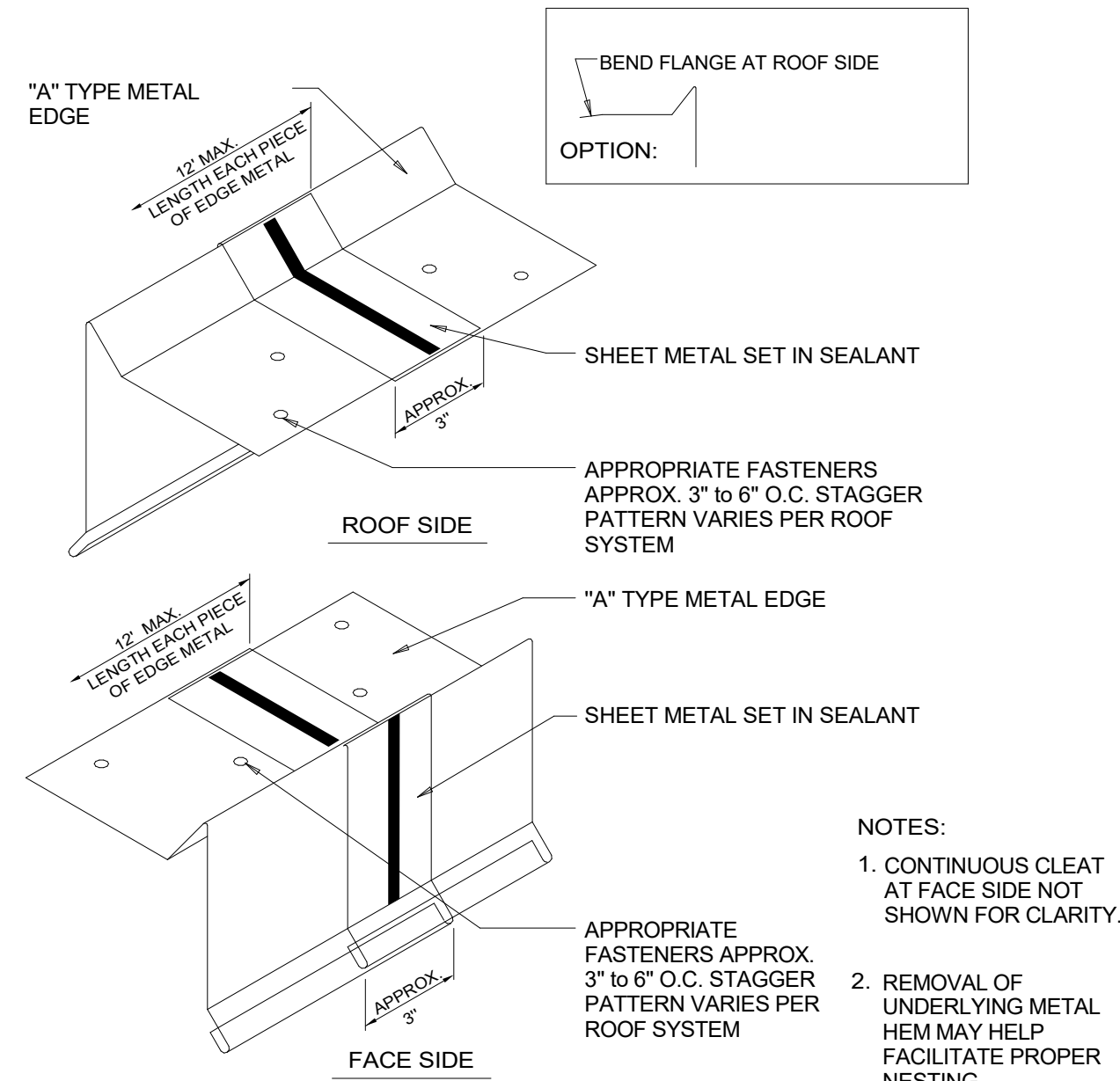


SUMP AREA FIELD SEAM REQUIREMENTS:
 A. IF FIELD SEAM EDGE IS WITHIN 9" (228.6 mm) OF DRAIN COMPRESSION RING, TPO TARGET PATCH REQUIRED.
 B. IF FIELD SEAM EDGE IS WITHIN 9" TO 18" OF DRAIN COMPRESSION RING, INSTALL LAYER OF 5" QUICKSEAM FLASHING CENTERED OVER SEAM EDGE. 5" QUICKSEAM FLASHING MUST EXTEND 3" MIN. BEYOND EDGE OF SUMP.

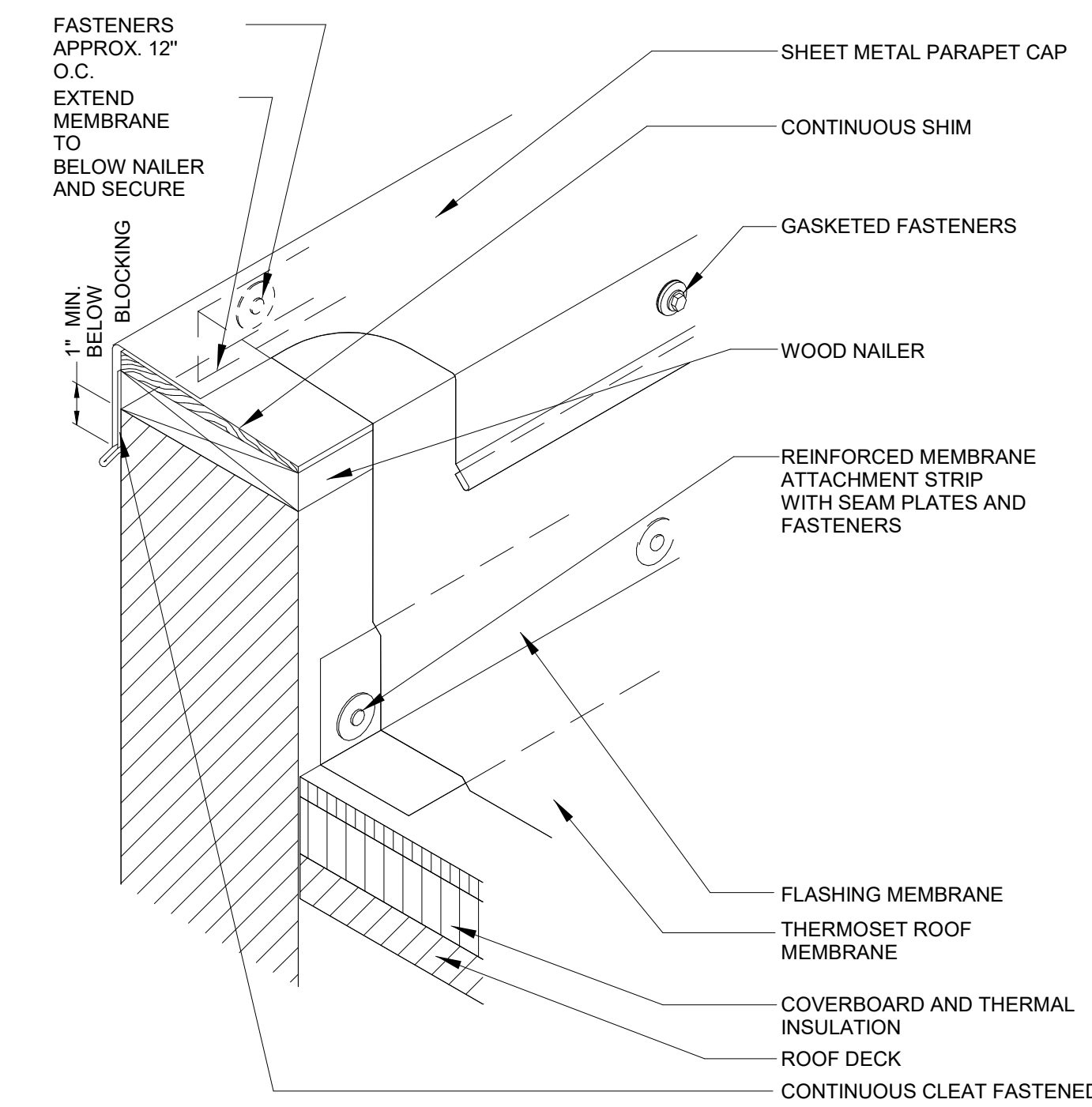
D4 ROOF DRAIN OVERFLOW DETAIL
3" = 1'-0"



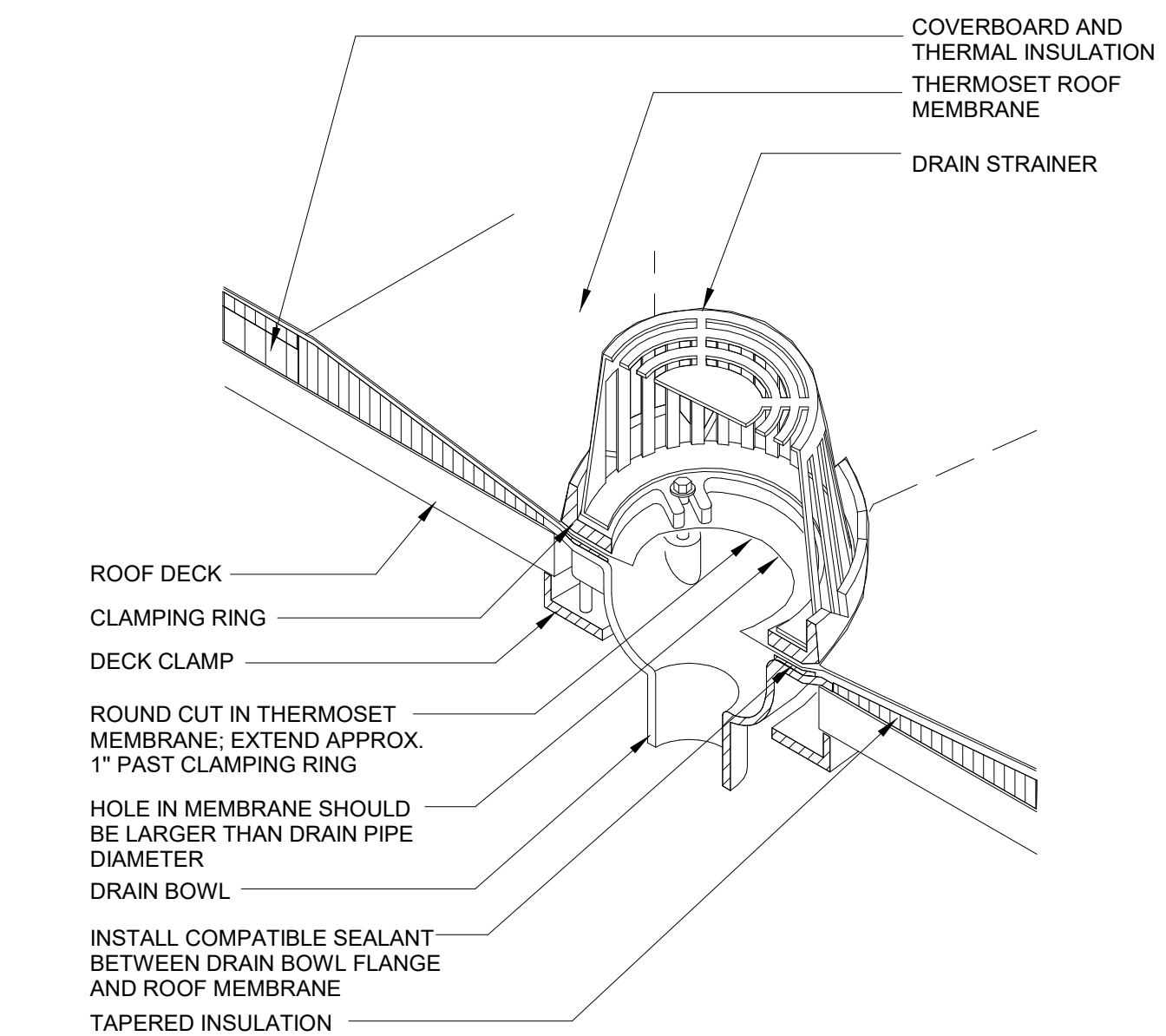
B1 CURB DETAIL
1 1/2" = 1'-0"



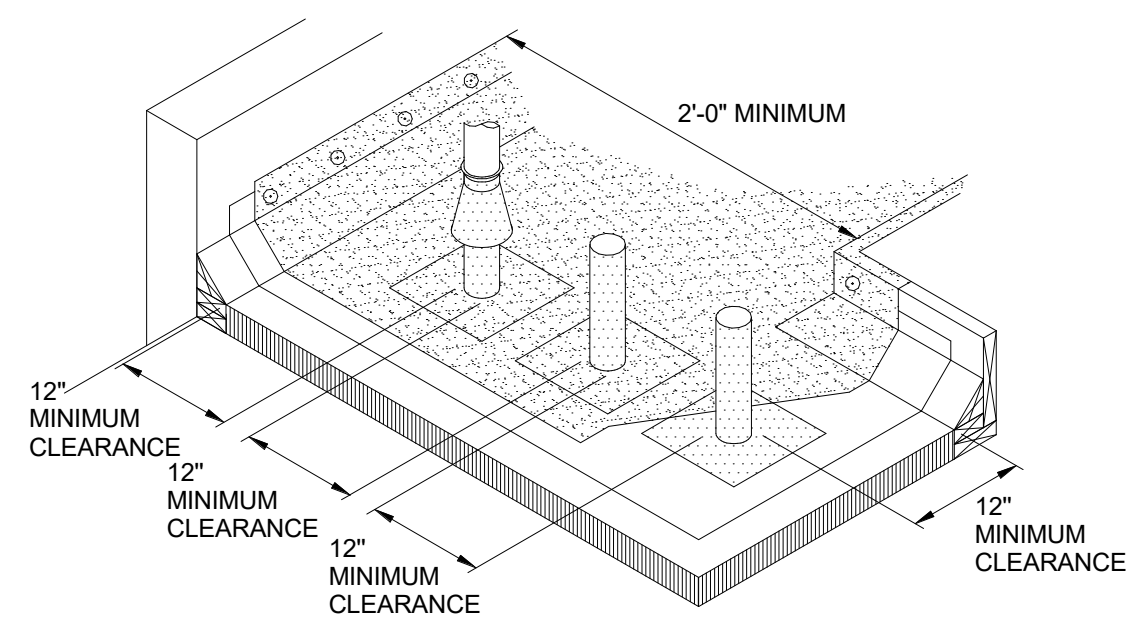
B2 LOW RISE COPING DETAIL
1 1/2" = 1'-0"



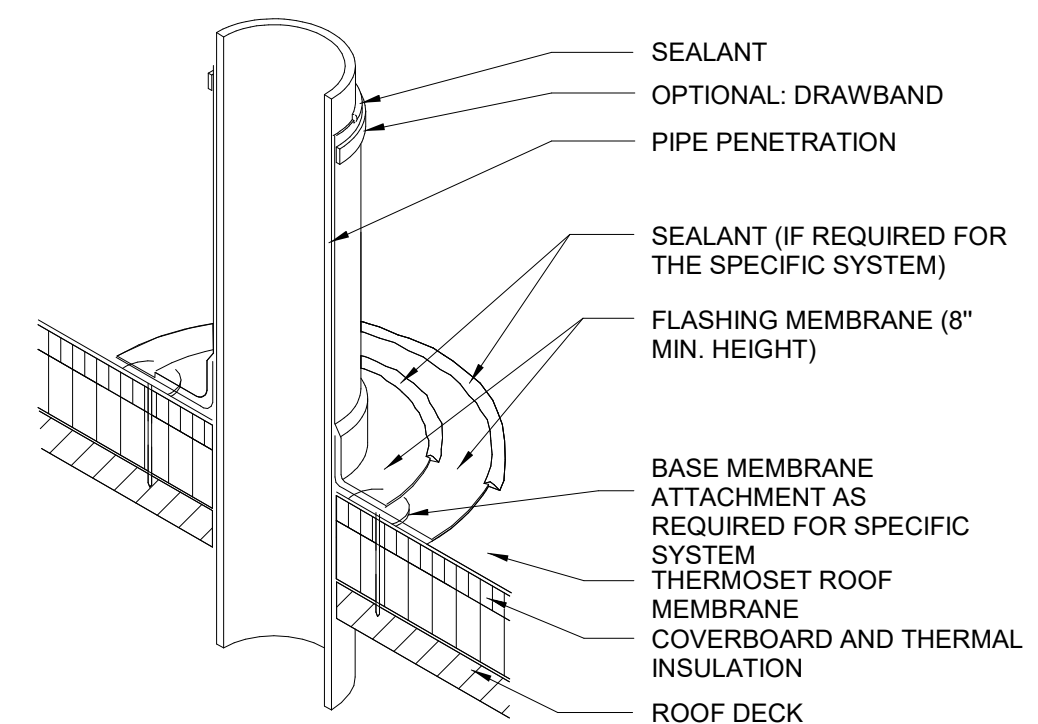
B3 PARAPET WALL
1 1/2" = 1'-0"



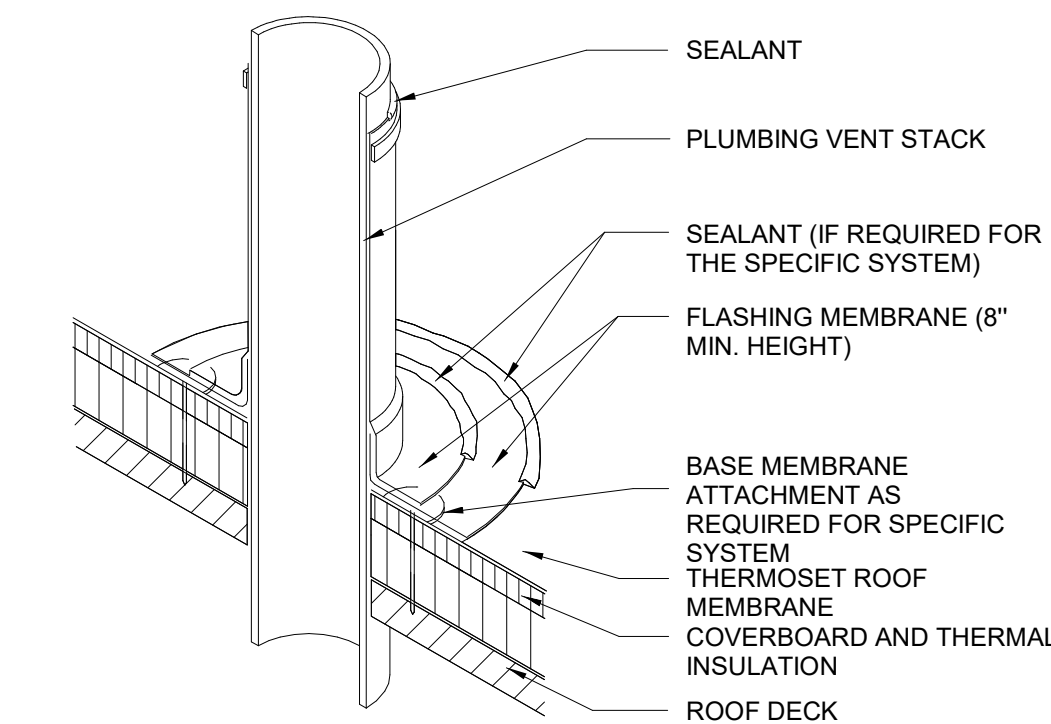
B4 ROOF DRAIN
1 1/2" = 1'-0"



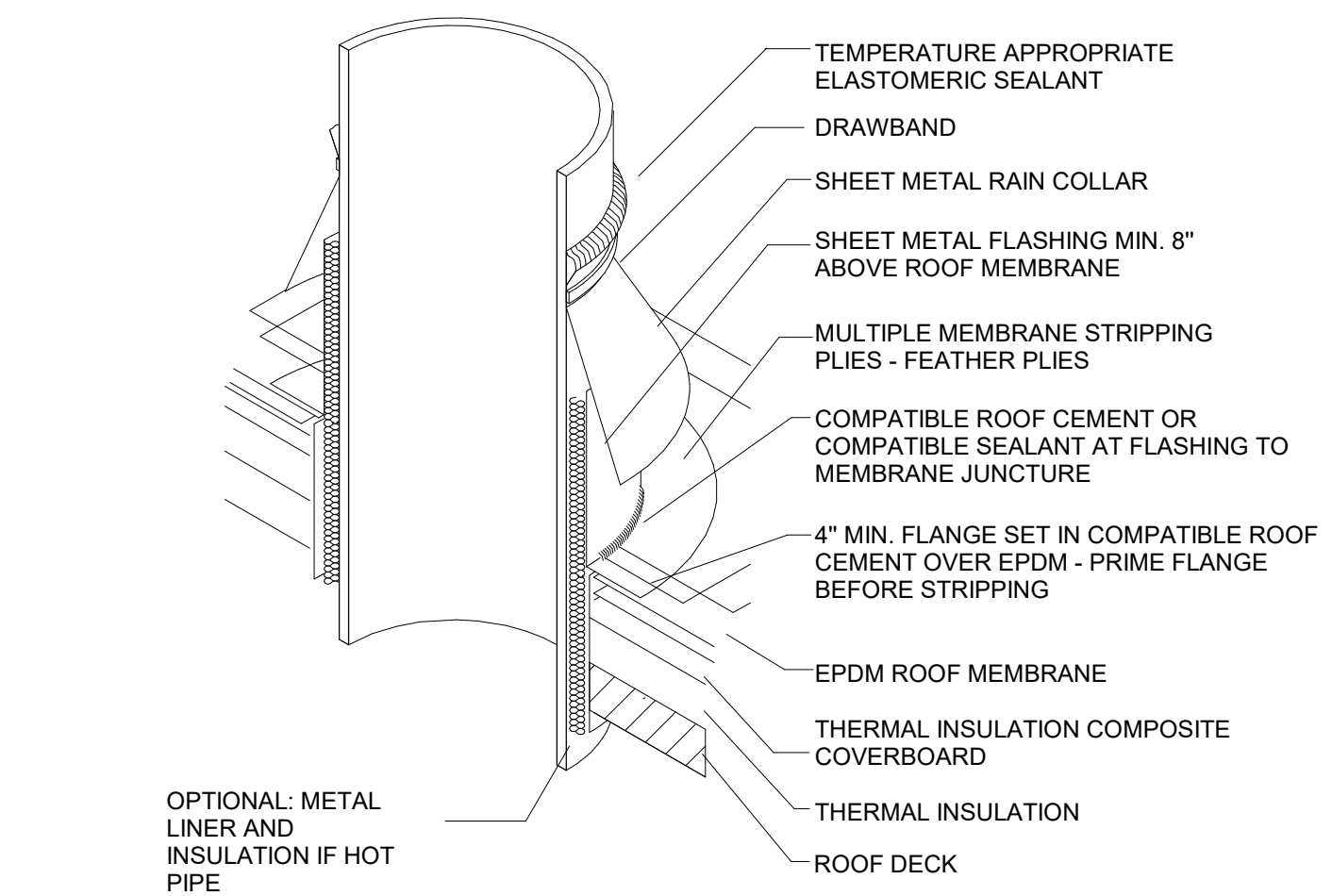
A1 PENETRATION CLEARANCE GUIDE
1 1/2" = 1'-0"



A2 PIPE PENETRATION
1 1/2" = 1'-0"



A3 PLUMBING VENT
1 1/2" = 1'-0"



A4 SHEET METAL STACK FLASHING
1 : 9

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Ravinia

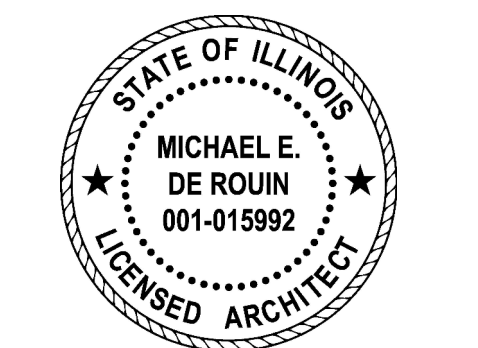
515-555 Roger Williams Avenue Highland Park, IL 60035

CLIENT:
Imperial Realty Co.

4747 W. Peterson Ave. Suite 200 Chicago, IL 60646

1 Permit Corrections 01 02/01/18
Issue for Permit / Bid 03/24/17

#	DESCRIPTION	DATE



ROOF DETAILS

A5-05

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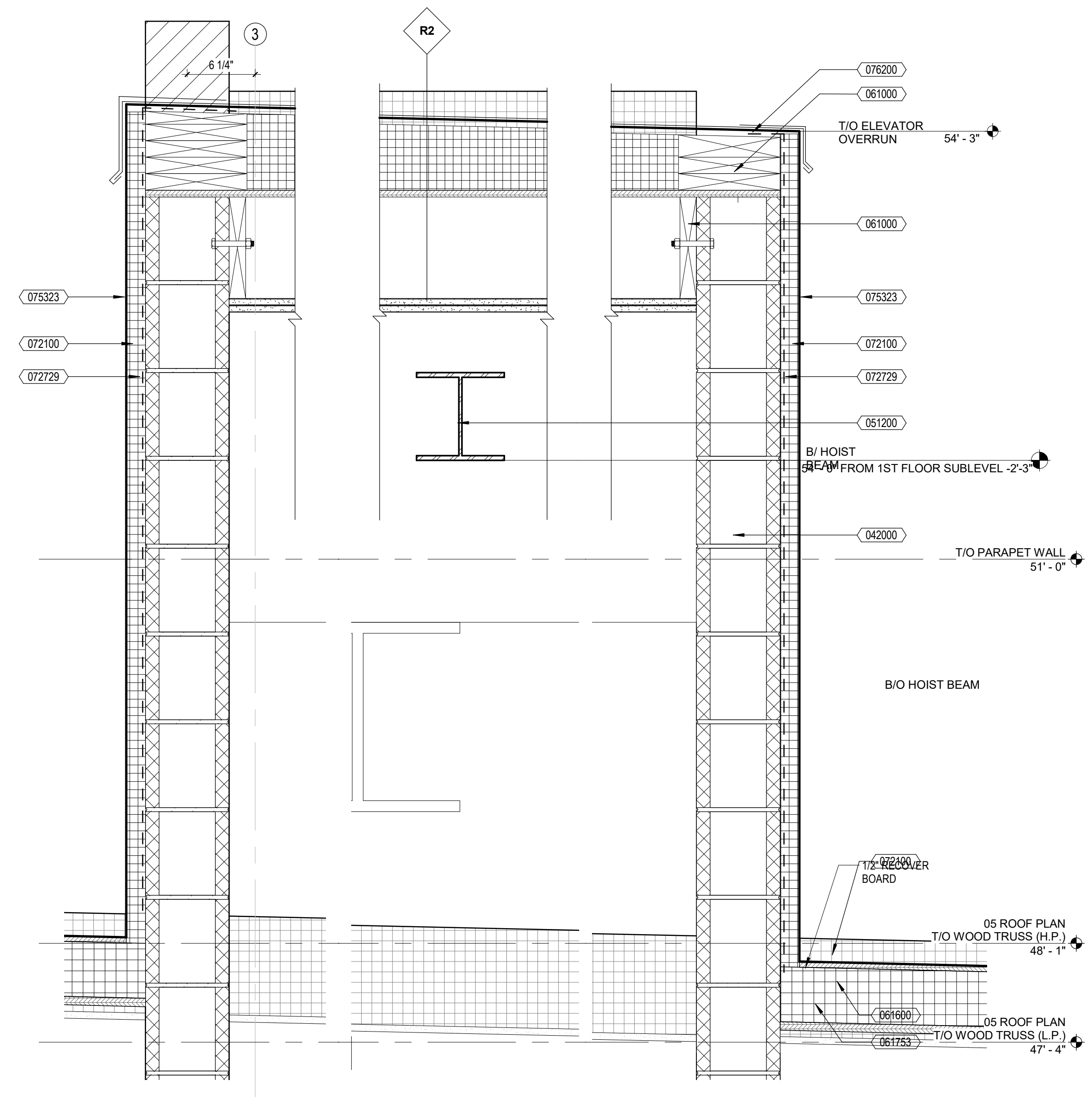
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2

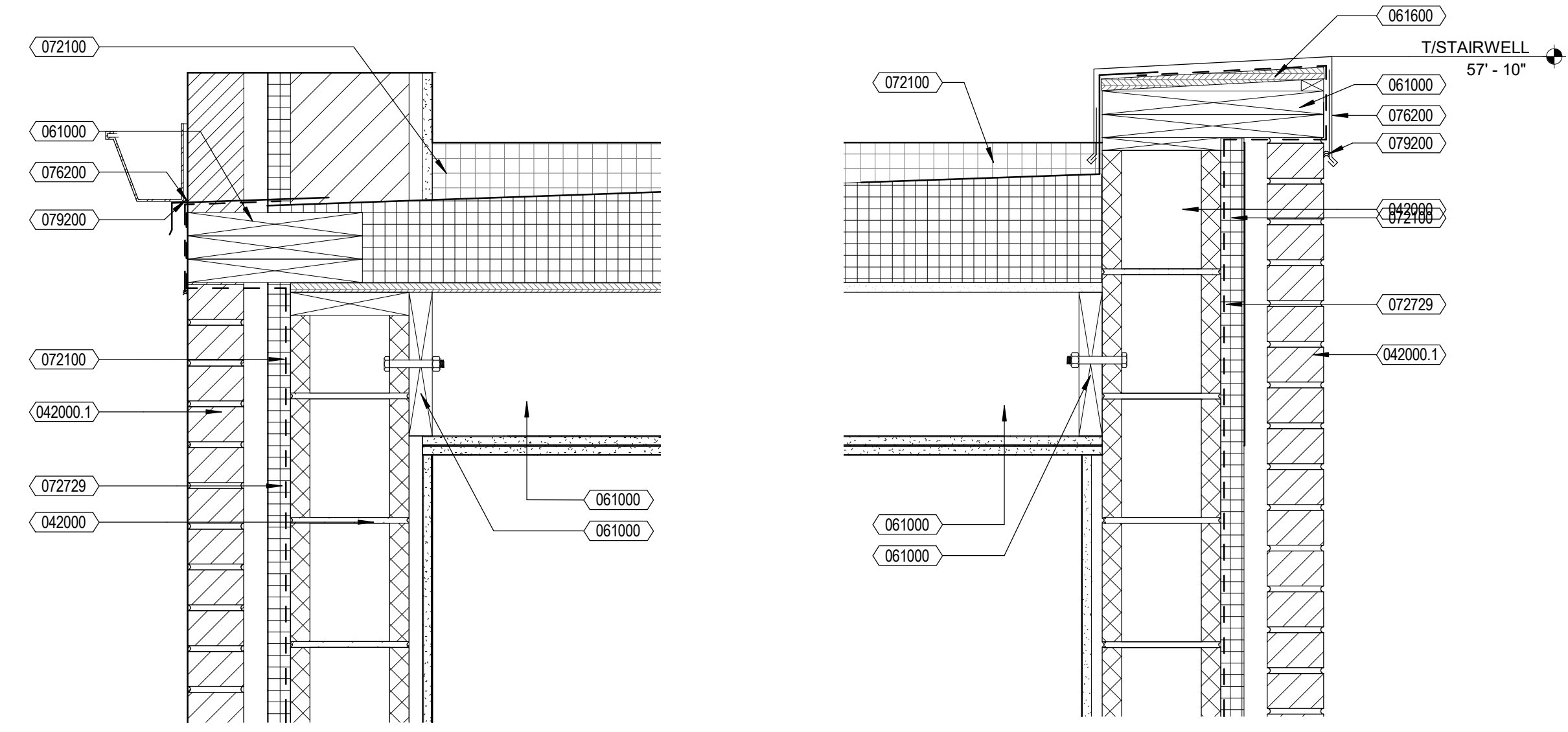
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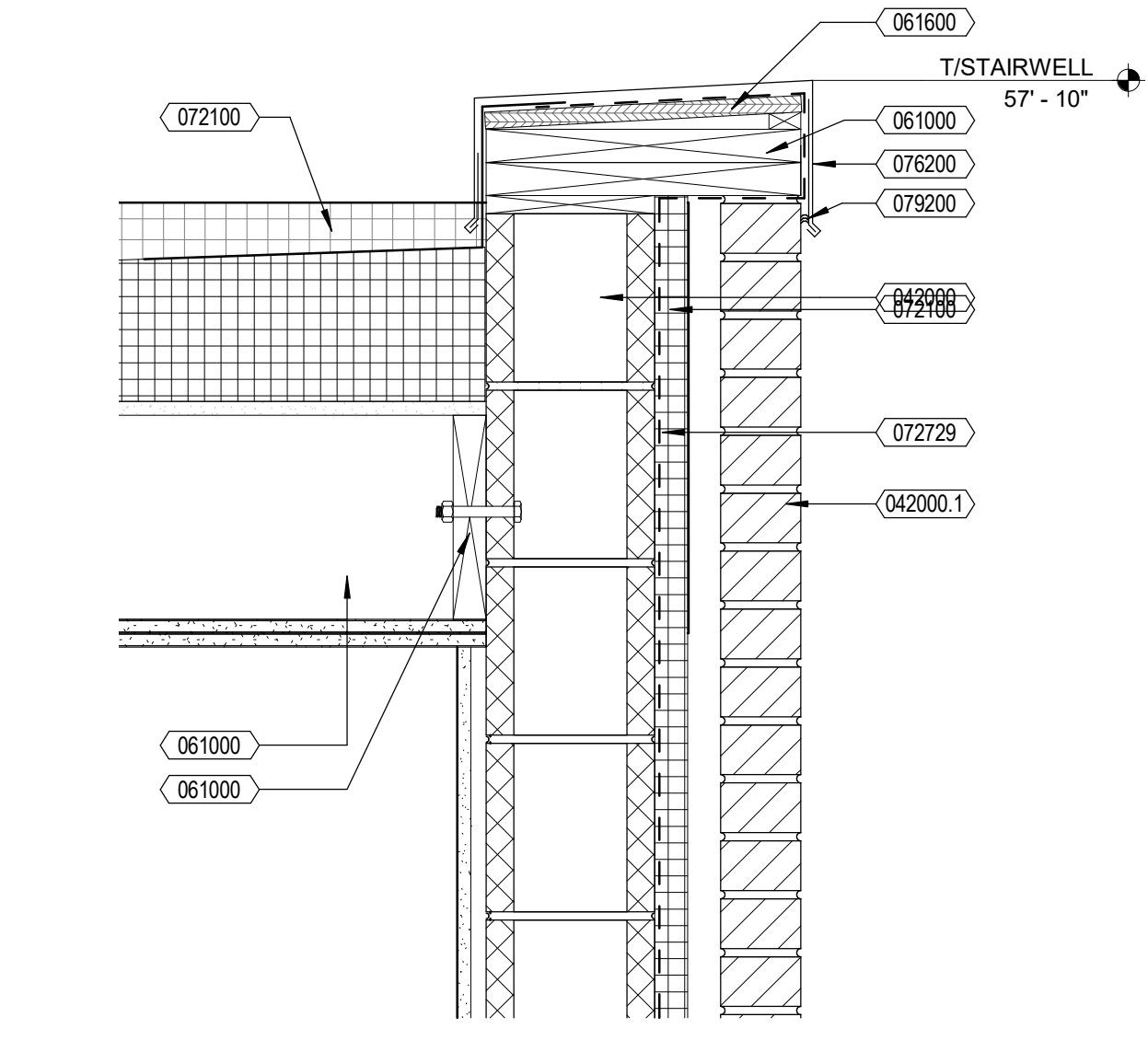
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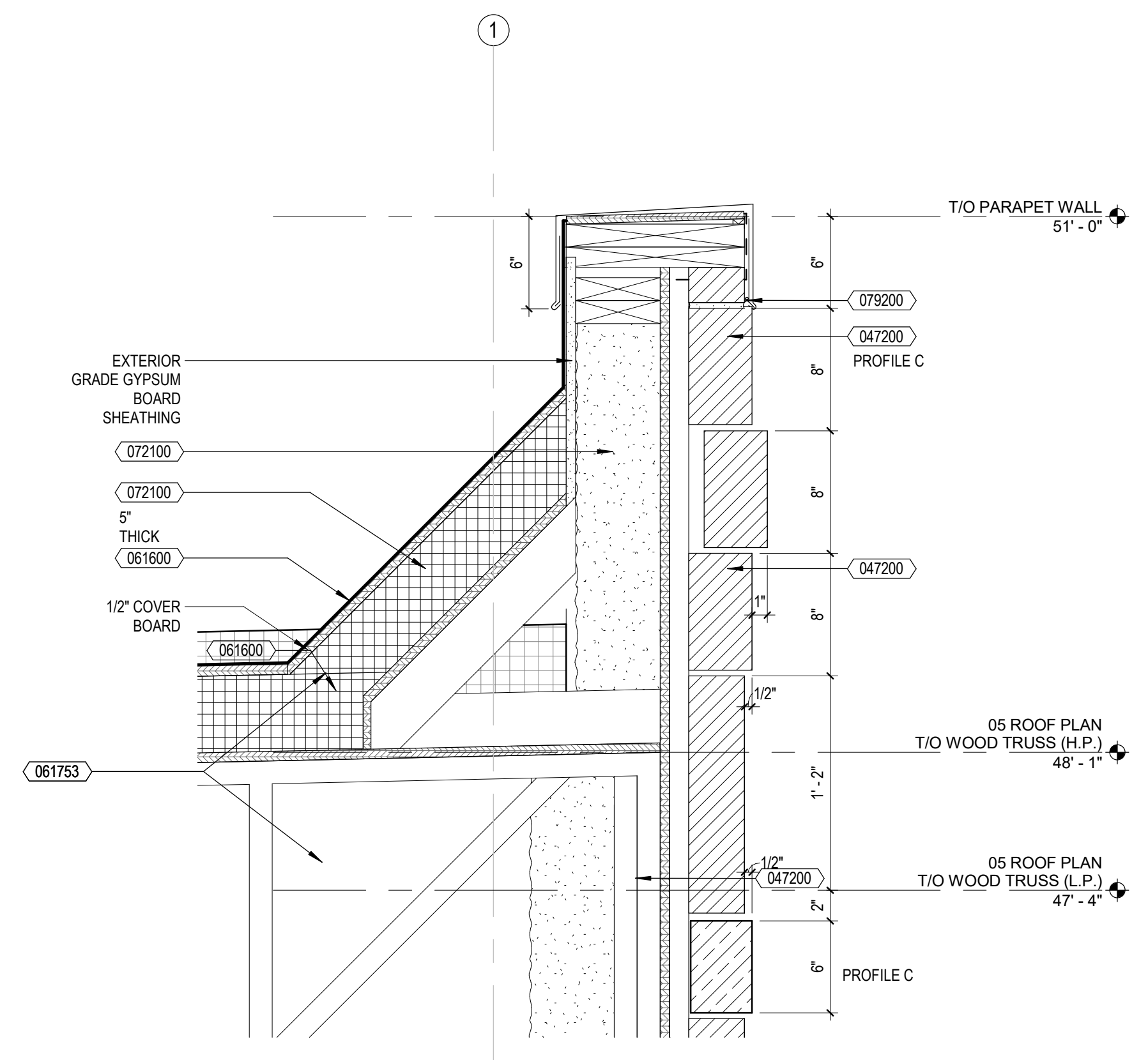
B2 ROOF DETAIL- ELEVATOR OVERRUN
1 1/2" = 1'-0"



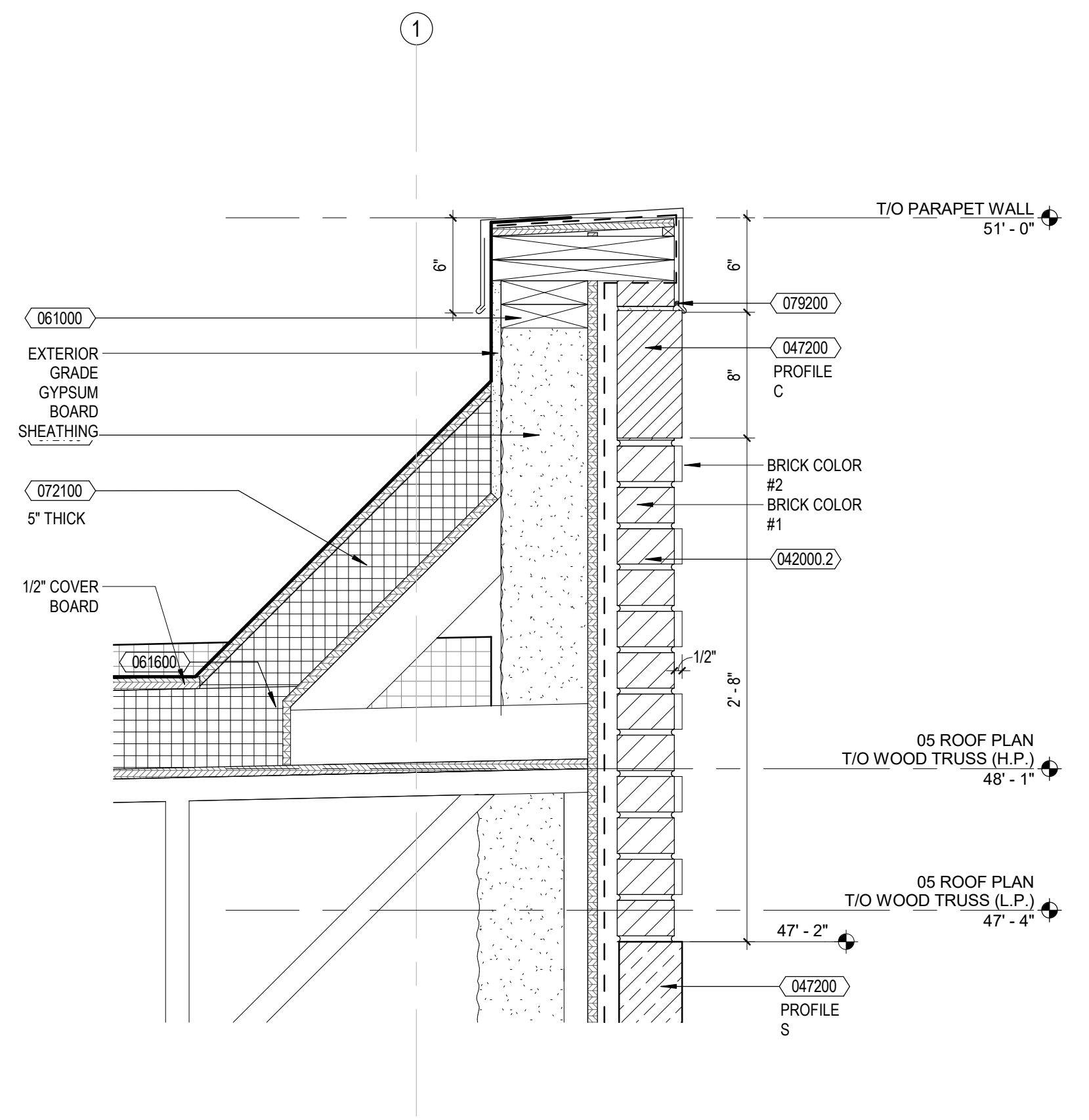
A1 DETAIL- STAIR 1 PARAPET 2
1 1/2" = 1'-0"



A2 DETAIL- STAIR 1 PARAPET
1 1/2" = 1'-0"



B4 DETAIL- ROOF PARAPET AT RESIDENTIAL ENTRY
1 1/2" = 1'-0"



A3 DETAIL- TYPICAL ROOF PARAPET
1 1/2" = 1'-0"

NOTES
1. ALL PRODUCTS USED FOR FIRE STOPPING OR FIRE SEALING SHALL HAVE DOCUMENTATION ON SITE AND AVAILABLE FOR THE INSPECTOR'S USE.

KEYNOTES

042000	UNIT MASONRY
042000.1	FACE BRICK
042000.2	FACE BRICK- FLEMISH BOND
047200	CAST STONE MASONRY
051200	STRUCTURAL STEEL FRAMING
061000	ROUGH CARPENTRY
061600	SHEATHING
061753	SHOP-FABRICATED WOOD TRUSSES
072100	THERMAL INSULATION
072729	AIR BARRIER COATINGS
075323	ADHERED EPDM ROOFING
076200	SHEET METAL FLASHING AND TRIM
079200	JOINT SEALANTS

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t 312-563-9100 f 312-563-1919
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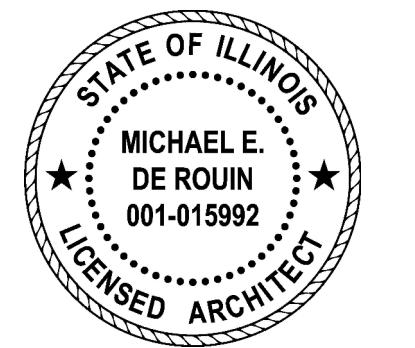
Ravinia

515-555 Roger Williams Avenue
Highland Park, IL 60035

CLIENT:
Imperial Realty Co.

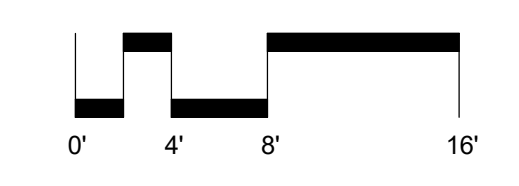
4747 W. Peterson Ave.
Suite 200
Chicago, IL 60646

1	Permit Corrections 01	02/01/18
	Issue for Permit / Bid	03/24/17
#	DESCRIPTION	DATE



ROOF DETAILS

A5-06



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1

2

3

4

5

LEGEND

REFER TO FINISH LEGEND ON A6-04 FOR MATERIAL TAGS

KEYNOTES

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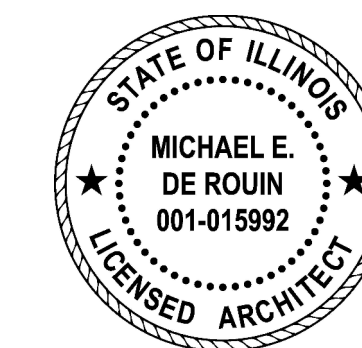
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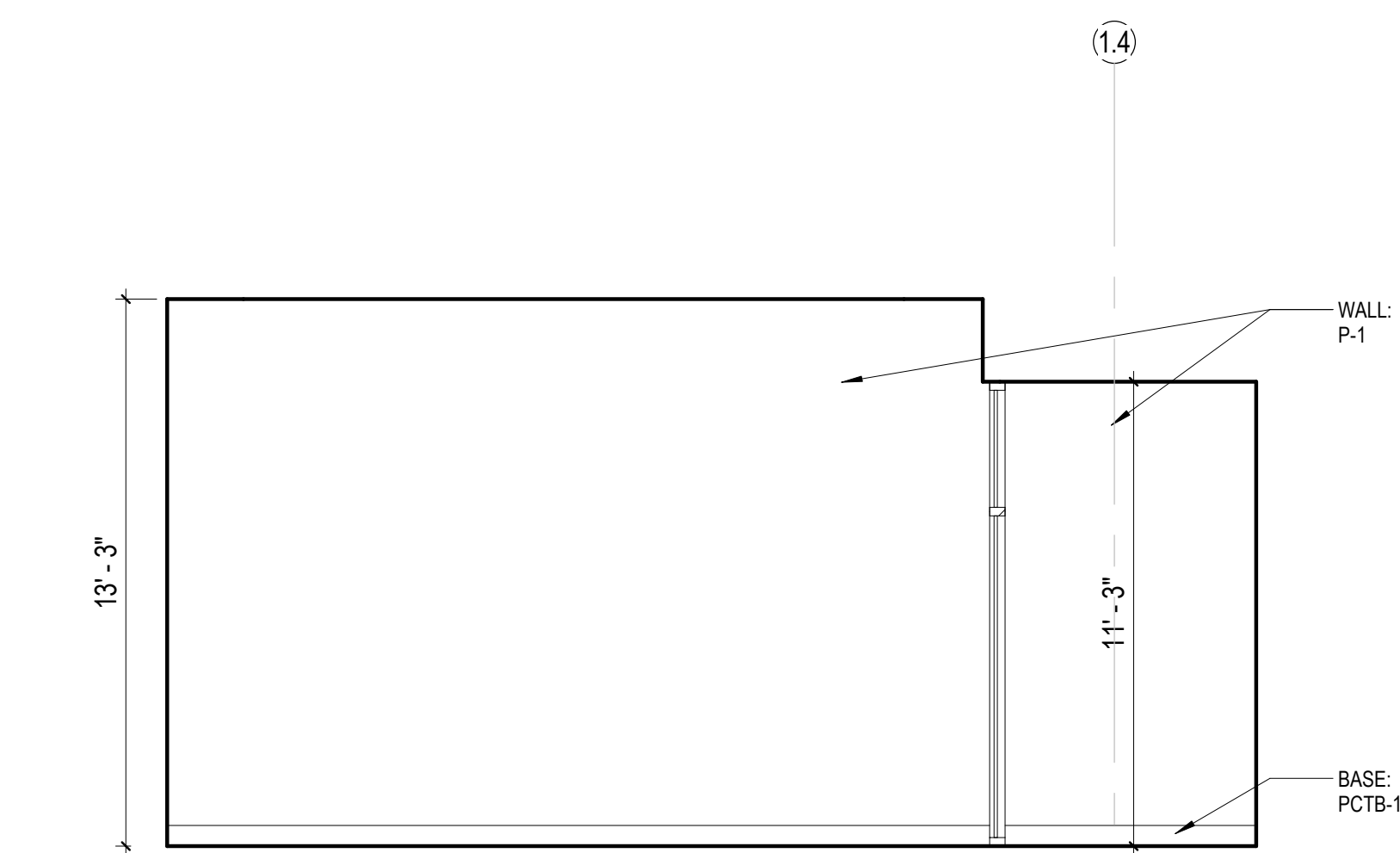
1	Permit Corrections 01	02/01/18
	Issue for Permit / Bid	03/24/17
	Issue for Design Development	11/12/14

#	DESCRIPTION	DATE
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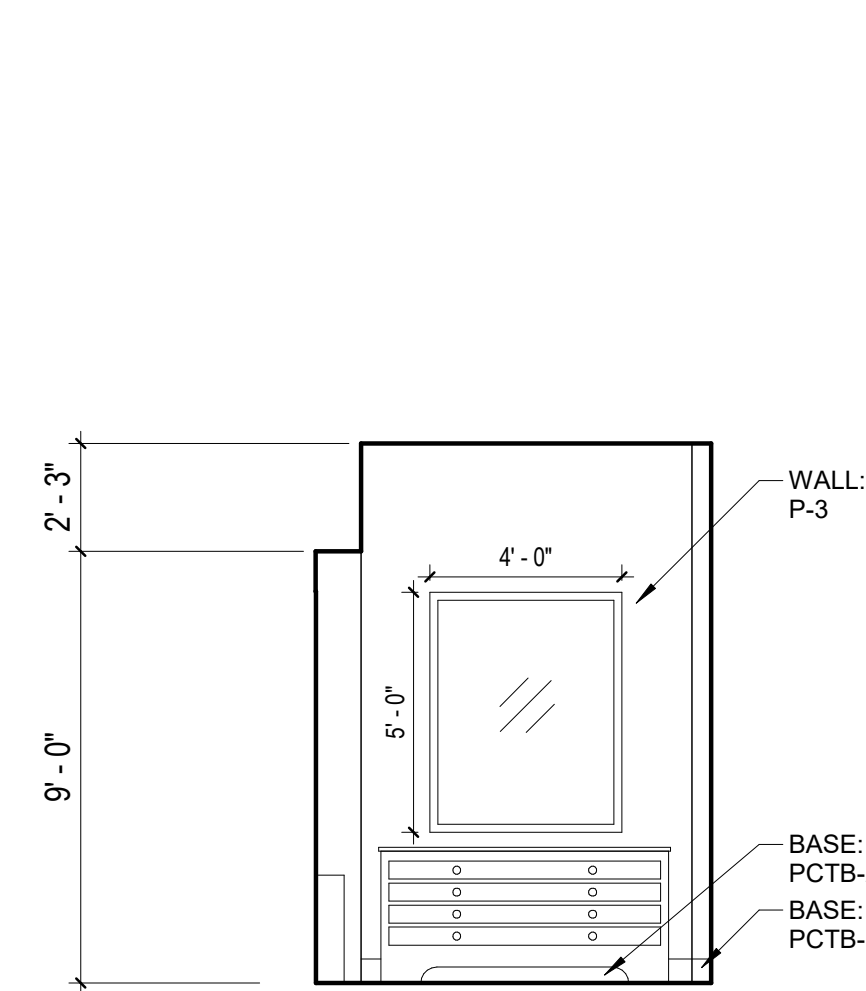


INTERIOR ELEVATIONS

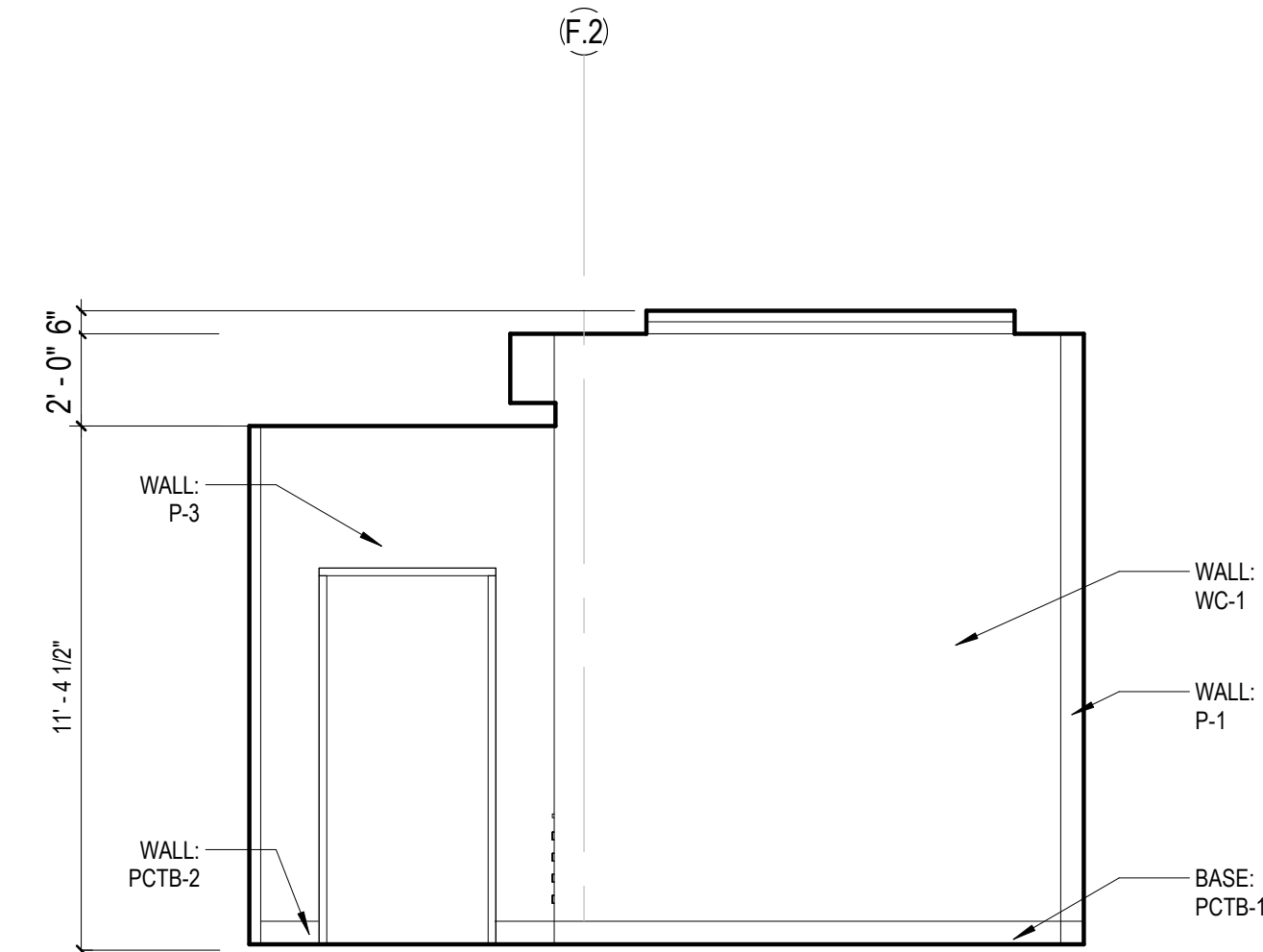
A5-10



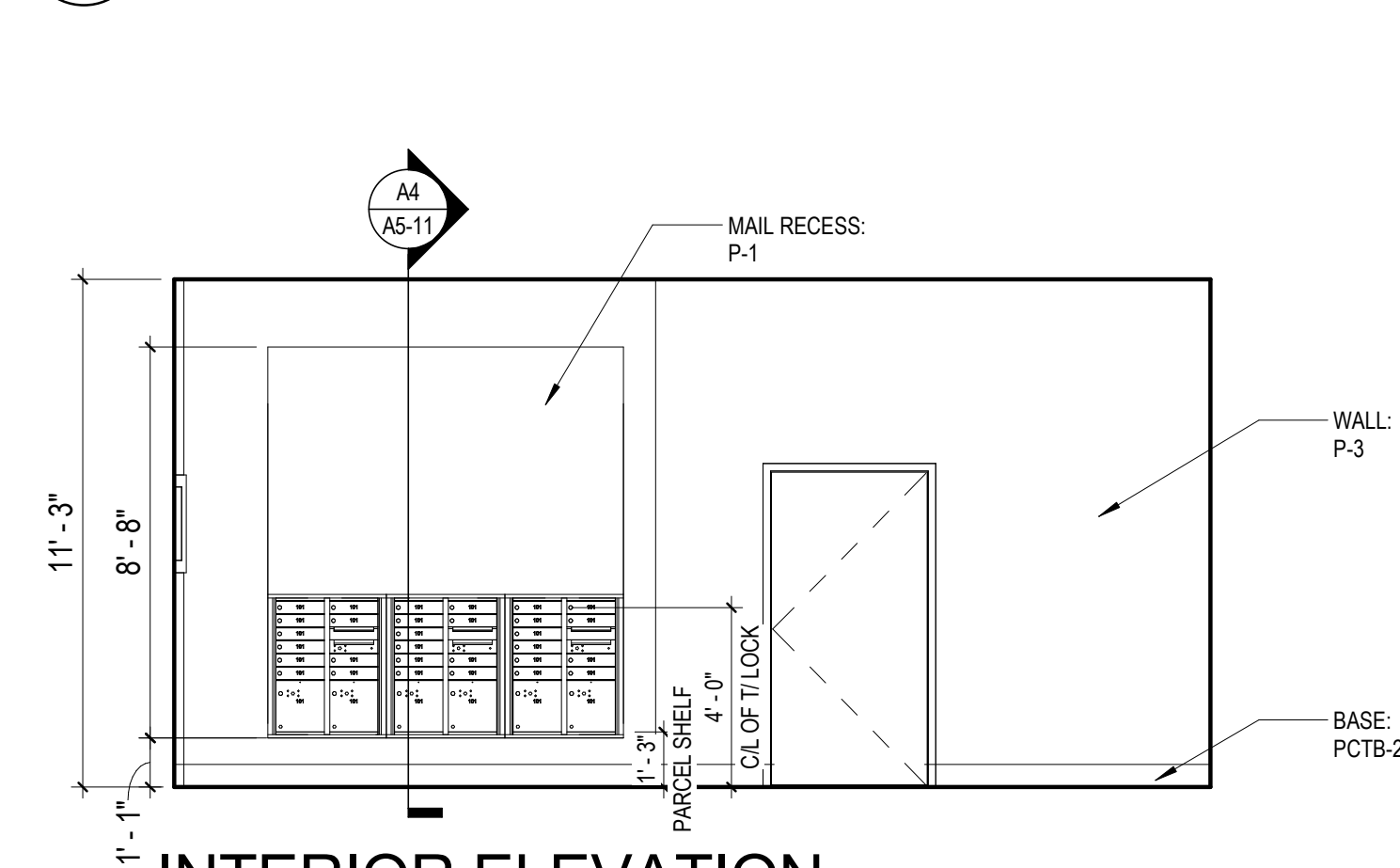
B2 INTERIOR ELEVATION
 RESIDENTIAL LOBBY - EAST
 1/4" = 1'-0"



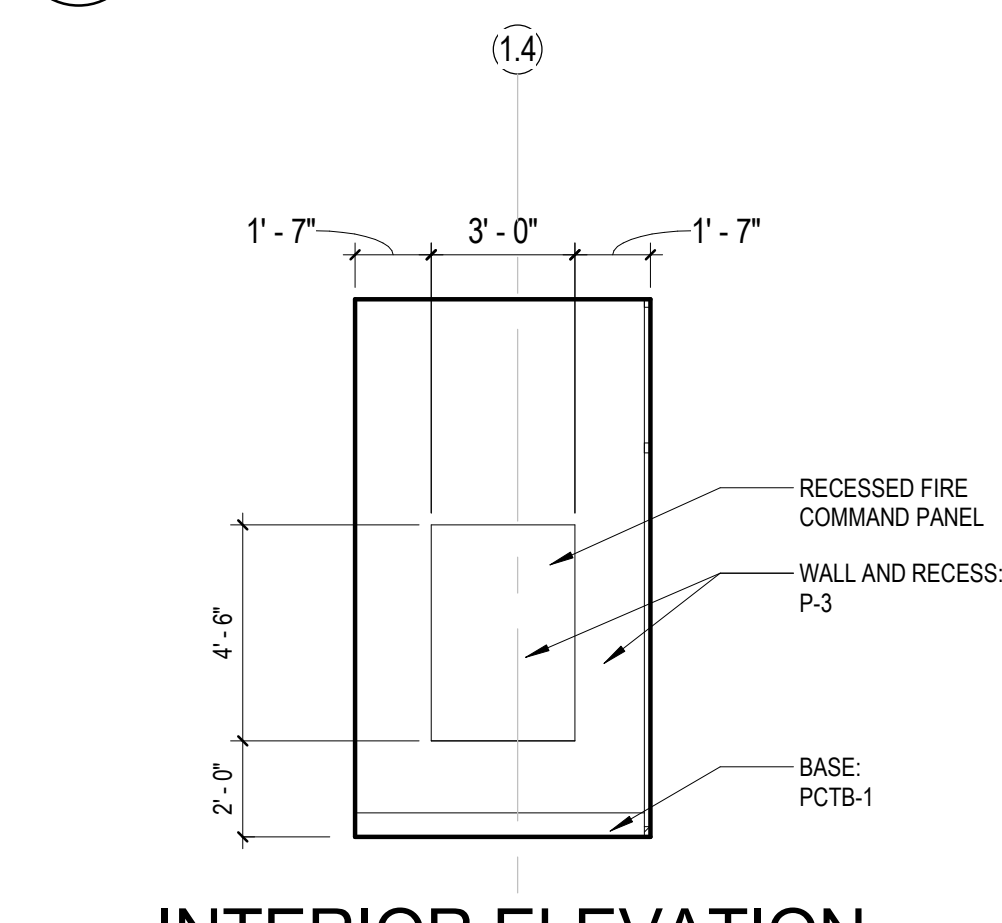
B3 INTERIOR ELEVATION
 RESIDENTIAL LOBBY - EAST
 1/4" = 1'-0"



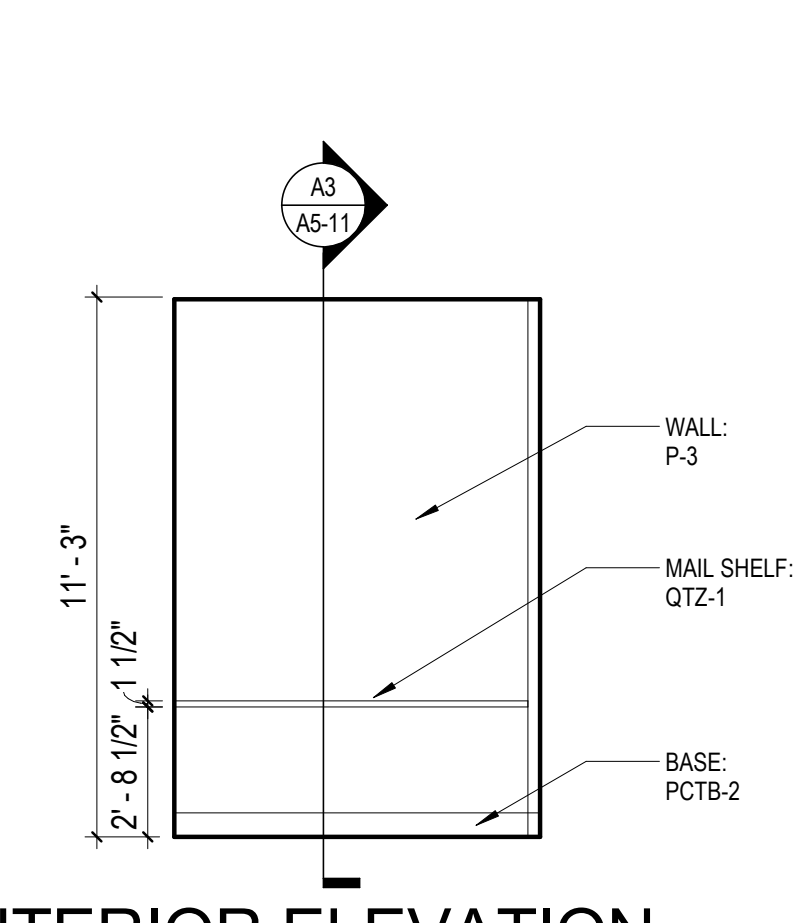
B4 INTERIOR ELEVATION
 RESIDENTIAL LOBBY - NORTH
 1/4" = 1'-0"



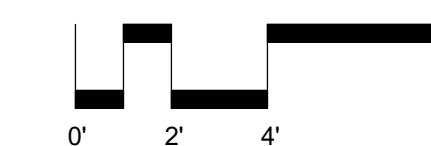
A2 INTERIOR ELEVATION
 RESIDENTIAL LOBBY - WEST
 1/4" = 1'-0"



A3 INTERIOR ELEVATION
 RESIDENTIAL VESTIBULE
 1/4" = 1'-0"



A4 INTERIOR ELEVATION
 RESIDENTIAL LOBBY - NORTH - 2
 1/4" = 1'-0"



1

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5

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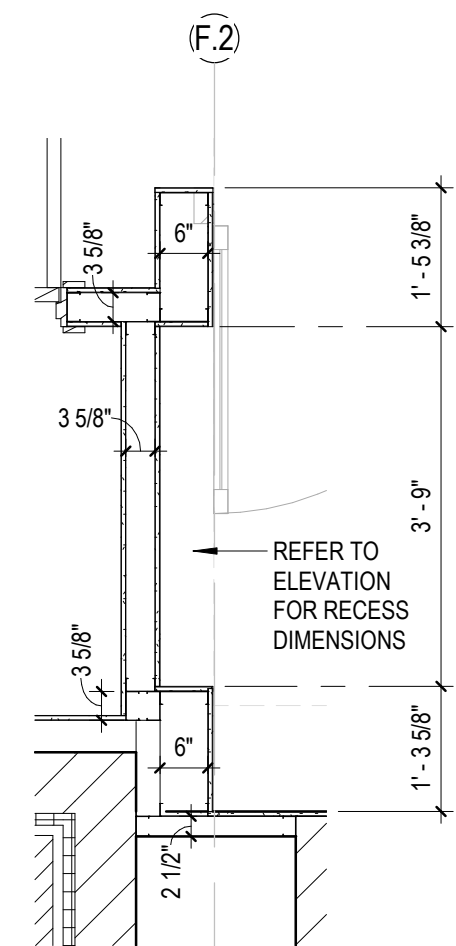
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D

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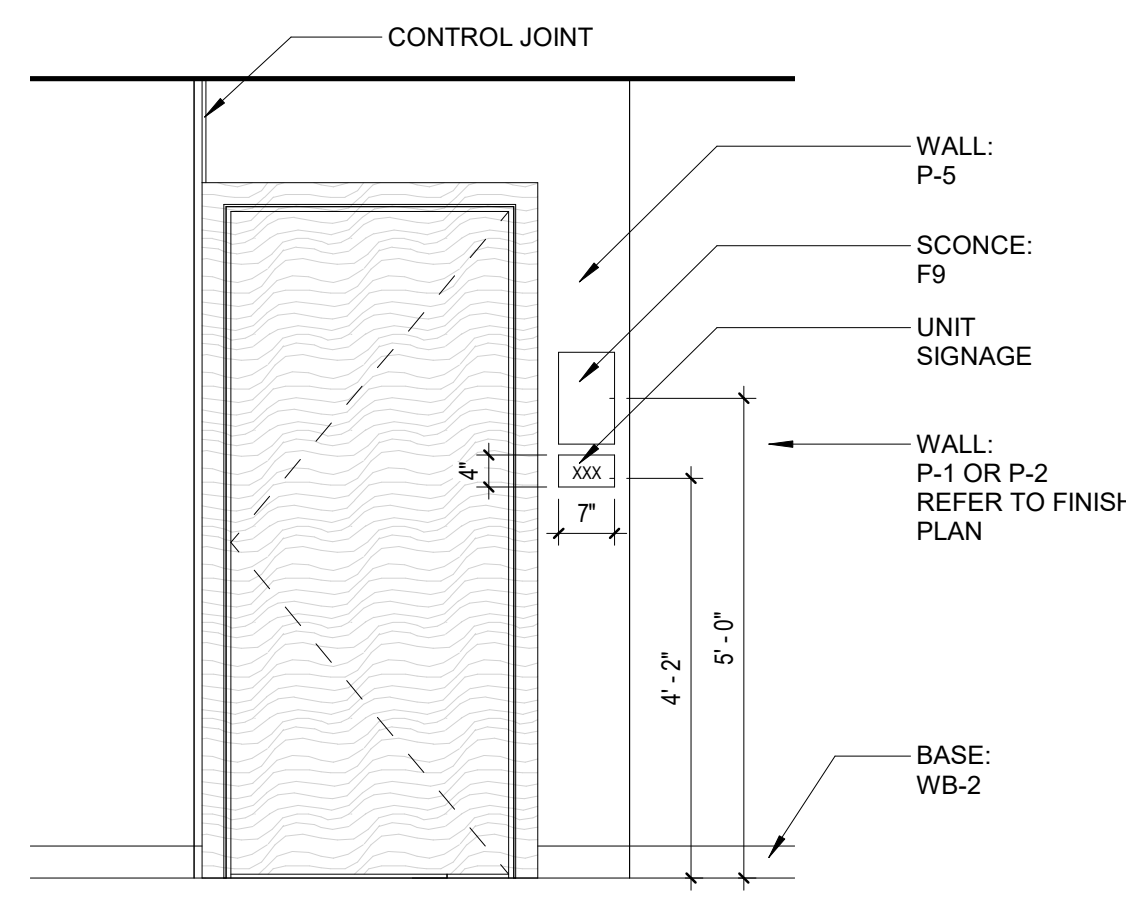
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A



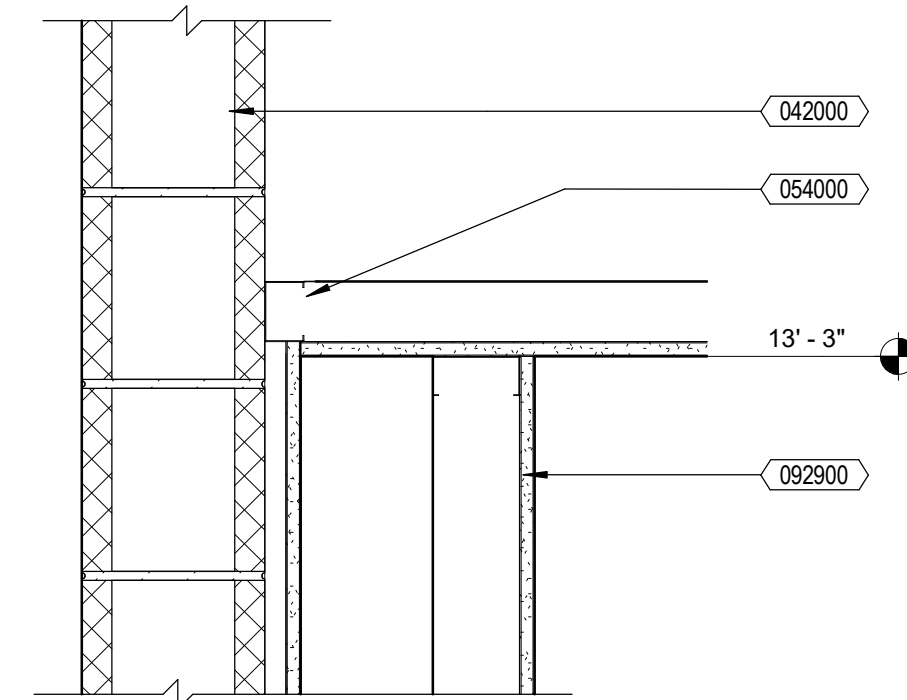
A1 PLAN DETAIL- VESTIBULE
1/2" = 1'-0"

1

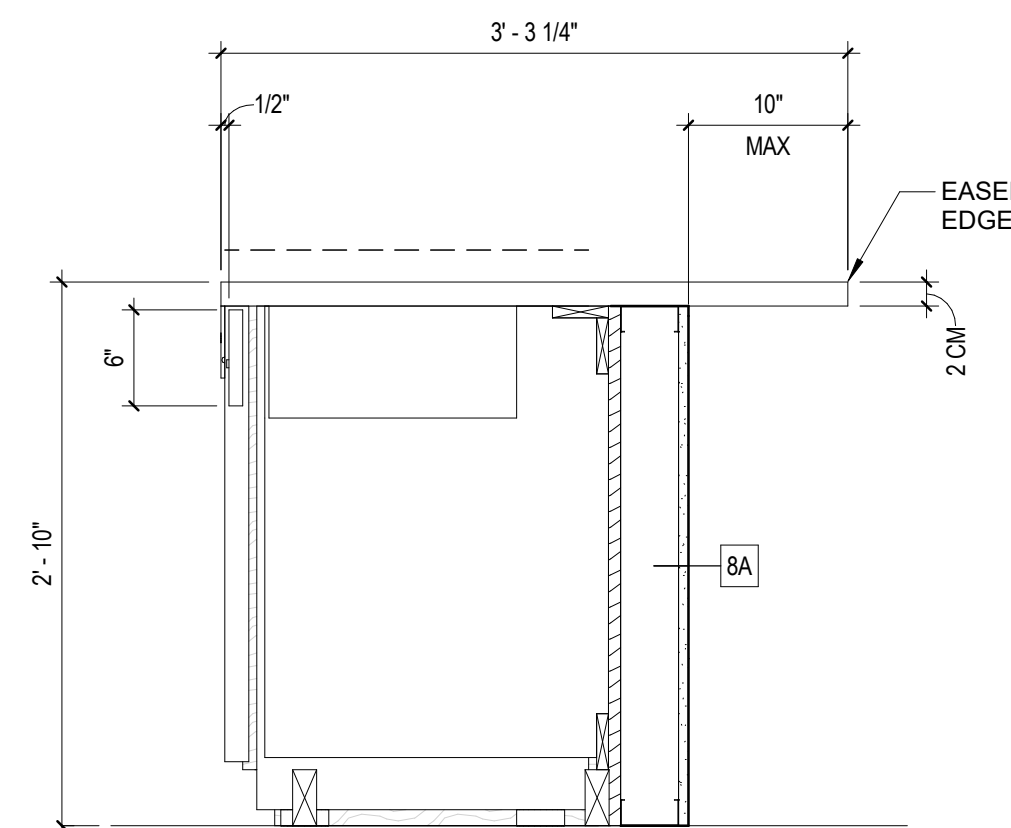


A2 ELEVATION- UNIT ENTRY
1/2" = 1'-0"

2

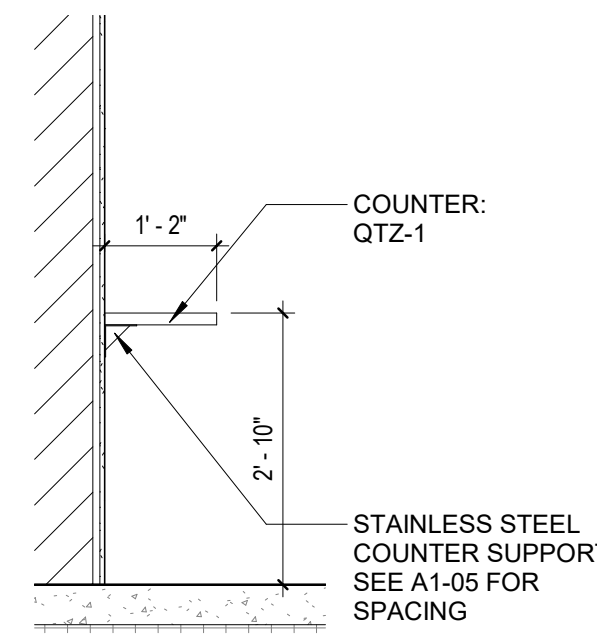


C3 DETAIL- CEILING COVE
1 1/2" = 1'-0"



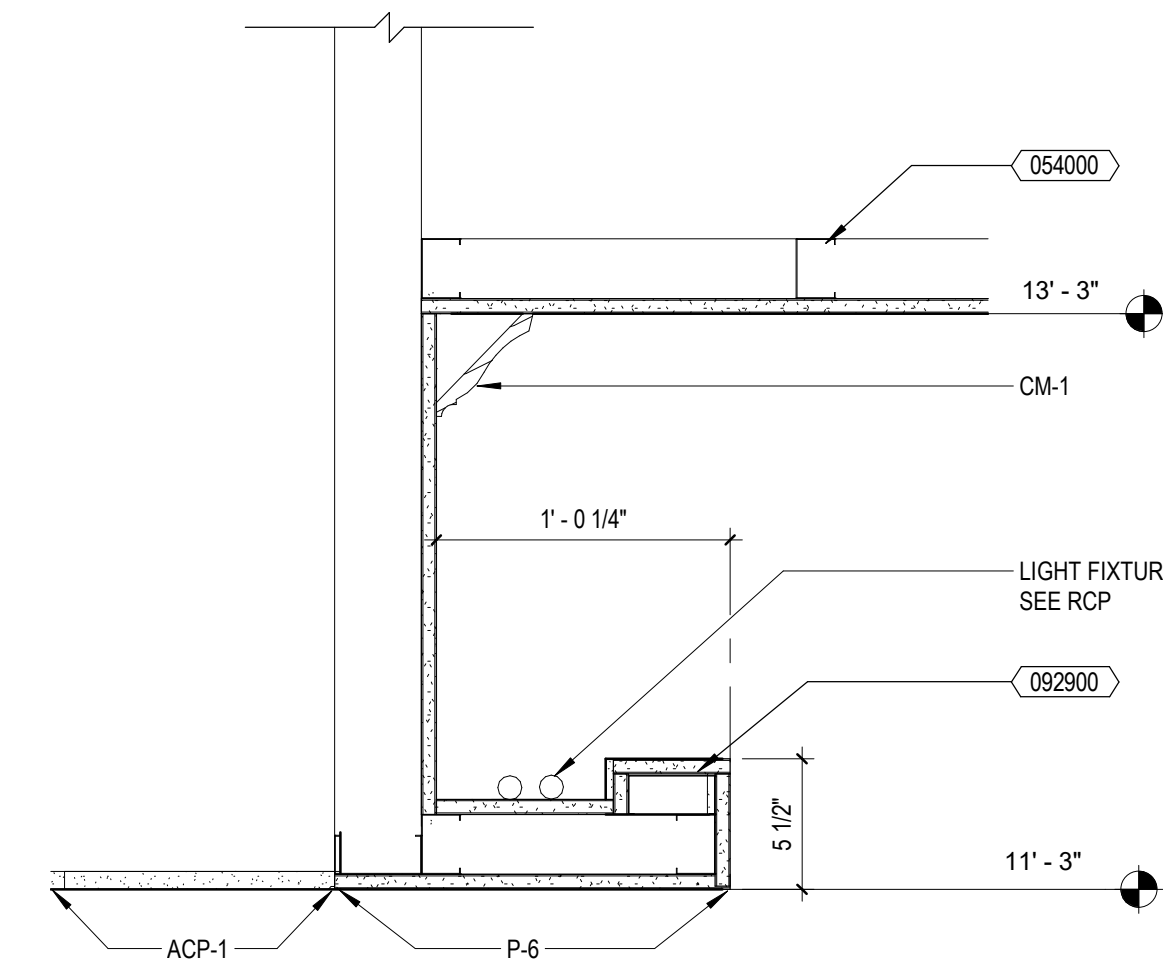
B3 SECTION - UNIT ISLAND W/ SINK
1" = 1'-0"

3

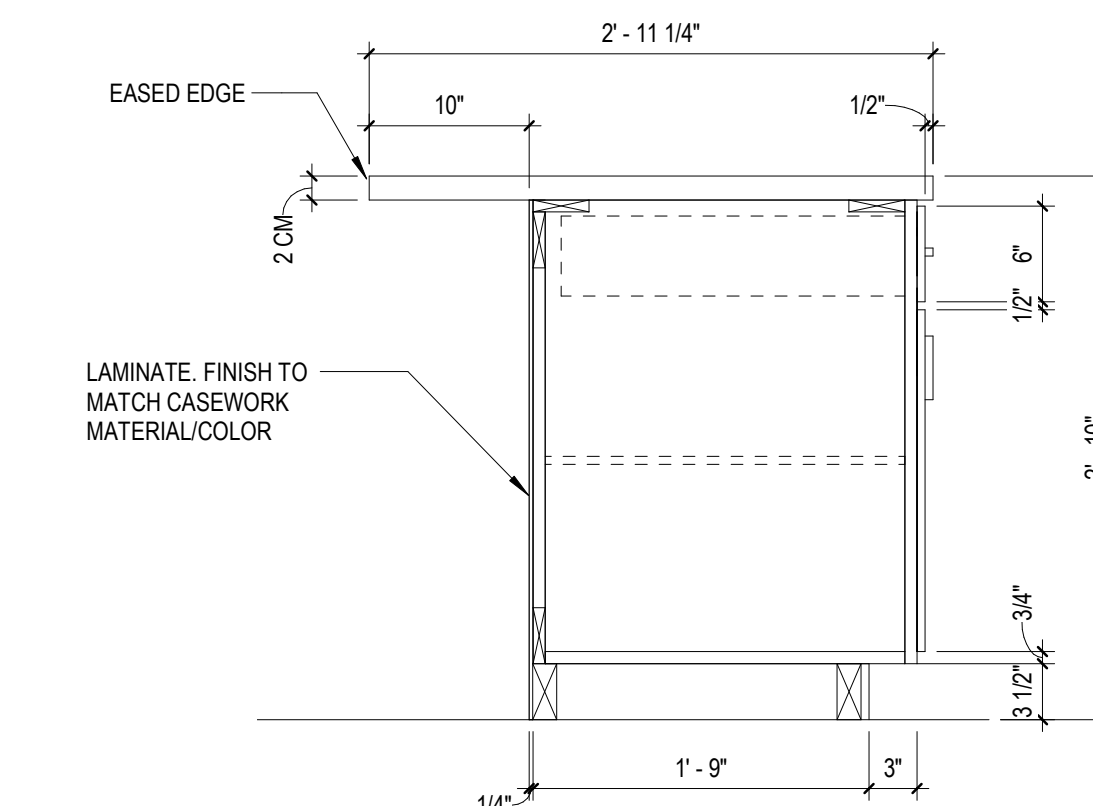


A3 SECTION- COUNTER
1/2" = 1'-0"

3

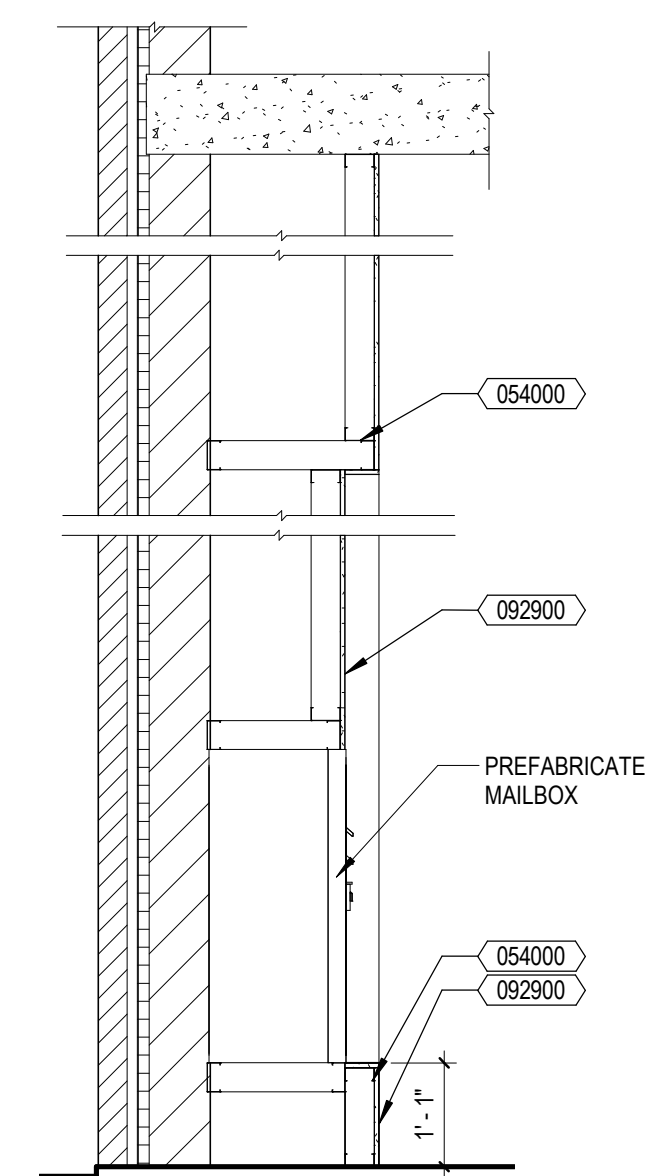


C4 DETAIL- LIGHT COVE
1 1/2" = 1'-0"



B4 SECTION - UNIT ISLAND
1" = 1'-0"

4



A4 SECTION- MAIL BOX
1/2" = 1'-0"

4

NOTES

1. ALL PRODUCTS USED FOR FIRE STOPPING OR FIRE SEALING SHALL HAVE DOCUMENTATION ON SITE AND AVAILABLE FOR THE INSPECTOR'S USE. COLD-FORMED METAL FRAMING 092900 GYPSUM BOARD

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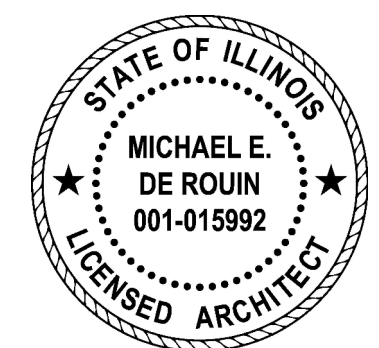
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Suite 200
Chicago, IL 60646

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#	DESCRIPTION	DATE



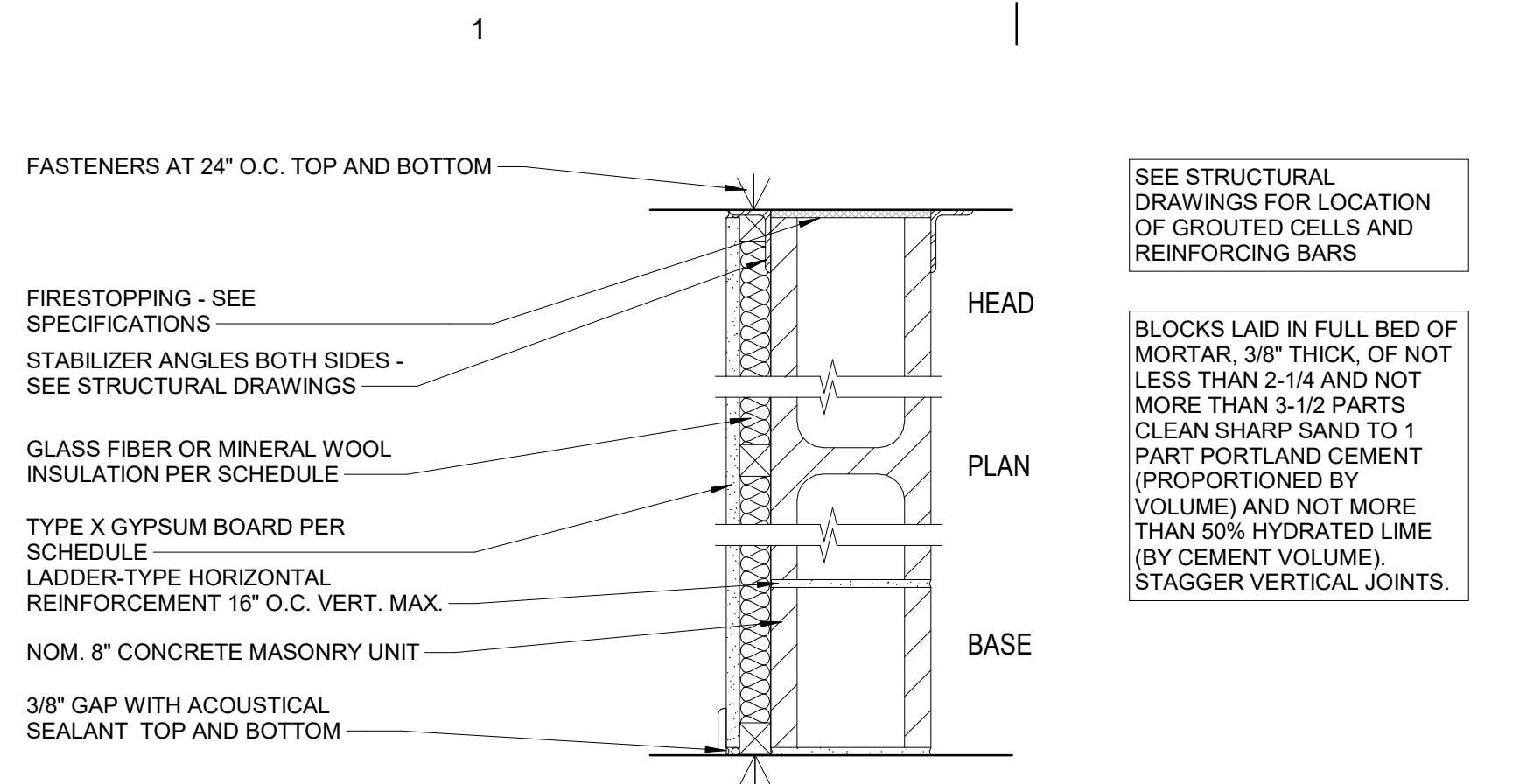
INTERIOR SECTIONS, ELEVATIONS, AND DETAILS

A5-11

5

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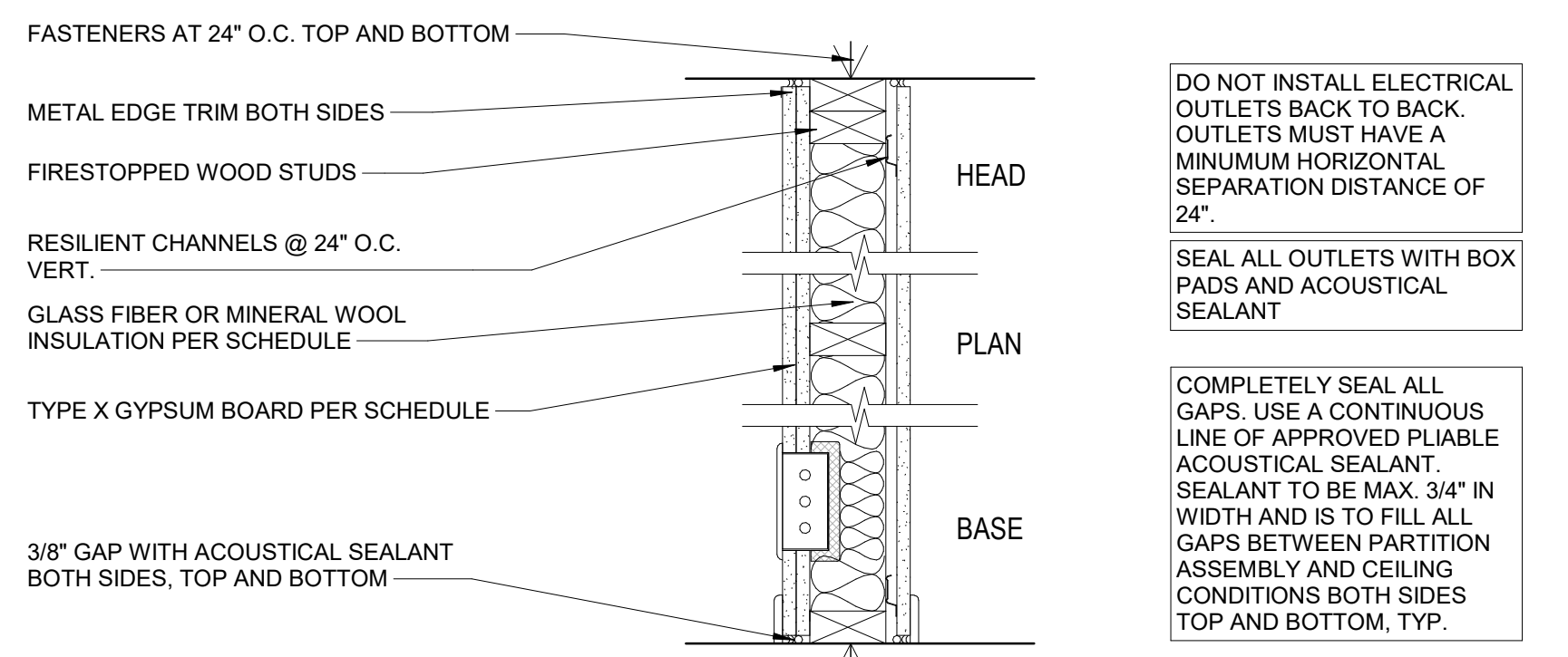
SEE STRUCTURAL DRAWINGS FOR LOCATION OF GROUDED CELLS AND REINFORCING BARS

BLOCKS LAID IN FULL BED OF MORTAR, 3/8" THICK, OF NOT LESS THAN 2-1/4" AND NOT MORE THAN 3-1/2" PARTS CLEAN SHARP SAND TO 1 PART PORTLAND CEMENT (PROPORTIONED BY VOLUME) AND NOT MORE THAN 50% HYDRATED LIME (BY CEMENT VOLUME). STAGGER VERTICAL JOINTS.

Type Mark	Stud Size	Stud Spacing	Maximum Height	Fire Rating	Insulation Thickness	STC Rating	Width	Comments
1A	-	-	23'-4"	2 HR, UL U905	-	7 5/8"	8 1/4"	CMU ONLY
1B	7/8"	-	23'-4"	2 HR, UL U905	-	9 1/8"	10 5/8"	1 LAYER 5/8" GYP. ROOM SIDE ONLY
1C	7/8"	-	23'-4"	2 HR, UL U905	-	10 5/8"	10 5/8"	1 LAYER 5/8" GYP. BOTH SIDES

1 RATED MASONRY PARTITION

1-1/2" = 1'-0"



DO NOT INSTALL ELECTRICAL OUTLETS BACK TO BACK. OUTLETS MUST HAVE A MINIMUM HORIZONTAL SEPARATION DISTANCE OF 24".

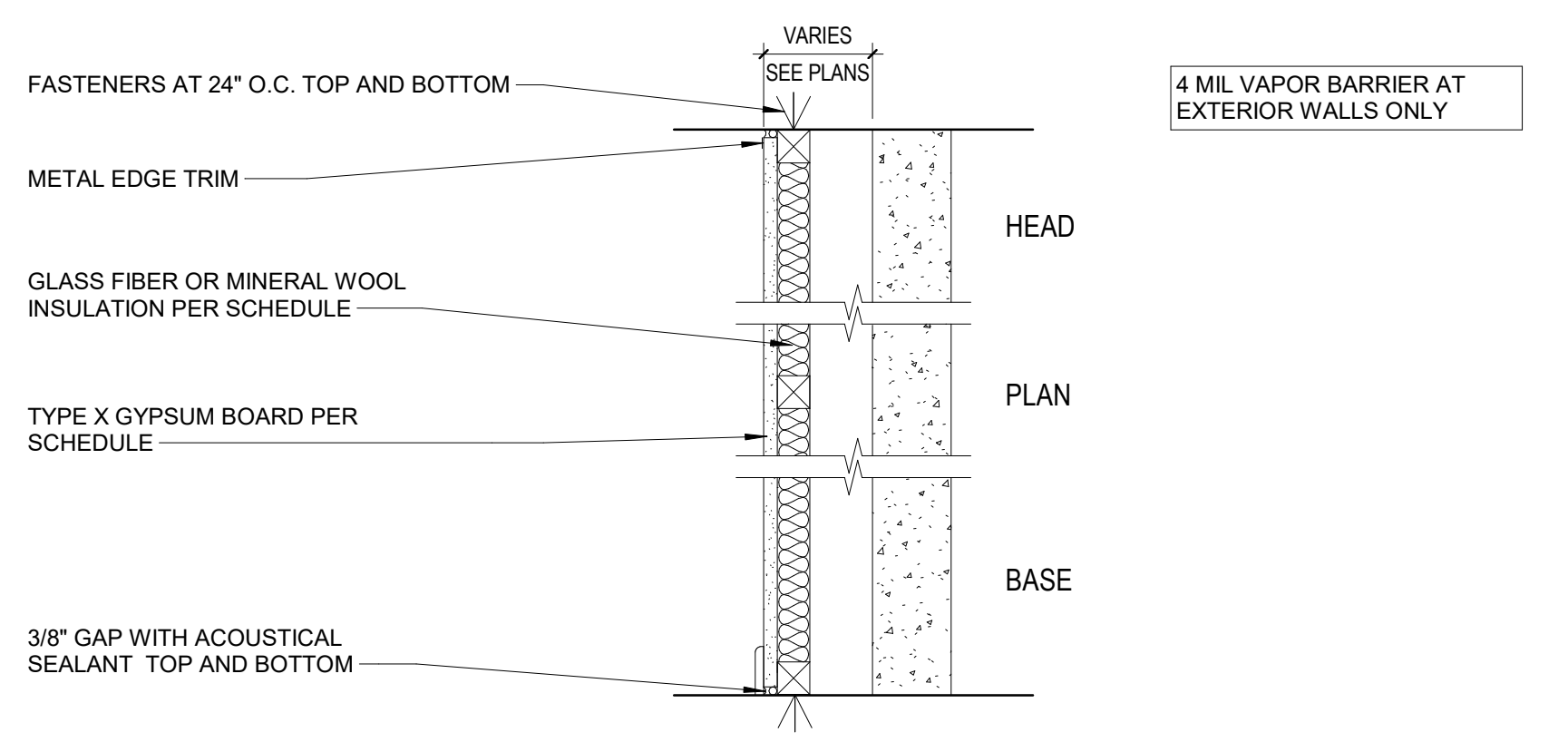
SEAL ALL OUTLETS WITH BOX PADS AND ACOUSTICAL SEALANT

COMPLETELY SEAL ALL GAPS. USE A CONTINUOUS LINE OF APPROVED PLIABLE ACOUSTICAL SEALANT. SEALANT TO BE MAX. 3/4" IN WIDTH AND IS TO FILL ALL GAPS BETWEEN PARTITION ASSEMBLY AND CEILING CONDITIONS BOTH SIDES TOP AND BOTTOM, TYP.

Type Mark	Stud Size	Stud Spacing	Maximum Height	Fire Rating	Insulation Thickness	STC Rating	Width	Comments
4A	2x6	16" O.C.	-	1 HR, UL U305	3 1/2"	-	8 1/4"	1 LAYER CORRIDOR SIDE/ 2 LAYERS ROOM SIDE
4B	2x4	16" O.C.	-	1 HR, UL U305	3 1/2"	-	1' - 0 1/4"	1 LAYER CORRIDOR SIDE/ 2 LAYERS ROOM SIDE
4C	2x6	16" O.C.	-	1 HR, UL U305	3 1/2"	-	6 1/4"	1 LAYER CORRIDOR SIDE/ 2 LAYERS ROOM SIDE

4 RATED PARTITION WITH RESILIENT CHANNEL

1-1/2" = 1'-0"

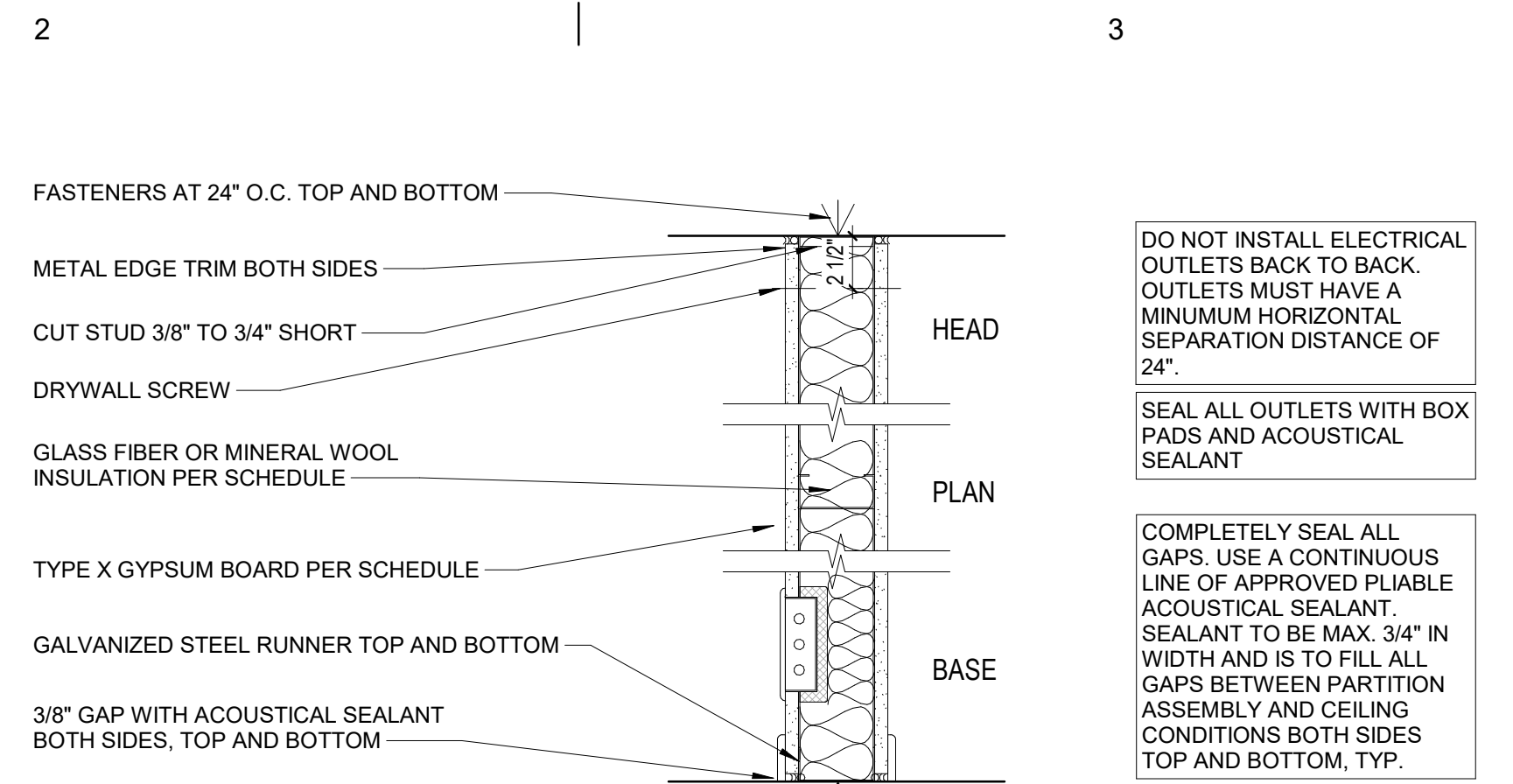


4 MIL VAPOR BARRIER AT EXTERIOR WALLS ONLY

Type Mark	Stud Size	Stud Spacing	Maximum Height	Fire Rating	Insulation Thickness	STC Rating	Width	Comments
7A	2x2	16" O.C.	-	NR	2 1/2" MAX.	-	2 1/8"	1 LAYER 5/8" GYP.BD. ROOM SIDE
7B	2x4	16" O.C.	-	NR	3 1/2"	-	4 1/8"	1 LAYER 5/8" GYP.BD. ROOM SIDE
7C	2x4	16" O.C.	-	NR	3 1/2"	-	6 1/8"	1 LAYER 5/8" GYP.BD. ROOM SIDE

7 UNRATED FURRING

1-1/2" = 1'-0"



DO NOT INSTALL ELECTRICAL OUTLETS BACK TO BACK. OUTLETS MUST HAVE A MINIMUM HORIZONTAL SEPARATION DISTANCE OF 24".

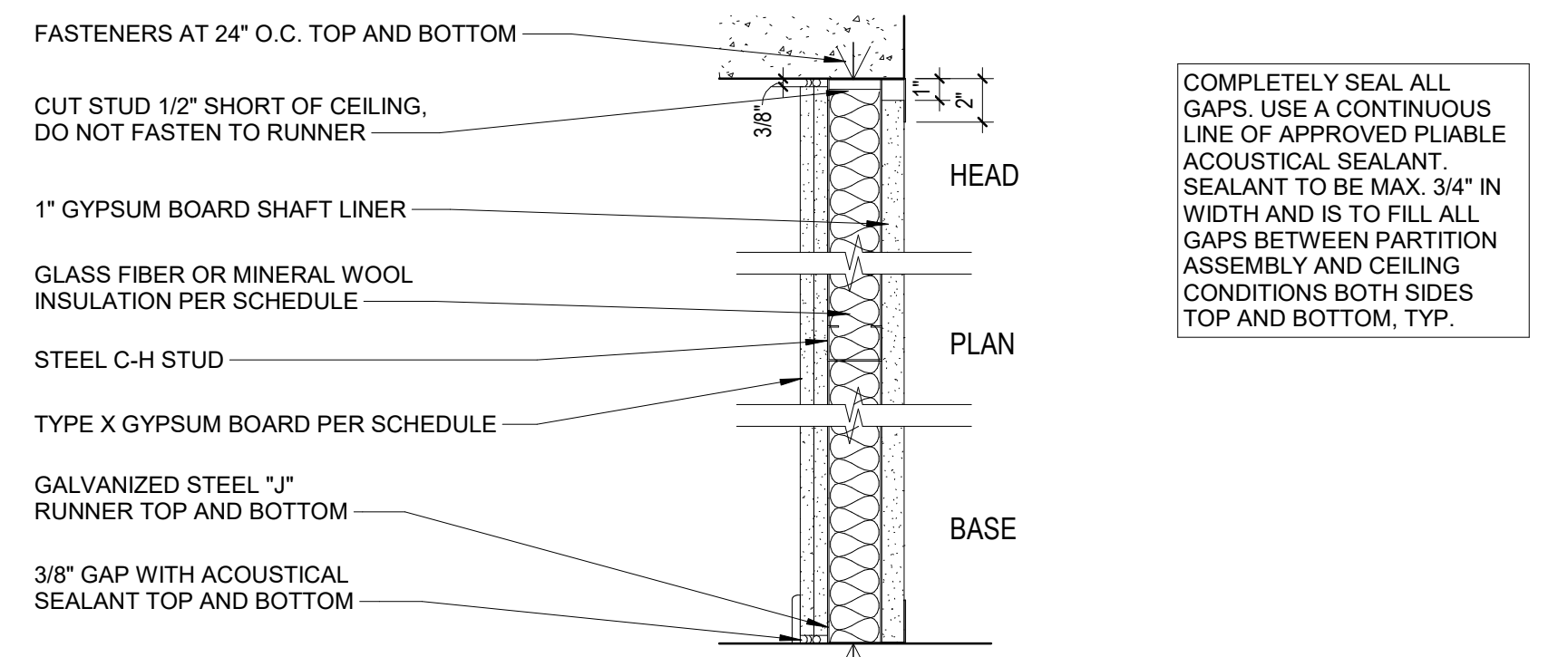
SEAL ALL OUTLETS WITH BOX PADS AND ACOUSTICAL SEALANT

COMPLETELY SEAL ALL GAPS. USE A CONTINUOUS LINE OF APPROVED PLIABLE ACOUSTICAL SEALANT. SEALANT TO BE MAX. 3/4" IN WIDTH AND IS TO FILL ALL GAPS BETWEEN PARTITION ASSEMBLY AND CEILING CONDITIONS BOTH SIDES TOP AND BOTTOM, TYP.

Type Mark	Stud Size	Stud Spacing	Maximum Height	Fire Rating	Insulation Thickness	STC Rating	Width	Comments
2A	6" 25GA	24" O.C.	13'-9"	1 HR, UL U419	5 1/2"	7 1/4"	7 1/4"	1 LAYER 5/8" GYP. BD. EACH SIDE
2B	3 5/8" 25GA	24" O.C.	13'-9"	1 HR, UL U419	3 1/2"	4 7/8"	4 7/8"	1 LAYER 5/8" GYP. BD. EACH SIDE

2 RATED PARTITION

1-1/2" = 1'-0"

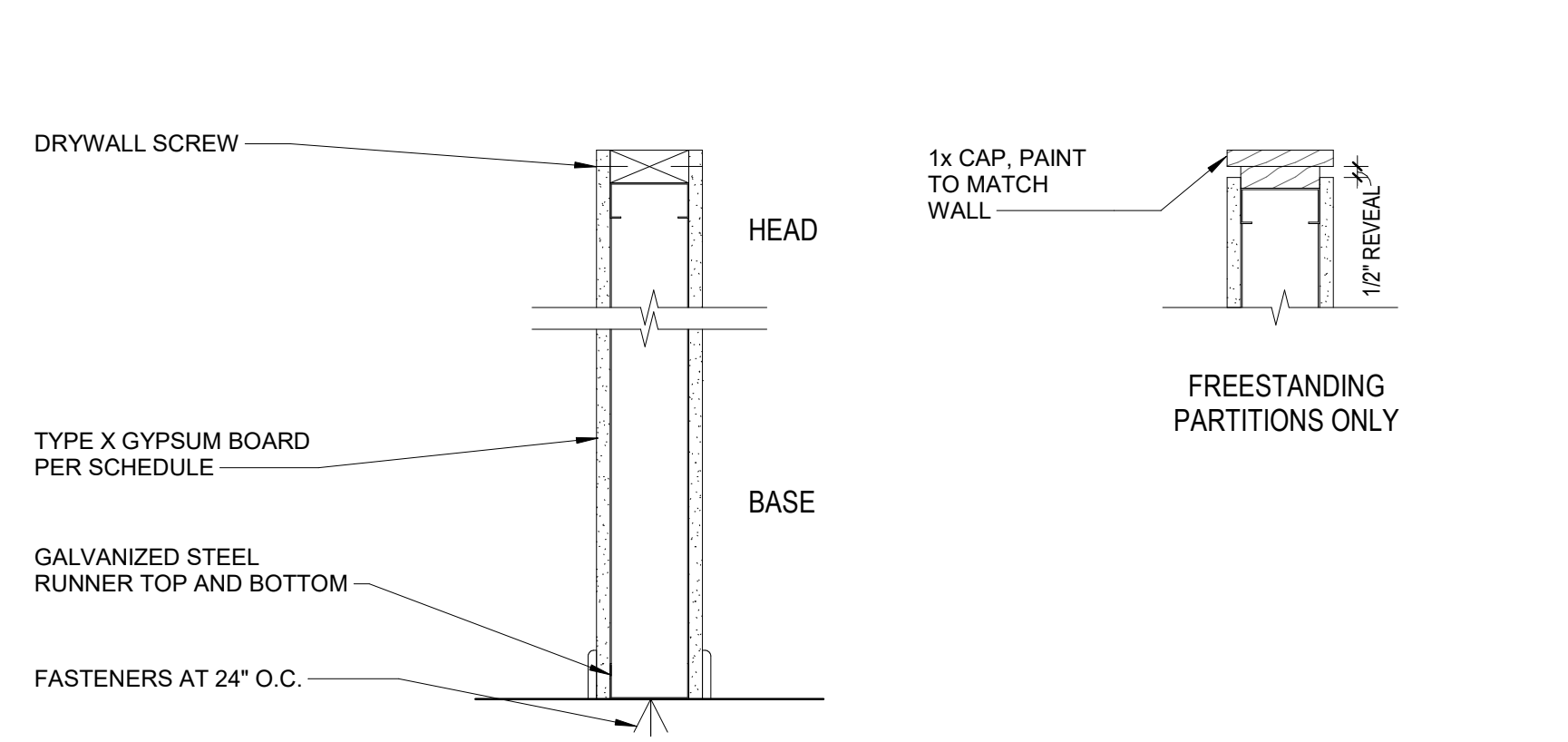


COMPLETELY SEAL ALL GAPS. USE A CONTINUOUS LINE OF APPROVED PLIABLE ACOUSTICAL SEALANT. SEALANT TO BE MAX. 3/4" IN WIDTH AND IS TO FILL ALL GAPS BETWEEN PARTITION ASSEMBLY AND CEILING CONDITIONS BOTH SIDES TOP AND BOTTOM, TYP.

Type Mark	Stud Size	Stud Spacing	Maximum Height	Fire Rating	Insulation Thickness	STC Rating	Width	Comments
5A	2 1/2" 25GA	24" O.C.	12'-4" @ 5 psf	2 HR, UL U415-B	2 1/2"	3 3/4"	3 3/4"	2 LAYERS 5/8" GYP. BD. ROOM SIDE

5 RATED SHAFT PARTITION

1-1/2" = 1'-0"



1x CAP. PAINT TO MATCH WALL

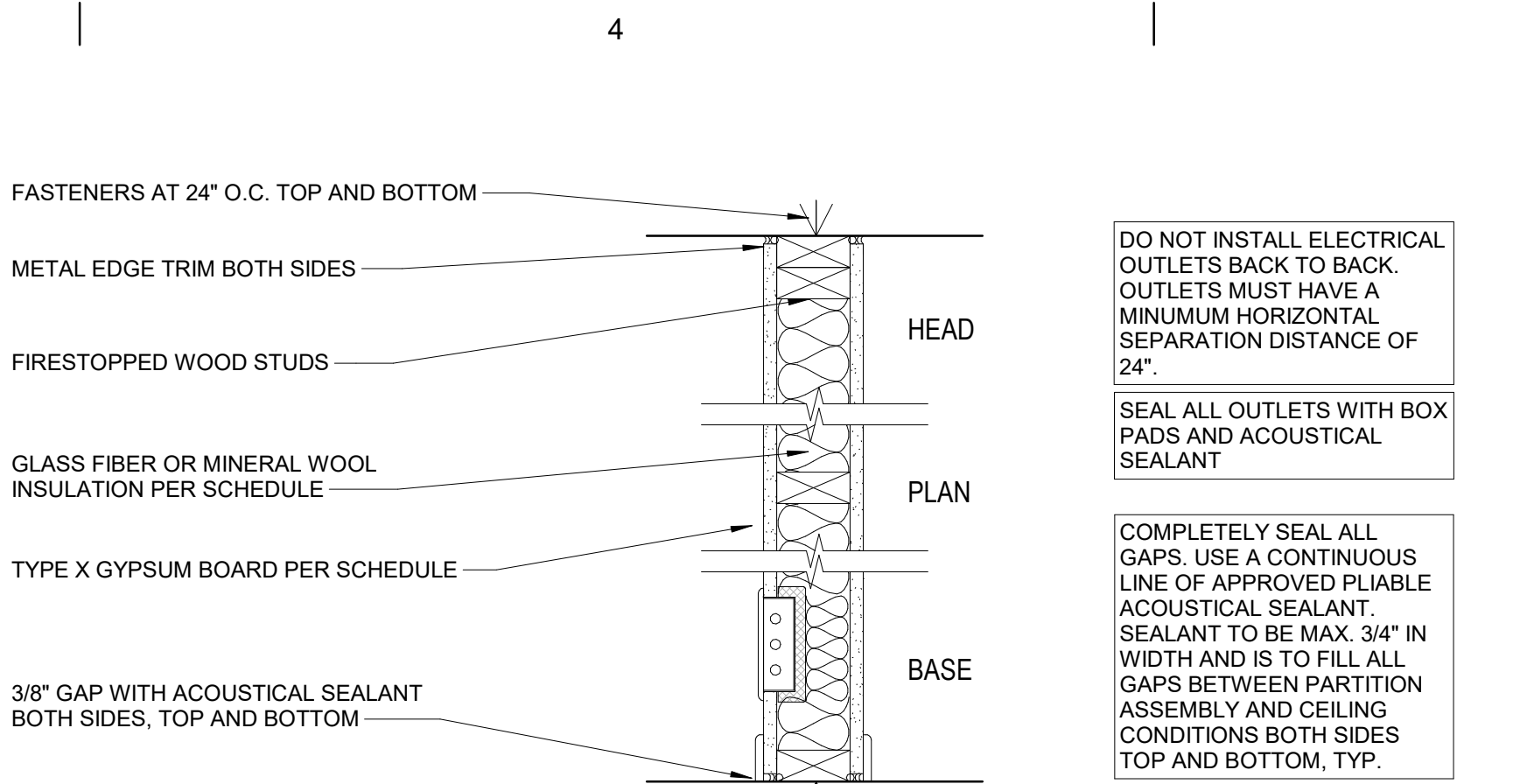
1/2" REVEAL

FREESTANDING PARTITIONS ONLY

Type Mark	Stud Size	Stud Spacing	Maximum Height	Fire Rating	Insulation Thickness	STC Rating	Width	Comments
8A	7/8"	16" O.C.	-	NR	-	-	4 1/4"	1 LAYER 5/8" GYP.BD. ROOM SIDE

8 PARTIAL HEIGHT PARTITION

1-1/2" = 1'-0"



DO NOT INSTALL ELECTRICAL OUTLETS BACK TO BACK. OUTLETS MUST HAVE A MINIMUM HORIZONTAL SEPARATION DISTANCE OF 24".

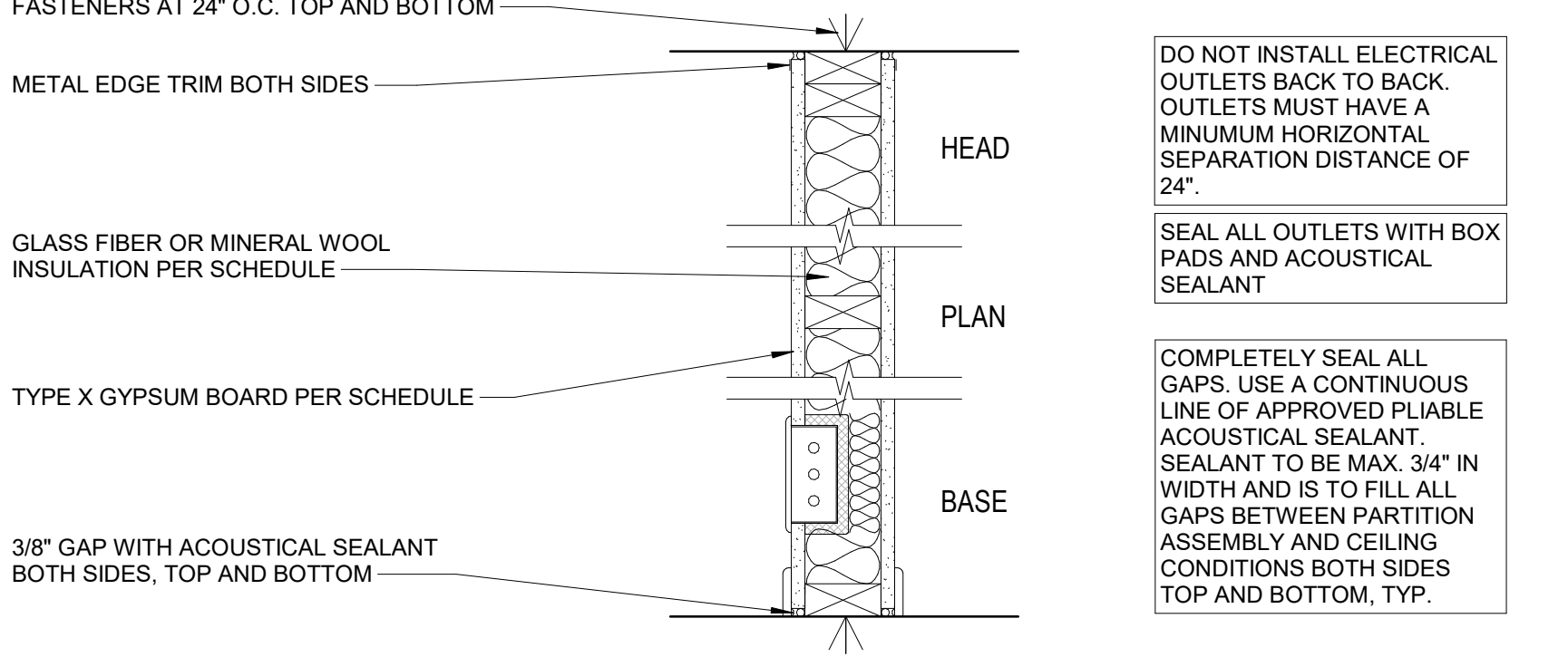
SEAL ALL OUTLETS WITH BOX PADS AND ACOUSTICAL SEALANT

COMPLETELY SEAL ALL GAPS. USE A CONTINUOUS LINE OF APPROVED PLIABLE ACOUSTICAL SEALANT. SEALANT TO BE MAX. 3/4" IN WIDTH AND IS TO FILL ALL GAPS BETWEEN PARTITION ASSEMBLY AND CEILING CONDITIONS BOTH SIDES TOP AND BOTTOM, TYP.

Type Mark	Stud Size	Stud Spacing	Maximum Height	Fire Rating	Insulation Thickness	STC Rating	Width	Comments
3A	2x4	16" O.C.	-	1 HR, UL U305	3 1/2"	-	10 1/2"	1 LAYER 5/8" GYP. BD. EACH SIDE
3B	2x4	16" O.C.	-	1 HR, UL U305	3 1/2"	-	10 1/2"	1 LAYER 5/8" GYP. BD. EACH SIDE

3 RATED PARTITION

1-1/2" = 1'-0"



DO NOT INSTALL ELECTRICAL OUTLETS BACK TO BACK. OUTLETS MUST HAVE A MINIMUM HORIZONTAL SEPARATION DISTANCE OF 24".

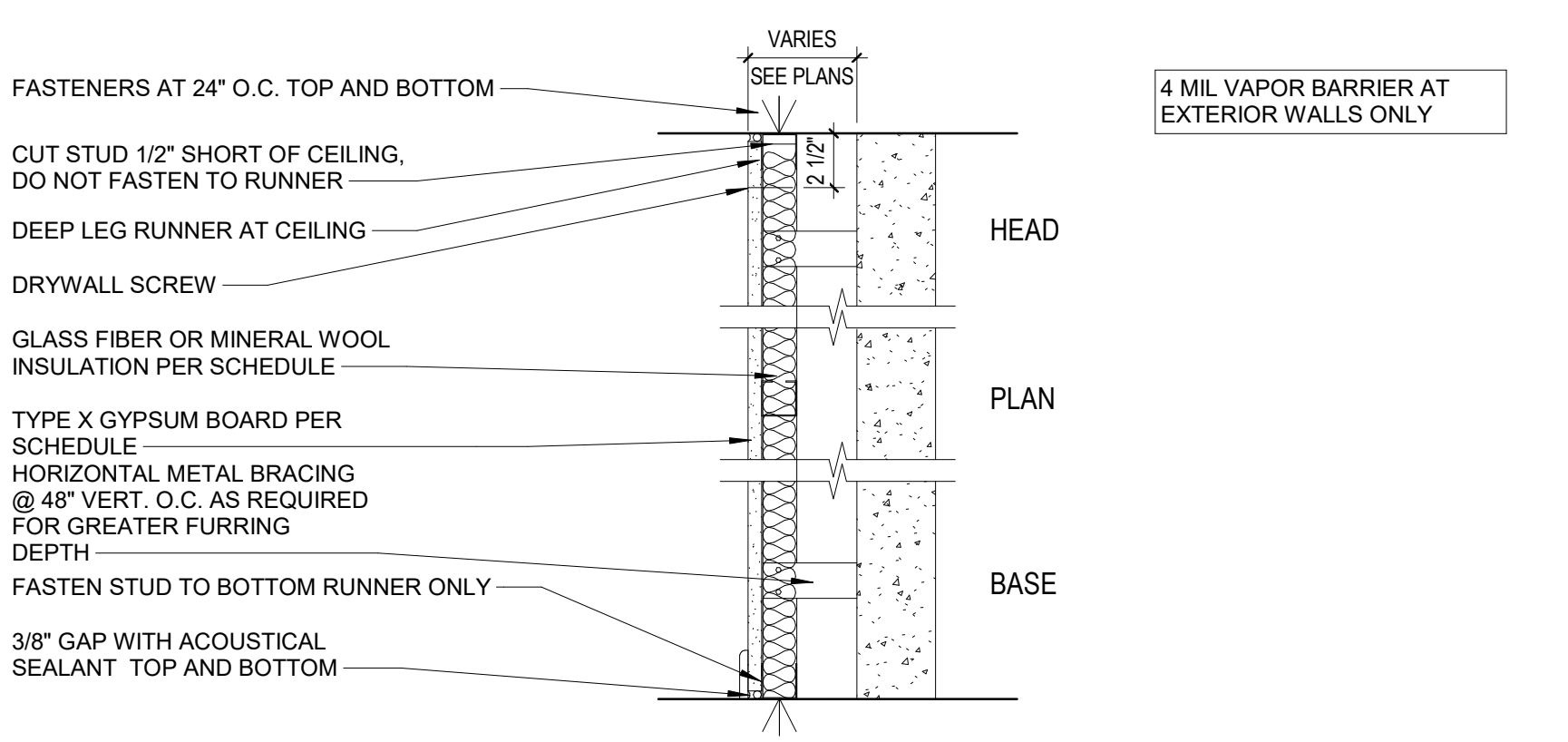
SEAL ALL OUTLETS WITH BOX PADS AND ACOUSTICAL SEALANT

COMPLETELY SEAL ALL GAPS. USE A CONTINUOUS LINE OF APPROVED PLIABLE ACOUSTICAL SEALANT. SEALANT TO BE MAX. 3/4" IN WIDTH AND IS TO FILL ALL GAPS BETWEEN PARTITION ASSEMBLY AND CEILING CONDITIONS BOTH SIDES TOP AND BOTTOM, TYP.

Type Mark	Stud Size	Stud Spacing	Maximum Height	Fire Rating	Insulation Thickness	STC Rating	Width	Comments
6A	2x4	16" O.C.	-	NR	3 1/2"	4 3/4"	4 3/4"	1 LAYER 5/8" GYP. BD. EACH SIDE
6B	2x6	16" O.C.	-	NR	3 1/2"	6 3/4"	6 3/4"	1 LAYER 5/8" GYP. BD. EACH SIDE
6C	2x4	16" O.C.	-	NR	-	10"	10"	STAGGERED STUD, 1 LAYER 5/8" GYP. BD. EACH SIDE

6 UNRATED PARTITION

1-1/2" = 1'-0"



4 MIL VAPOR BARRIER AT EXTERIOR WALLS ONLY

Type Mark	Stud Size	Stud Spacing	Maximum Height	Fire Rating	Insulation Thickness	STC Rating	Width	Comments
9A	7/8"	16" O.C.	-	NR	-	1 1/2"	1 1/2"	1 LAYER 5/8" GYP.BD. ROOM SIDE
9B	2 1/2" 25GA	16" O.C.	-	NR	2 1/2" MAX.	3 1/8"	3 1/8"	1 LAYER 5/8" GYP.BD. ROOM SIDE

9 UNRATED FURRING

1-1/2" = 1'-0"

PARTITION NOTES

- ALL RATED WALLS TO HAVE FIRE CODE GYPSUM BOARD - TYPICAL.
- ALL WOOD FRAMING, BLOCKING, AND SHEATHING WITHIN NON-BEARING PARTITIONS WITHIN TYPE I-A CONSTRUCTION SHALL BE FIRE RETARDANT TREATED WOOD.
- ALL WOOD FRAMING, BLOCKING AND SHEATHING IN EXTERIOR WALLS SHALL BE FIRE RETARDANT TREATED WOOD.
- ALL WOOD SHEATHING IN SHEAR WALLS AND BEARING WALLS WITHIN TYPE II-A CONSTRUCTION SHALL BE FIRE RETARDANT TREATED WOOD.
- PROVIDE WOOD BLOCKING FOR GRAB BARS IN WALLS AT ALL WATER CLOSETS, TUBS AND SHOWERS TO MEET FAIR HOUSING ACT AND ILLINOIS ACCESSIBILITY CODE. TYPICAL FOR ALL BATHROOMS.
- PROVIDE WOOD BLOCKING FOR ALL CABINETS IN KITCHENS.
- ALL CONCRETE MASONRY UNIT (CMU) PARTITIONS AND WALLS, AND CMU AND GYPSUM WALL BOARD SHAFT WALLS, SHALL EXTEND FROM THE FLOOR TO THE UNDERSIDE OF STRUCTURE, UNLESS NOTED OTHERWISE.
- ALL PARTITION ASSEMBLIES REQUIRING EITHER AN ACOUSTICAL RATING OR A FIRE RESISTANCE RATING SHALL EXTEND FROM FLOOR TO THE UNDERSIDE OF STRUCTURE ABOVE, OR IF INDICATED TO THE UNDERSIDE OF A FIRE RESISTANCE RATED HORIZONTAL ASSEMBLY ABOVE. THESE PARTITIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS AND THE REQUIREMENTS OF APPLICABLE CODES AND GOVERNING AUTHORITIES.
- ALL CMU PARTITIONS AND WALLS IN PARKING GARAGE: GROUT SOLID TO MINIMUM OF 2'-0" ABOVE LEVEL OF THE SLAB. PROVIDE #4 VERTICAL REINFORCING BARS FULL HEIGHT OF PARTITIONS AND WALLS AT 24" O.C. GROUT CELLS SOLID AT VERTICAL REINFORCING. PROVIDE GALV. HORIZONTAL LADDER TYPE REINFORCING AT 16" O.C.
- ELECTRICAL OUTLET JUNCTION BOXES IN DEMISING WALLS MAY NOT BE PLACED BACK TO BACK - MUST HAVE A MINIMUM HORIZONTAL SEPARATION OF 24". PROVIDE ACOUSTICAL SEAL AROUND ALL EDGES OF BOX PENETRATION IN ADDITION TO 3M TYPE MPP-4S+ MOLDABLE PUTTY OUTLET BOX PADS, OR APPROVED EQUAL.
- SEE STRUCTURAL DRAWINGS FOR LOAD-BEARING AND SHEAR WALLS FOR STUD AND PLATE FRAMING SIZE, SPACING, SPECIES, AND QUANTITY, PLYWOOD LOCATIONS AND NAILING PATTERN, AND PLATE ANCHORAGE.
- WHERE WALL FINISH IS WALL TILE IN KITCHENS AND BATHROOMS, PROVIDE TYPE X GLASS-MAT WATER RESISTANT GYPSUM BACKER BOARD FOR ALL LAYERS BEHIND THE TILE INSTEAD OF TYPE X GYPSUM BOARD. SEE PARTITION SCHEDULES FOR ADDITIONAL INFORMATION.
- AT SHOWER BASIN WALLS, PROVIDE VAPOR-RETARDER MEMBRANE.

FitzGerald
Associates Architects
912 W. Lake St. Chicago, Illinois
t 312-563-9100
f 312-563-1919
www.fitzgeraldassociates.net

CONSULTANT:

11144
Ravinia

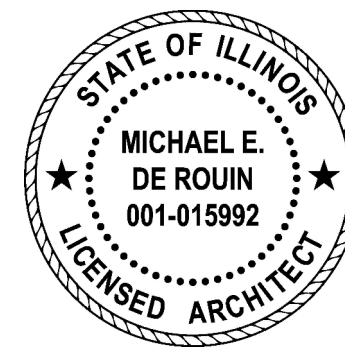
515-555 Roger Williams Avenue Highland Park, IL 60035

CLIENT:
Imperial Realty Co.

4747 W. Peterson Ave. Suite 200 Chicago, IL 60646

1 Permit Corrections 01 02/01/18
Issue for Permit / Bid 03/24/17
Issue for Design Development 11/12/14

DESCRIPTION DATE



PARTITION SCHEDULE AND DETAILS

A6-01

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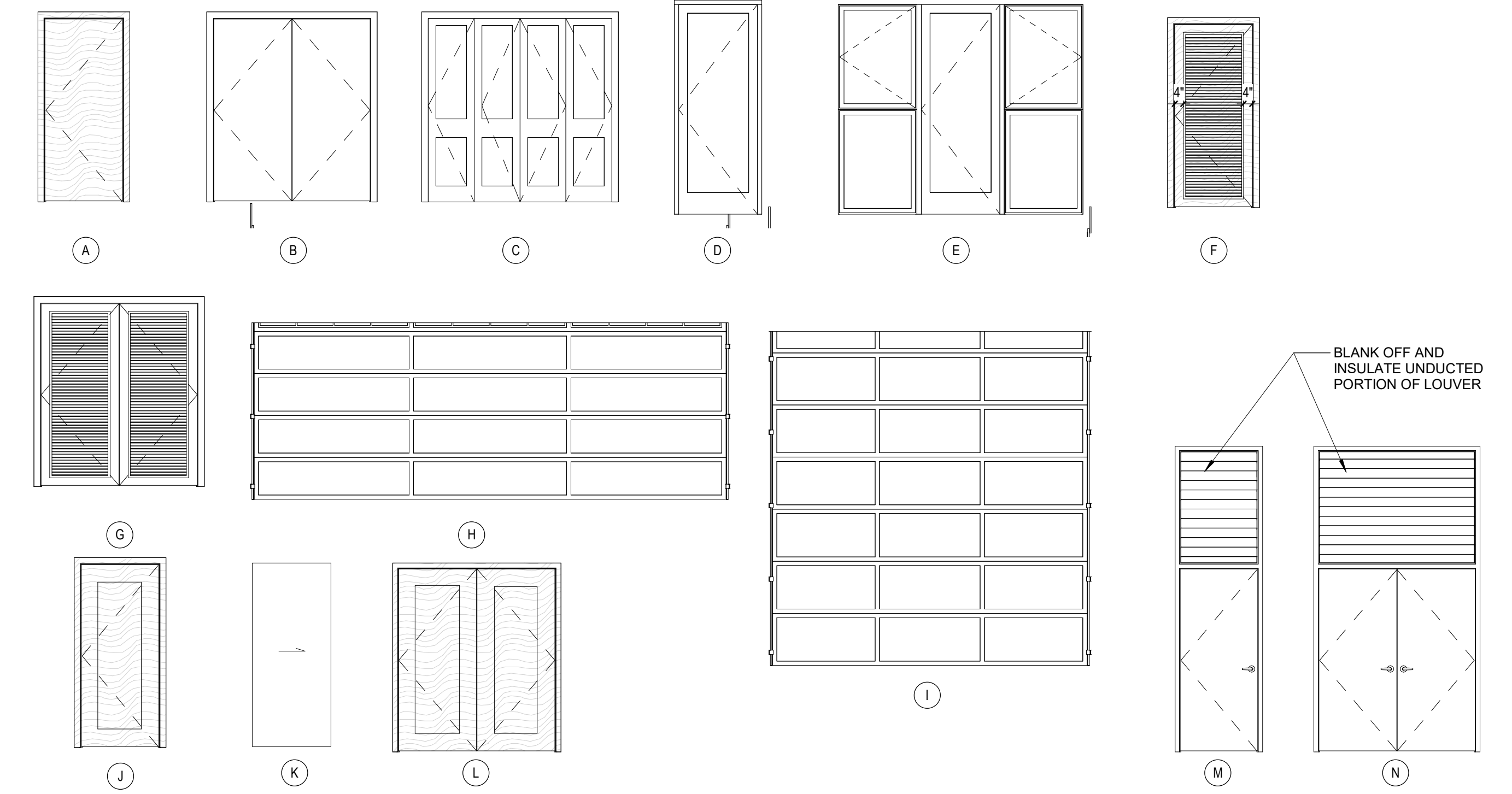
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DOOR SCHEDULE												
ROOM #	DOOR #	ELEVATION	WIDTH	DOOR HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	FIRE RATING	LOCATION	NOTES
01 FIRST LEVEL												
100	1	H	18'-0"	8'-0"	1 3/4"	AL	-	AL	-	-	PARKING	
100	2	H	18'-0"	8'-0"	1 3/4"	AL	-	AL	-	-	PARKING	
100	3	H	18'-0"	8'-0"	1 3/4"	AL	-	AL	-	-	PARKING	
100	4	H	18'-0"	8'-0"	1 3/4"	AL	-	AL	-	-	PARKING	
100	5	H	18'-0"	8'-0"	1 3/4"	AL	-	AL	-	-	PARKING	
100	6	H	18'-0"	8'-0"	1 3/4"	AL	-	AL	-	-	PARKING	
100	7	H	18'-0"	8'-0"	1 3/4"	AL	-	AL	-	-	PARKING	
100	8	I	12'-0"	14'-0"	1 3/4"	AL	-	AL	-	-	PARKING	
100	9	M	3'-0"	7'-0"	1 3/4"	HM	PT	HM	PT	3 HR	PARKING	1
101	1	A	3'-0"	7'-0"	1 3/4"	HM	PT	HM	PT	1 1/2 HR	RESIDENTIAL LOBBY	1
101A	1	-	3'-0"	8'-0"	1 3/4"	AL / GLASS	-	AL	-	-	VESTIBULE	1
101A	2	-	3'-0"	8'-0"	1 3/4"	AL / GLASS	-	AL	-	-	VESTIBULE	1
101B	1	A	3'-0"	7'-0"	1 3/4"	WD	PT	WD	PT	-	PACKAGE	1, 6
105	1	A	3'-0"	7'-0"	2"	HM	-	HM	-	1 1/2 HR	ELEV. MACH.	1, 5
106	1	A	7'-0"	7'-0"	1 3/4"	HM	-	HM	-	1 1/2 HR	TRASH / RECYCLE	1
106	2	B	3'-0"	7'-0"	2"	HM	-	HM	-	1 1/2 HR	TRASH / RECYCLE	2
106	3	A	2'-6"	7'-0"	1 3/4"	HM	-	HM	-	-	TRASH / RECYCLE	1
107	1	N	6'-0"	7'-0"	1 3/4"	HM	-	HM	-	3 HR	FIRE PUMP	1, 5
108	1	A	3'-0"	7'-0"	2"	HM	-	HM	-	1 1/2 HR	ELEC. SWITCH GEAR	1, 5
109	1	A	3'-0"	7'-0"	2"	HM	-	HM	-	1 1/2 HR	ELEC. METER	1, 5
111	1	-	3'-0"	8'-0"	1 3/4"	AL / GLASS	-	AL	-	-	RETAIL 01	1
111	2	A	3'-0"	7'-0"	1 3/4"	HM	-	HM	-	1 1/2 HR	RETAIL 01	1
112	1	-	3'-0"	8'-0"	1 3/4"	AL / GLASS	-	AL	-	-	RETAIL 02	1
112	2	A	3'-0"	7'-0"	1 3/4"	HM	-	HM	-	1 1/2 HR	RETAIL 02	1
113	1	-	3'-0"	8'-0"	1 3/4"	AL / GLASS	-	AL	-	-	RETAIL 03	1
113	2	A	3'-0"	7'-0"	1 3/4"	HM	-	HM	-	1 1/2 HR	RETAIL 03	1
114	1	-	3'-0"	8'-0"	1 3/4"	AL / GLASS	-	AL	-	-	RETAIL 04	1
114	2	A	3'-0"	7'-0"	1 3/4"	HM	-	HM	-	1 1/2 HR	RETAIL 04	1
115	1	-	3'-0"	9'11/4"	1 3/4"	AL / GLASS	-	AL	-	-	RETAIL 04	1
115	2	A	3'-0"	7'-0"	1 3/4"	HM	-	HM	-	1 1/2 HR	RETAIL 05	1
117	1	B	4'-0"	7'-0"	1 3/4"	HM	PT	HM	PT	1 1/2 HR	GAS METER	1, 6
ST1	1	A	3'-6"	7'-0"	1 3/4"	HM	PT	HM	PT	1 1/2 HR	STAIR 1	1, 6
ST2	1	M	3'-0"	7'-0"	1 3/4"	HM	PT	HM	PT	1 1/2 HR	STAIR 2	1, 6
02 SECOND LEVEL - 04 FOURTH LEVEL												
ST1	1	A	3'-0"	7'-0"	2"	HM	PT	HM	PT	1 1/2 HR	STAIR 1	1
ST2	2	A	3'-0"	7'-0"	2"	HM	PT	HM	PT	1 1/2 HR	STAIR 2	1
X12	1	B	5'-0"	7'-0"	1 3/4"	HM	PT	HM	PT	1 1/2 HR	TRASH	2
X13	1	B	6'-0"	7'-0"	1 3/4"	HM	PT	HM	PT	1 1/2 HR	GAS METER	1
ROOF LEVEL												
ST1	3	A	3'-0"	7'-0"	2"	HM	PT	HM	PT	1 1/2 HR	STAIR 1	1

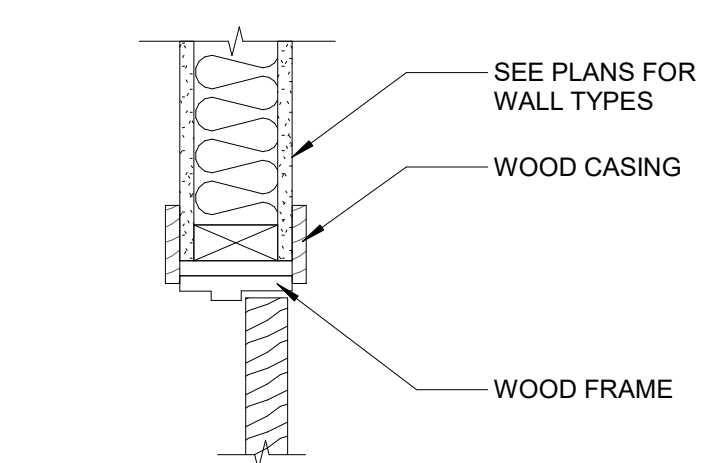
DOOR SCHEDULE - UNIT												
DOOR NUMBER	ELEVATION	WIDTH	DOOR HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	FIRE RATING	HARDWARE TYPE	LOCATION	NOTES
1	J	3'-0"	7'-0"	1 3/4"	WD	PT	HM	PT	20	-	ENTRY	1, 4
2	J	3'-0"	7'-0"	1 3/4"	WD	PT	WD	PT	-	-	BEDROOM	3
3	J	3'-0"	7'-0"	1 3/4"	WD	PT	WD	PT	-	-	BATHROOM	3
4.1	G	5'-0"	7'-0"	1 3/4"	WD	PT	WD	PT	-	-	FURNACE	3
4.2	G	4'-6"	7'-0"	1 3/4"	WD	PT	WD	PT	-	-	FURNACE	3
5.1	F	3'-0"	7'-0"	1 3/4"	WD	PT	WD	PT	-	-	LAUNDRY	3
5.2	G	4'-0"	7'-0"	1 3/4"	WD	PT	HM	PT	-	-	LAUNDRY	3
6.1	J	2'-6"	7'-0"	1 3/4"	WD	PT	WD	PT	-	-	CLOSET	3
6.2	J	3'-0"	7'-0"	1 3/4"	WD	PT	WD	PT	-	-	CLOSET	3
6.3	L	5'-0"	7'-0"	1 3/4"	WD	PT	WD	PT	-	-	CLOSET	3
6.4	L	6'-0"	7'-0"	1 3/4"	WD	PT	HM	PT	-	-	CLOSET	3
6.5	L	6'-0"	7'-0"	1 1/2"	WD	PT	WD	PT	-	-	CLOSET	3
6.6	C	7'-0"	7'-0"	1 1/2"	WD	PT	WD	PT	-	-	CLOSET	3
7.1	E	3'-0"	8'-0"	1 3/4"	GLASS / VINYL	PT	VINYL	PT	-	-	BALCONY	-
7.2	D	3'-0"	8'-0"	1 3/4"	GLASS / VINYL	PT	VINYL	PT	-	-	BALCONY	-
8	K	3'-0"	7'-0"	1 1/2"	WD	PT	WD	PT	-	-	BATHROOM	9
28		3'-0"	7'-0"	1 3/4"								

NOTES:
 1. CLOSER
 2. DELAYED CLOSER
 3. PRIMED AND PAINTED. SEMI-GLOSS FINISH
 4. PEEP HOLE
 5. KNURLED HANDLE
 6. FINISH COLOR TO MATCH PAINT OF ADJACENT WALL
 7. NOT USED
 8. HORIZONTAL SLIDING FIRE DOOR, REFER TO SPECIFICATION FOR INFORMATION. PAINT POCKET COVER DOOR TO MATCH WALL
 9. POCKET DOOR FOR UNIT 402 BATHROOM ONLY. PROVIDE ADA APPROVED HARDWARE FOR THIS POCKET DOOR.

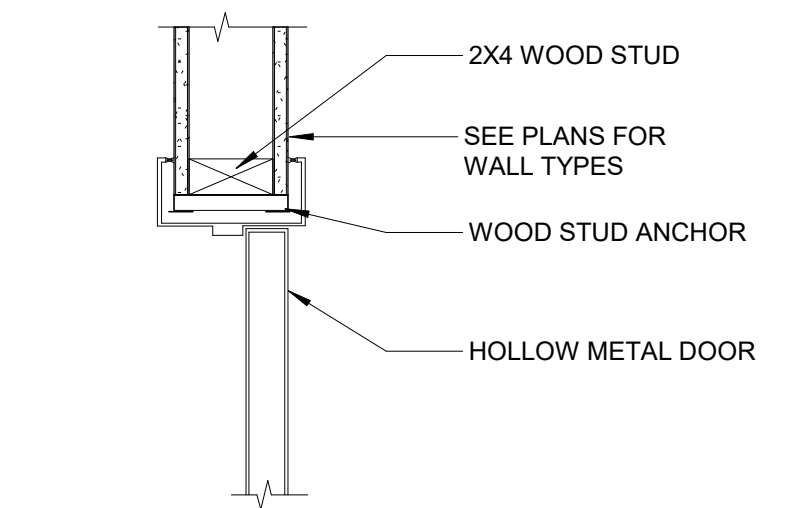
DOOR ELEVATION KEY



BLANK OFF AND INSULATE UNDUCTED PORTION OF LOUVER

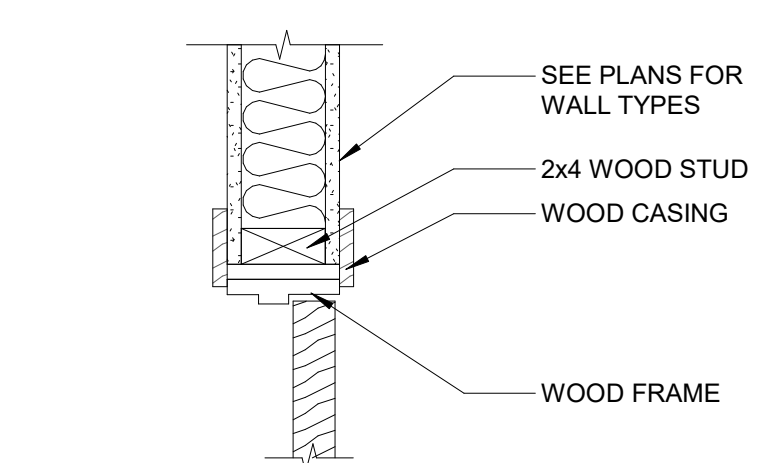


D3 TYP. INT. DOOR HEAD IN WOOD FRAMING
1 1/2" = 1'-0"

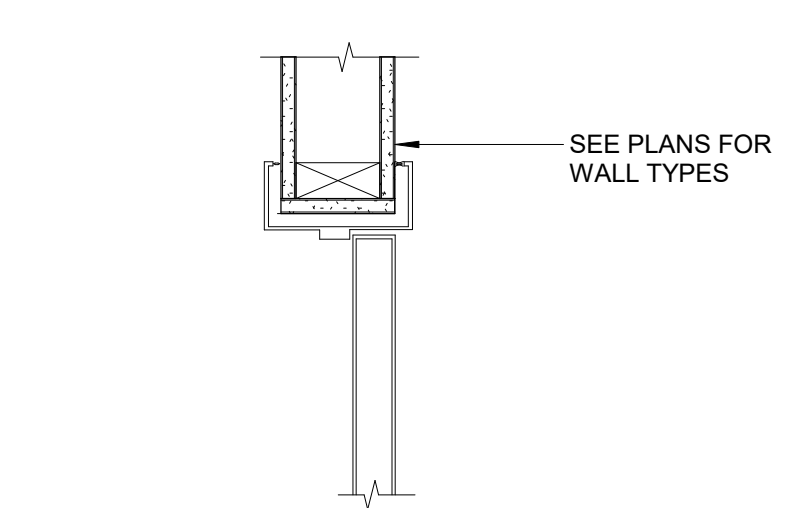


C3 TYP. CMU WALL DOOR HEAD
1 1/2" = 1'-0"

B3 TYP. CMU WALL DOOR HEAD
1 1/2" = 1'-0"

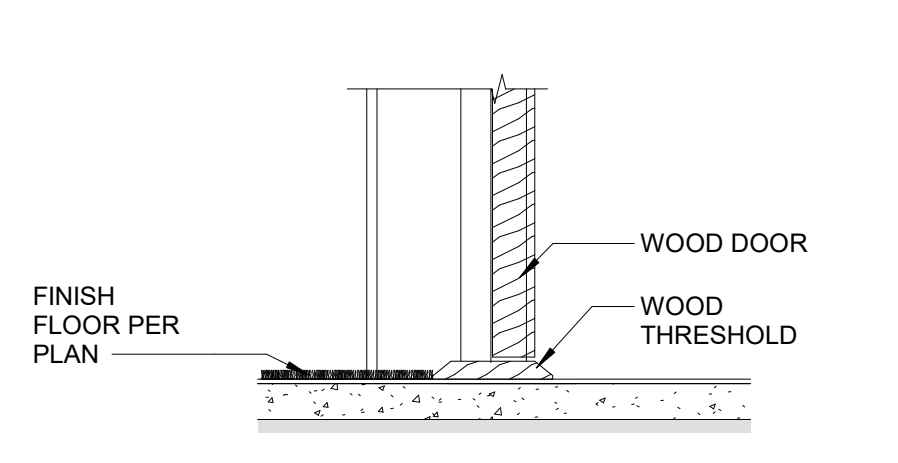


D4 TYP. INT. DOOR JAMB IN WOOD FRAMING
1 1/2" = 1'-0"

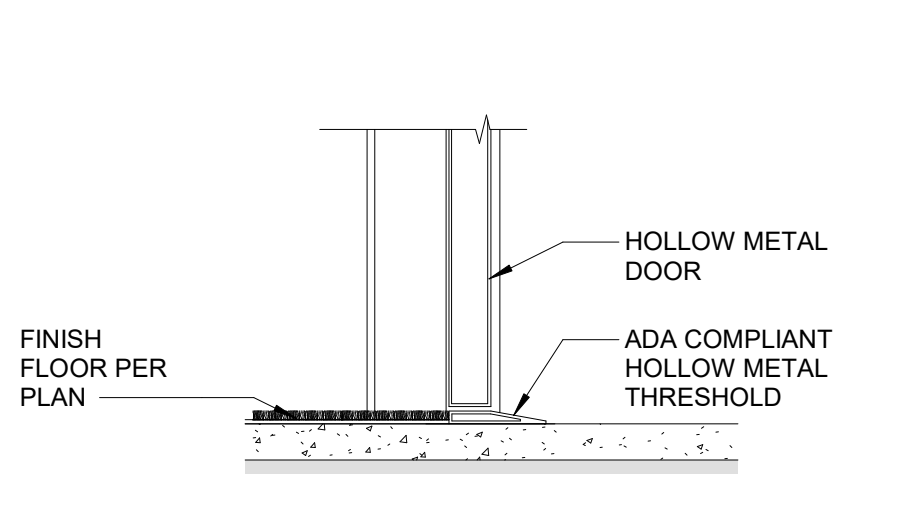


C4 TYP. CMU WALL DOOR JAMB
1 1/2" = 1'-0"

B4 TYP. CMU WALL DOOR JAMB
1 1/2" = 1'-0"

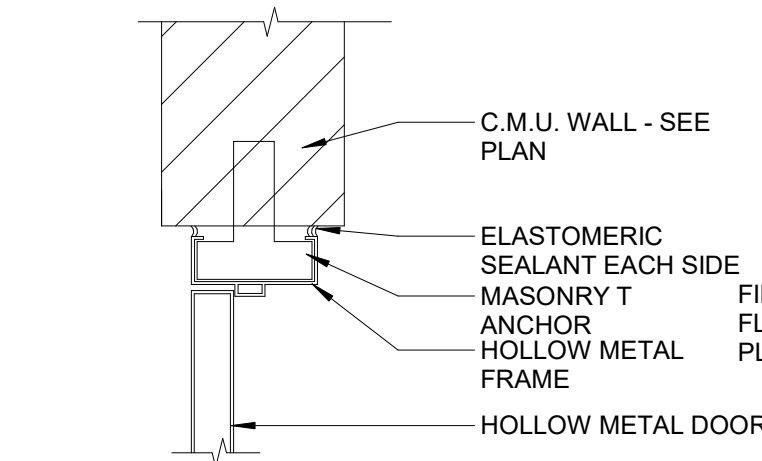


D5 TYP. INT. DOOR SILL IN WOOD FRAMING
1 1/2" = 1'-0"

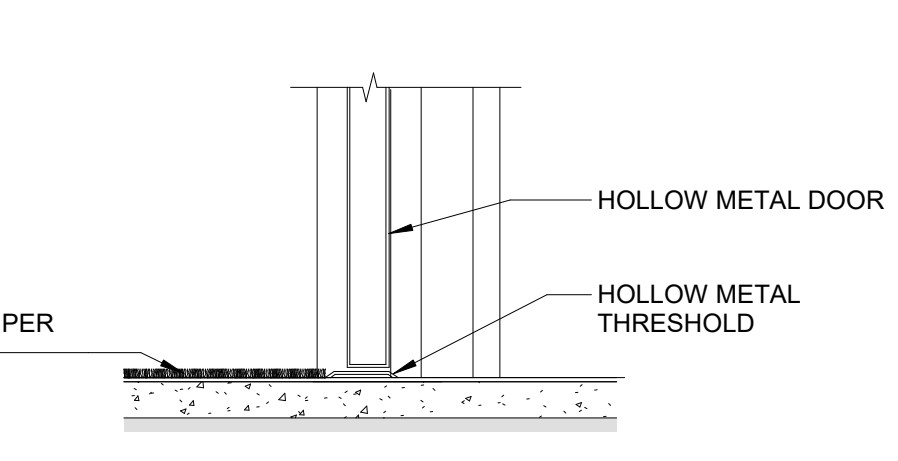


C5 TYP. HOLLOW METAL INT. DOOR SILL
1 1/2" = 1'-0"

B5 TYP. CMU WALL DOOR SILL
1 1/2" = 1'-0"



A4 TYP. WOOD BIFOLD DOOR HEAD
1 1/2" = 1'-0"



A5 TYP. WOOD BIFOLD DOOR SILL
1 1/2" = 1'-0"

DOOR NOTES

- ALL DOORS MUST BE KEYLESS IN THE DIRECTION OF EGRESS.
- ALL MEANS OF EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A SPECIAL KEY OR SPECIAL KNOWLEDGE OR SPECIAL EFFORT.
- EXIT DOORS MUST SWING IN THE DIRECTION OF EGRESS.
- NO ELECTROMAGNETIC LOCKING DEVICE SHALL BE INSTALLED OR OPERATED WITHOUT THE PRIOR APPROVAL OF THE FIRE PREVENTION BUREAU.
- HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. LEVER OPERATED MECHANISMS, PUSH-TYPE MECHANISMS AND U-SHAPED HANDLES ARE MORE ACCEPTABLE DESIGNS. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48 IN. ABOVE FINISHED FLOOR (ADAAG 4.13.9).
- IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3 IN. FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR (ADAAG 4.13.10).
- THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS:
 A. FIRE DOORS SHALL HAVE A MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY
 B. OTHER DOORS: EXTERIOR HINGED DOORS, 8.5 lbf; INTERIOR HINGED DOORS, 5 lbf; SLIDING OR FOLDING DOORS, 5 lbf
 C. THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT MAY HOLD THE DOOR IN A CLOSED POSITION (ADAAG 4.13.11).
- CONFIRM DOOR FUNCTION REQUIREMENTS AT ALL SCHEDULED OPENINGS WITH TENANT.
- G.C. TO COORDINATE KEYING WITH BUILDING MANAGEMENT AND TENANT. ALL SPECIAL LOCKING ARRANGEMENTS TO COMPLY WITH APPLICABLE BUILDING CODE REQUIREMENTS.
- FIELD VERIFY ALL DOOR SIZES PRIOR TO FABRICATION AND INSTALLATION.

FitzGerald
 Associates Architects
 912 W. Lake St. Chicago, Illinois
 t 312-563-9100 f 312-563-1919
 www.fitzgeraldassociates.net

CONSULTANT:
 11144
Ravinia
 515-555 Roger Williams Avenue
 Highland Park, IL 60035
 CLIENT:
 Imperial Realty Co.
 4747 W. Peterson Ave.
 Suite 200
 Chicago, IL 60646

1 Permit Corrections 01 02/01/18
 Issue for Permit / Bid 03/24/17
 Issue for Design Development 11/12/14

DESCRIPTION DATE



DOOR SCHEDULE AND DETAILS

A6-02

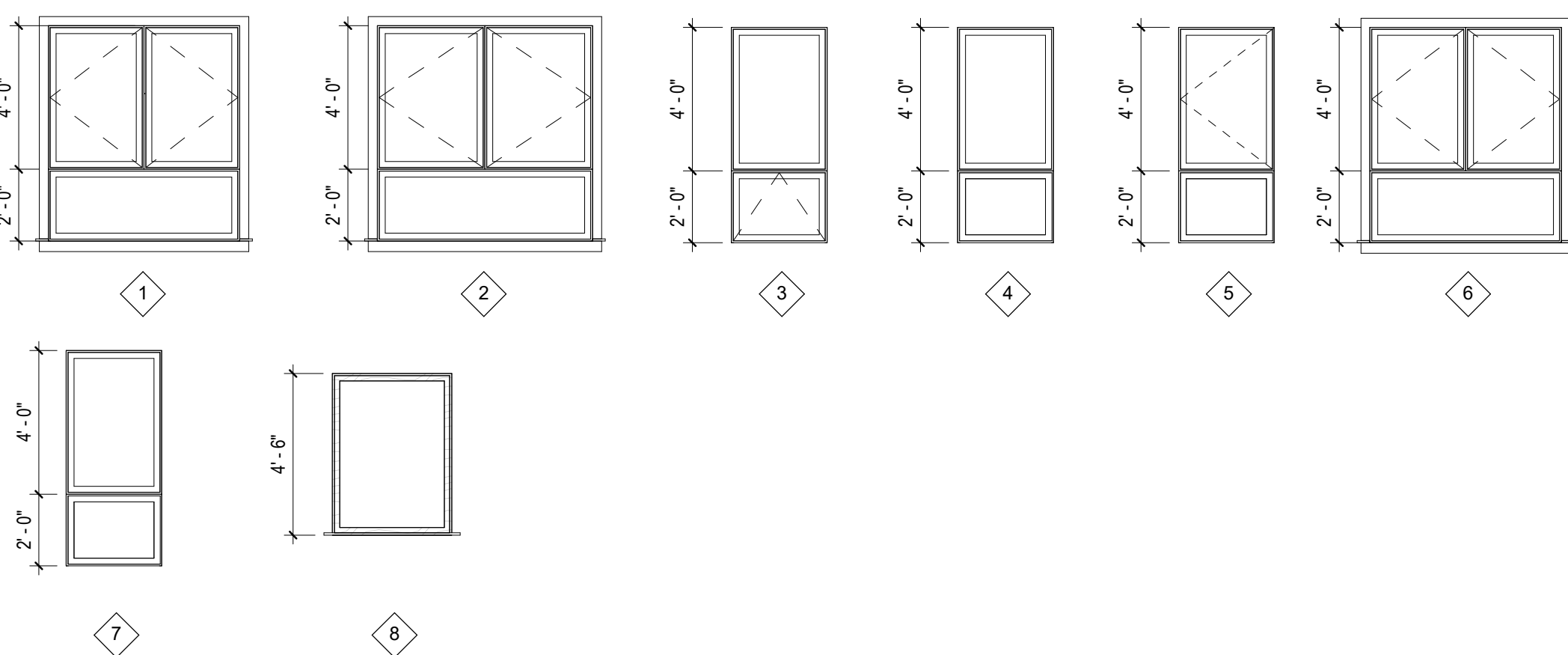
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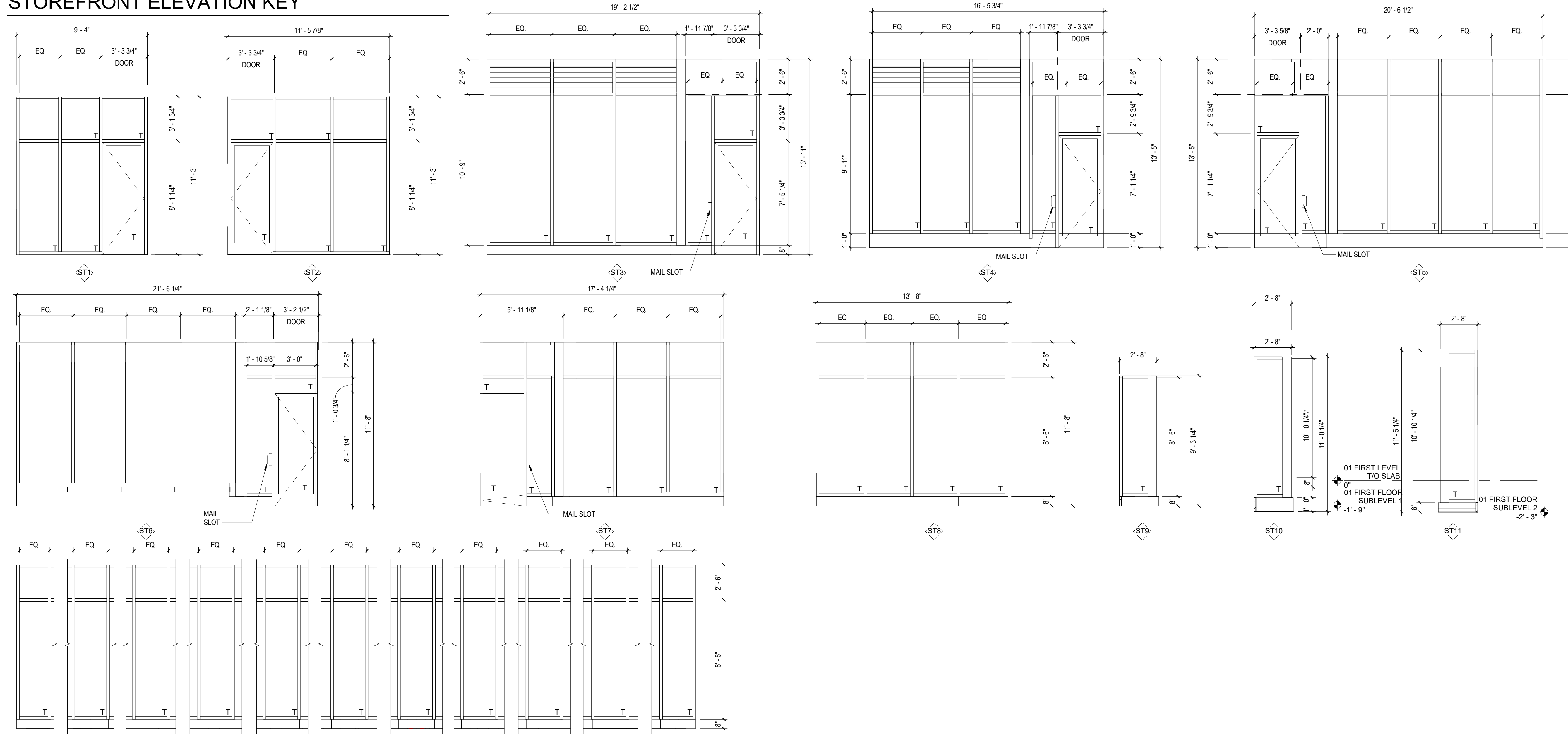
D

WINDOW SCHEDULE						
Type Mark	HEIGHT	WIDTH	SILL HEIGHT	WINDOW TYPE	FRAME TYPE	COMMENTS
1	6'-0"	5'-4"	2'-0"	CASEMENT/FIXED	WOOD	
3	6'-0"	2'-8"	2'-0"	FIXED/AWNING	METAL	
4	6'-0"	2'-8"	2'-0"	FIXED	METAL	
5	6'-0"	2'-8"	2'-0"	CASEMENT/FIXED	METAL	
6	6'-0"	5'-4"	2'-0"	FIXED	WOOD	
7	6'-0"	2'-8"	2'-0"	FIXED	METAL	
9	8'-0"	3'-0"	0"	FIXED	METAL	

WINDOW ELEVATION KEY



STOREFRONT ELEVATION KEY



*ELEVATION SHOWN IS GRAPHIC REPRESENTATION OF CURVED STOREFRONT SYSTEM. ELEVATIONS SHOWN PERPENDICULAR TO GLASS FACE FOR REFERENCE ONLY. VERIFY RADIUS AND OPENING PRIOR TO FABRICATION

LIGHT AND VENTILATION SCHEDULE							
AREA NAME	AREA	NATURAL LIGHT		NATURAL VENTILATION		MECHANICAL VENTILATION	
		REQUIRED (8%)	PROVIDED	REQUIRED (4%)	PROVIDED	REQUIRED	PROVIDED
UNIT 201							
BEDROOM	129 SF	10.3 SF	23.0 SF	5.1 SF	15.2 SF		
LIVING/KITCHEN	301 SF	24.0 SF	41.5 SF	12.0 SF	36.8 SF		
UNIT 202							
BEDROOM	154 SF	12.3 SF	23.0 SF	6.2 SF	15.2 SF		
LIVING/KITCHEN	284 SF	22.7 SF	41.5 SF	11.4 SF	36.8 SF		
UNIT 203							
BEDROOM 1	178 SF	14.3 SF	23.0 SF	7.1 SF	15.2 SF		
BEDROOM 2	141 SF	11.3 SF	23.0 SF	5.6 SF	15.2 SF		
LIVING/KITCHEN	383 SF	30.6 SF	41.5 SF	15.3 SF	36.8 SF		
UNIT 204							
BEDROOM 1	178 SF	14.3 SF	23.0 SF	7.1 SF	15.2 SF		
BEDROOM 2	142 SF	11.4 SF	23.0 SF	5.7 SF	15.2 SF		
LIVING/KITCHEN	388 SF	31.0 SF	41.5 SF	15.5 SF	36.8 SF		
UNIT 205							
BEDROOM 1	162 SF	13.0 SF	23.0 SF	6.5 SF	15.2 SF		
BEDROOM 2	166 SF	13.3 SF	23.0 SF	6.6 SF	15.2 SF		
LIVING/KITCHEN	385 SF	30.8 SF	41.5 SF	15.4 SF	36.8 SF		
UNIT 206							
BEDROOM 1	163 SF	13.0 SF	21.5 SF	6.5 SF	15.2 SF		
BEDROOM 2	129 SF	10.3 SF	21.5 SF	5.2 SF	15.2 SF		
LIVING/KITCHEN	404 SF	32.3 SF	41.5 SF	16.2 SF	22.4 SF		
UNIT 207							
BEDROOM	190 SF	15.2 SF	23.0 SF	7.6 SF	15.2 SF		
LIVING/KITCHEN	438 SF	35.1 SF	42.7 SF	17.5 SF	36.8 SF		
UNIT 208							
BEDROOM 1	178 SF	14.2 SF	23.0 SF	7.1 SF	15.2 SF		
BEDROOM 2	142 SF	11.3 SF	21.5 SF	5.7 SF	15.2 SF		
LIVING/KITCHEN	386 SF	30.9 SF	42.7 SF	15.5 SF	36.8 SF		
UNIT 209							
BEDROOM 2	142 SF	11.3 SF	23.0 SF	5.7 SF	15.2 SF		
BEDROOM 2	174 SF	13.9 SF	23.0 SF	7.0 SF	15.2 SF		
LIVING/KITCHEN	386 SF	30.9 SF	42.7 SF	15.5 SF	36.8 SF		
UNIT 210							
BEDROOM	139 SF	11.2 SF	11.2 SF	5.6 SF	7.6 SF		
LIVING/KITCHEN	298 SF	23.8 SF	42.7 SF	11.9 SF	36.8 SF		

WINDOW NOTES

- SEE WINDOW SPECIFICATIONS, DIVISION 8, FOR ALL WINDOW SYSTEM REQUIREMENTS.
 - SEE FLOOR PLANS FOR RIGHT AND LEFT HAND SWING DOOR LOCATIONS.
 - SEE EXTERIOR BUILDING ELEVATIONS FOR OPPOSITE HAND WINDOW CONFIGURATION LOCATIONS.
- SYMBOLS:
 J INDICATES TEMPERED SAFETY GLAZING
 — INDICATES DIRECTION OF OPERATION
- FRAMES:
 F-1: TBD
- GLAZING:
 G-1: TBD
- ACCESSORIES:
 A-1: TBD
- HARDWARE:
 H-1: TBD

FitzGerald
 Associates Architects
 912 W. Lake St. Chicago, Illinois
 t 312-563-9100 f 312-563-1919
 www.fitzgeraldassociates.net

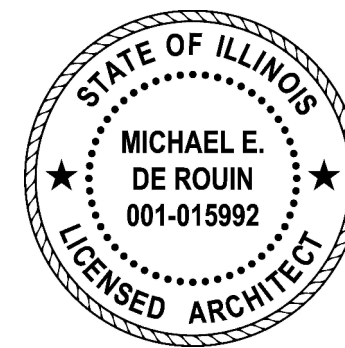
CONSULTANT:

11144
 Ravinia
 515-555 Roger
 Williams Avenue
 Highland Park, IL
 60035

CLIENT:
 Imperial Realty Co.
 4747 W. Peterson Ave.
 Suite 200
 Chicago, IL 60646

1 Permit Corrections 01 02/01/18
 Issue for Permit / Bid 03/24/17
 Issue for Design Development 11/12/14

DESCRIPTION DATE



WINDOW SCHEDULE AND DETAILS

A6-03

FINISH LEGEND								
KEY	DESCRIPTION	MANUFACTURER	PRODUCT NAME	PRODUCT NUMBER	COLOR	DIMENSION	LOCATION	NOTES
ACOUSTICAL CEILING PANEL								
ACP-1	ACOUSTICAL CEILING PANEL	ROCKFON	SONAR	SLP 16457	WHITE		RESIDENTIAL LOBBY	REFER TO RCP FOR LAYOUT
ACP-2	ACOUSTICAL CEILING PANEL	ROCKFON	SONAR	CDX 14061	WHITE		TYPICAL FLOOR CORRIDOR	
ACP-3	ACOUSTICAL CEILING PANEL	ROCKFON	SONAR	CDX 14600	WHITE		PACKAGE ROOM/ TRASH ROOM CORRIDOR	
CARPET								
CPT-1	CARPET	SHAW CONTRACT	HAZE TILE	ST037 37320	POETIC		CORRIDORS / STAIR 1 & 2 AT FLOOR LANDINGS 2,3,4	BRICK LAYOUT
CPT-2	CARPET	SHAW CONTRACT	SUITE ELEGANCE	PS669 00740	ANCIENT	COMMON BRICK	UNIT BEDROOMS	
CPT-3	CARPET	J+J INVISION	BRISK BROADLOOM	9718 588	FILTER		LOBBY INSET	
CPT-4	WALK-OFF MAT	MATSINC	SUPER NOP 52	-	GRIJISI/CHARCOAL		VESTIBULE, GARAGE ENTRANCE	
CASEWORK								
BC-1	BASE CABINET	BRISTOL DESIGN	QUEST	-	FUNDER-S498 ESPRESSO		UNIT KITCHENS	
BC-2	BASE CABINET	BRISTOL DESIGN	QUEST	-	FUNDER-S498 ESPRESSO		UNIT BATHROOMS	
UC-1	UPPER CABINET	BRISTOL DESIGN	QUEST	934-58	FORMICA-PEARL-HIG H GLOSS FINISH		UNIT KITCHENS	HIGH GLOSS FINISH
COUNTER								
QTZ-1	QUARTZ SLAB	CAESARSTONE	PROJECT	9141	ICE SNOW		LOBBY MAILBOX LEDGE, UNIT KITCHEN AND BATHROOM COUNTERTOPS	
FLOOR TILE								
PCT-1	PORCELAIN TILE FIELD	ERGON	ELEGANCE	EML EGBR 1224P	BROWN		LOBBY, VESTIBULE	
PCT-2	PORCELAIN TILE FIELD	ERGON	ELEGANCE	EML EGBE 1224P	BEIGE		LOBBY / STAIR 1 FLOOR 1	SCHLUTER STRIP CHROME ANO. ALUM. A100ACG
PCT-3	PORCELAIN TILE FIELD	ERGON	ELEGANCE	EML EGBE 1224R	BEIGE		UNIT BATHROOMS	
PAINT								
P-1	PAINT	BENJAMIN MOORE	CLASSIC COLORS	1541	LONDON FOG		LOBBY AND CORRIDOR	REFER TO FINISH PLAN
P-2	PAINT	BENJAMIN MOORE	CLASSIC COLORS	1548	CLASSIC GRAY		LOBBY, UNITS AND CORRIDOR	ALL WALLS UNLESS INDICATED ON FINISH PLAN
P-3	PAINT	BENJAMIN MOORE	CLASSIC COLORS	OC-57	WHITE HERON		TRIM, CASINGS, AND DOORS	AT ALL DOORS
P-4	PAINT	BENJAMIN MOORE	COLOR PREVIEW	PM-3	DECORATORS WHITE		STAIR 1, STAIR 2, TRASH CORRIDOR, GAS METER	
P-5	PAINT	BENJAMIN MOORE	CLASSIC COLORS	HC-124	CALDWELL GREEN		CORRIDOR UNIT RECESSES	
P-6	PAINT	BENJAMIN MOORE	CLASSIC COLORS	OC-57	WHITE HERON		INTERIOR & EXTERIOR CEILINGS, UNDERSIDE OF LINTEL	
SEALED CONCRETE								
SC-1	SEALED CONCRETE						PARKING, ELEC. SWITCH GEAR ROOM, FIRE PUMP, ELEV. MACH., TRASH, TRASH CORRIDOR, GAS METER, UNIT MECH. CLOSET	
VINYL PLANK								
VP-1	VINYL PLANK	KARNDÉAN	STANDARD WOOD PLANK	WP325	ARRADO		UNITS	STAGGERED PLANK LAYOUT
WALL BASE								
PCTB-1	PORCELAIN TILE BASE	ERGON	ELEGANCE	EML EGBR 1224P	BROWN		LOBBY, VESTIBULE	
PCTB-2	PORCELAIN TILE BASE	ERGON	ELEGANCE	EML EGBE 1224P	BEIGE		LOBBY	
PCTB-3	PORCELAIN TILE BASE	ERGON	ELEGANCE	EML EGBE 1224R	BEIGE		UNIT BATHROOMS	
WB-1	WALL BASE	METRIE	VERY SQUARE SCENE I	CVS1C2PMD	-		UNITS	
WB-2	WALL BASE	METRIE	VERY SQUARE SCENE I	CVS1B2PMD	P-2		CORRIDORS	
WB-3	WALL BASE	JOHNSONITE	TRADITIONAL WALL BASE	168	THUNDER		TRASH CORRIDOR, TRASH GAS METER STAIR1, STAIR 2, UNIT MECH. CLOSET	
WALL COVERING								
WC-1	WALLCOVERING	DL COUCH	VELOCITY	COL53345	-		LOBBY ACCENT WALL	
WALL CROWN								
CM-1	WALL CROWN	METRIE	VERY SQUARE SCENE II	CVS2W2PMD	-		LOBBY	REFER TO FINISH PLAN
WALL TILE								
CT-1	CERAMIC TILE	CROSSVILLE	COLOR BY NUMBERS	CRV WT03 48G	THREE HOUR TOUR	VARIES	UNIT BATHROOMS	
GT-1	GLASS TILE	CERAMIC TILE INTERNATIONAL	DEBUT	CTI DESO 312	SHORELINE		UNIT KITCHEN BACKSPLASH	
GT-2	GLASS TILE	LUNADA BAY TILE	TOZEN	-	STRONTIUM NATURAL		LOBBY COLUMN	

FINISH SCHEDULE- COMMON AREA							
ROOM NUMBER	ROOM NAME	FLOOR	FINISHES- COMMON AREAS			CEILING	COMMENTS
			BASE	WALL			
01 FIRST LEVEL T/O SLAB							
100	PARKING	SC-1	-	-	-	-	
101	RESIDENTIAL LOBBY	PCT-1/PCT-2/CPT-3/CPT-4	PCTB-1/PCTB-2	P-1/P-3/WC-1/GT-2	P-6, ACP-1, CM-1		
101A	VESTIBULE	PCT-1/CPT-4	PCTB-1	P-1/P-3	P-6		
101B	PACKAGE	PCT-2	PCTB-2	P-3	ACP-3		
105	ELEV. MACH. ROOM	SC-1	-	-	-		
106	TRASH/RECYCLE ROOM	SC-1	WB-3	-	-		
107	FIRE PUM	SC-1	-	-	-		
108	ELEC. SWITCH GEAR ROOM	SC-1	-	-	-		
109	ELEC. METER ROOM	SC-1	-	-	-		
116	TRASH CORRIDOR	SC-1	WB-3	P-4	ACP-3		
117	GAS METER ROOM	SC-1	WB-3	P-4	-		
118	UTILITY CL.						
ST1	STAIR 1	CPT-1	WB-3	P-4	P-4		
ST2	STAIR 2	RF-1	WB-3	P-4	P-4		
02 SECOND LEVEL T/O PRECAST PLANK							
X11	CORRIDOR	CPT-1	WB-2	P-1/P-2/P-5	ACP-2		REFER TO FINISH PLAN
X12	TRASH	CPT-1	WB-3	P-4	P-4		
X17	GAS METER	SC-1	WB-3	P-4	P-4		

FINISH SCHEDULE- UNITS								
ROOM NAME	FLOOR	BASE	WALL	BASE CABINET	UPPER CABINET	COUNTERTOP	CEILING	COMMENTS
KITCHEN	VP-1	WB-1	P-2	BC-1	UC-1	QTZ-1	P-6	BACKSPLASH GT-1
LIVING ROOM	VP-1	WB-1	P-2	-	-	QTZ-1	P-6	
CLOSET	VP-1	WB-1	P-2	-	-	QTZ-1	P-6	
MASTER BEDROOM	CPT-2	WB-1	P-2	-	-	-	P-6	
MASTER CLOSET	CPT-2	WB-1	P-2	-	-	-	P-6	
MASTER BATHROOM	PCT-3	PCTB-3	P-2	BC-2	-	QTZ-1	P-6	SHOWER/TUB SURROUND CT-1
BEDROOM 2	CPT-2	WB-1	P-2	-	-	-	P-6	
BEDROOM CLOSET	CPT-2	WB-1	P-2	-	-	-	P-6	
BATHROOM 2	PCT-3	PCTB-3	P-2	BC-2	-	QTZ-1	P-6	SHOWER/TUB SURROUND CT-1
MECH. CLOSET	SC-1	WB-3	P-2	-	-	-	P-4	
LAUNDRY	VP-1	WB-1	P-2	-	-	-	P-6	

PLUMBING FIXTURE LEGEND						
TAG	DESCRIPTION	MANUFACTURER	NAME	MODEL NUMBER	FINISH	COMMENTS
BT-1	BATH TUB	KOHLER	BELLWETHER ALCOVE BATH WITH INTEGRAL APRON, LEFT HAND DRAIN	K-837-0	WHITE	
BT-2	BATH TUB	KOHLER			WHITE	
F-1	KITCHEN FAUCET	GROHE	CONCETTO SINGLE LEVER SINK MIXER 1/2"	32665 001	STARLIGHT CHROME	
F-2	LAVATORY FAUCET	GROHE	CONCETTO LAVATORY, CENTERSET	34270 001	STARLIGHT CHROME	
F-10	BATHROOM SINK	KOHLER	LADENA UNDER-MOUNT BATHROOM SINK	K-2214-0	WHITE	
F-11	KITCHEN SINK	ELKAY	GOURMET UNDERMOUNT SINK WITH PERFECT DRAIN	ELUH2115PDBG	STAINLESS STEEL	
S-1	KITCHEN SINK	ELKAY	GOURMET UNDERMOUNT SINK WITH PERFECT DRAIN	ELUH2115PDBG	STAINLESS STEEL	
S-2	KITCHEN ADA SINK	ELKAY	GOURMET UNDERMOUNT SINK WITH PERFECT DRAIN ADA COMPLIANT	ELUHAD211550P D	STAINLESS STEEL	LOCATED IN TYPE 'A' AND ADAPTABLE UNITS
S-3	BATHROOM SINK	KOHLER	LADENA UNDER-MOUNT BATHROOM SINK	K-2214-0	WHITE	
SH-1	SHOWER PAN	TILE REDI	ADA BARRIER FREE SHOWER PAN	3560CBF-PVC		
ST-1	BATH TUB PRESSURE BALANCE VALVE	GROHE	CONCETTO PRESSURE BALANCE VALVE BATH COMBINATION	35009 001	STARLIGHT CHROME	
ST-2	SHOWER PRESSURE BALANCE VALVE	GROHE	CONCETTO PRESSURE BALANCE VALVE SHOWER COMBINATION	35010 001	STARLIGHT CHROME	
ST-3	ADA HAND HELD SHOWER HEAD	GROHE	NEW TEMPESTA COSMOPOLITAN 100 SHOWER HEAD 4 SPRAYS	27575 001	STARLIGHT CHROME	LOCATED IN TYPE 'A' AND ADAPTABLE UNITS
T-1	TOILET	KOHLER	CIMARRON COMFORT HEIGHT TOILET	K-3609-0	WHITE	USE KOHLER GRIP-TIGHT CACHET Q3 TOILET SEAT; K-4636-0

LIGHT FIXTURE LEGEND						
TAG	MANUFACTURER	DESCRIPTION	MODEL #	DIMENSIONS	FINISH	COMMENTS
F1	HUBBARDTON FORGE	BLACK 1 LIGHT MEDIUM OUTDOOR WALL SCNCE	307286	18.8"H X 6.5"W X 5.7"D	BLACK WITH OPAL GLASS	
F2	HUBBARDTON FORGE	BLACK 1 LIGHT SMALL OUTDOOR WALL SCNCE	30728510	15"H X 5"W	BLACK WITH OPAL GLASS	
F3	HUBBARDTON FORGE	BLACK 1 LIGHT MEDIUM OUTDOOR WALL SCNCE	30490310	8.9"H X 8.6"W X 7.4"D	BLACK	
F4	DELTA LIGHTING	CARRÉE X LED 3033 S1	6 202 20 28122	3 9/16" X 3 9/16" 2 7/8"	ALU GREY	
F5	LIGHTOLIER	CALCULITE MATRIX HID OPEN DOWNLIGHT SQUARE	C4X4MRD	4 1/2" X 4 1/2"	WHITE	
F6	LIGHTOLIER	CALCULITE MATRIX HID ADJUSTABLE ACCENT SQUARE	C4X4MRA	4 1/2" X 4 1/2"	WHITE	
F7	CIRCA LIGHTING	LARGE FARLANE CHANDELIER	TOB5017	5'H X 4'D	POLISHED SILVERNATURAL SHADE	
F8	LIGHTOLIER	DECORATIVE CONCEALED LIGHTING, WHITE LED	CWL271212/CWL270612	12"Ø	CHARCOAL GRAY	
F9	LIGHTOLOGY	P470 WALL SCNCE	P470	11.5" X 7" X 4"	CHROME WITH WHITE LINEN	
F10	MINKA-LAVERY	CEILING MOUNT LIGHT	6919-613	13" SQUARE X 5.5"	POLISHED NICKEL	
F11	JUNO TRAK-LITES	4' 3-HEAD ROUND BACK KIT	-	4' TRACK	WHITE	
F12	LIGHTOLOGY	MINI PENDANT FIXTURE	FES161086	8 1/8"H X 5.06"W	POLISHED NICKEL	
F13	TEXAS FLUORESCENTS	WALLMOUNT UNDER CABINET LIGHT	VARIES	VARIES	-	
F14	TEXAS FLUORESCENTS	CLOSET LIGHT WITH PULL CHAIN	C56EL	9.5" X 18.25" X 1.25"	-	
F15	LAMPS PLUS	DAVIS 11" WIDE WHITE CEILING LIGHT	12065	11"D	WHITE	
F16	MINKA-LAVERY	DAVENTRY SMALL VANITY LIGHT	6913-613	26" X 4.5"	POLISHED NICKEL	
F17	MINKA-LAVERY	DAVENTRY LARGE VANITY LIGHT	6914-613	37" X 4.5"	POLISHED NICKEL	
F18	LIGHTOLIER	LENSED RECESSED CFL DOWNLIGHTING	1050SQDL	5" SQUARE	WHITE	
F19	LITHONIA	2AV AVANTE RECESSES DIRECT-INDIRECT	2AV G 2 28T5 MDR MVOLT GEB115 PWS1836	2' X 4'	MATTE WHITE	

FitzGerald
Associates Architects
912 W. Lake St. Chicago, Illinois
t 312-563-9100 f 312-563-1919
www.fitzgeraldassociates.net

CONSULTANT:

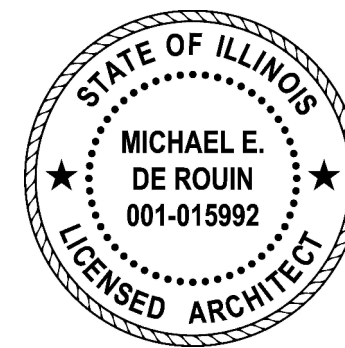
11144
Ravinia

515-555 Roger Williams Avenue Highland Park, IL 60035

CLIENT:
Imperial Realty Co.

4747 W. Peterson Ave. Suite 200 Chicago, IL 60646

#	DESCRIPTION	DATE
1	Permit Corrections 01	02/01/18
	Issue for Permit / Bid	03/24/17



SCHEDULES

A6-04

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1

2

3

4

5

FINISH NOTES

1. REFER TO PAINT SPECIFICATIONS WHERE APPLICABLE.
2. REFER TO SPECIFICATIONS FOR TILE FLOOR CONSTRUCTION.
3. REFER TO SPECIFICATIONS FOR WOOD FLOOR CONSTRUCTION.

FitzGerald

Associates Architects
 912 W. Lake St. Chicago, Illinois
 t 312-563-9100 f 312-563-1919
 www.fitzgeraldassociates.net

CONSULTANT:

11144

Ravinia

515-555 Roger Williams Avenue
 Highland Park, IL 60035

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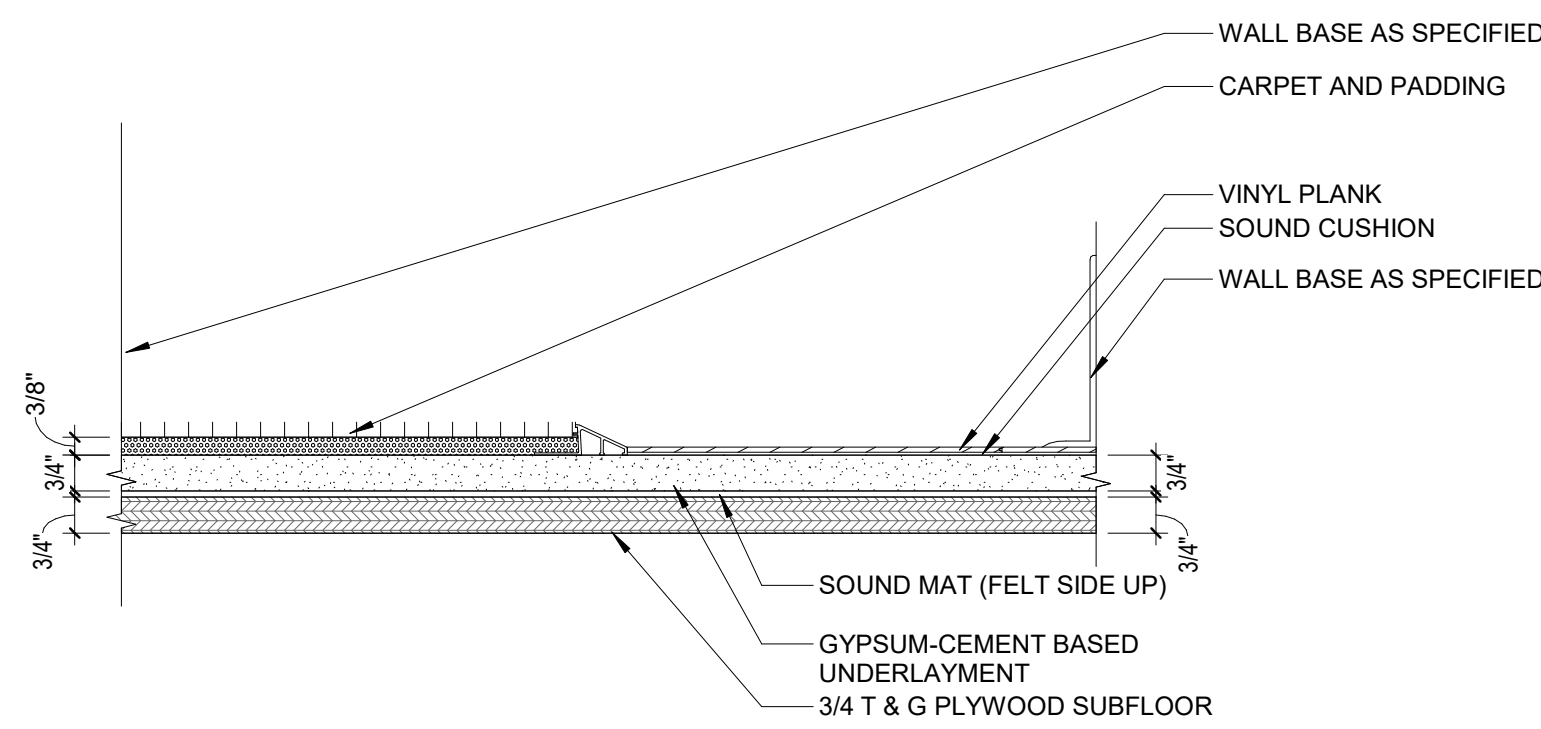
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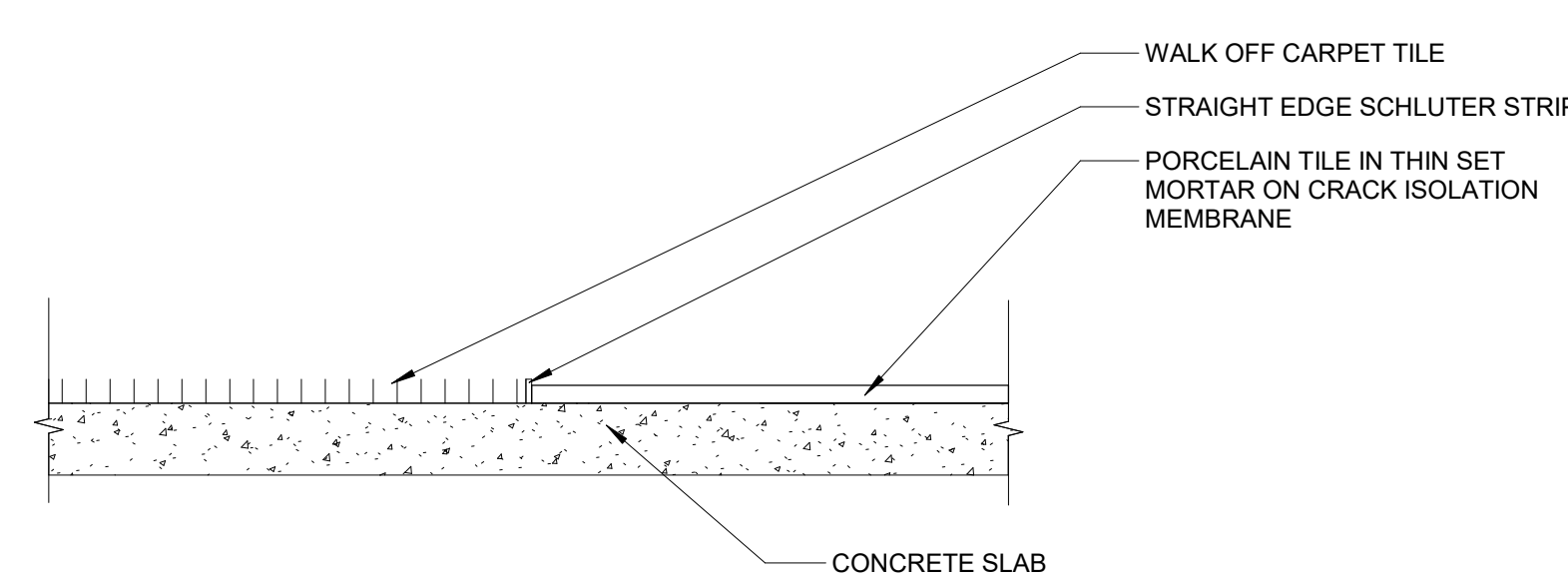
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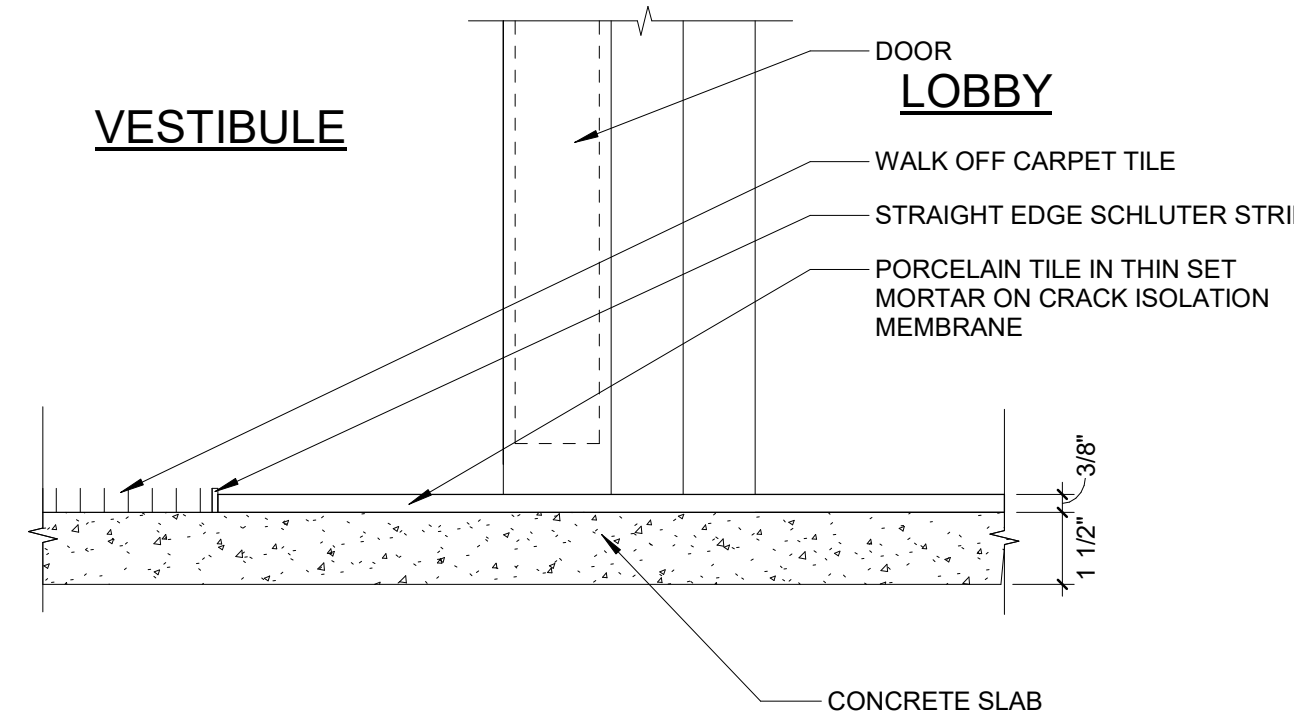
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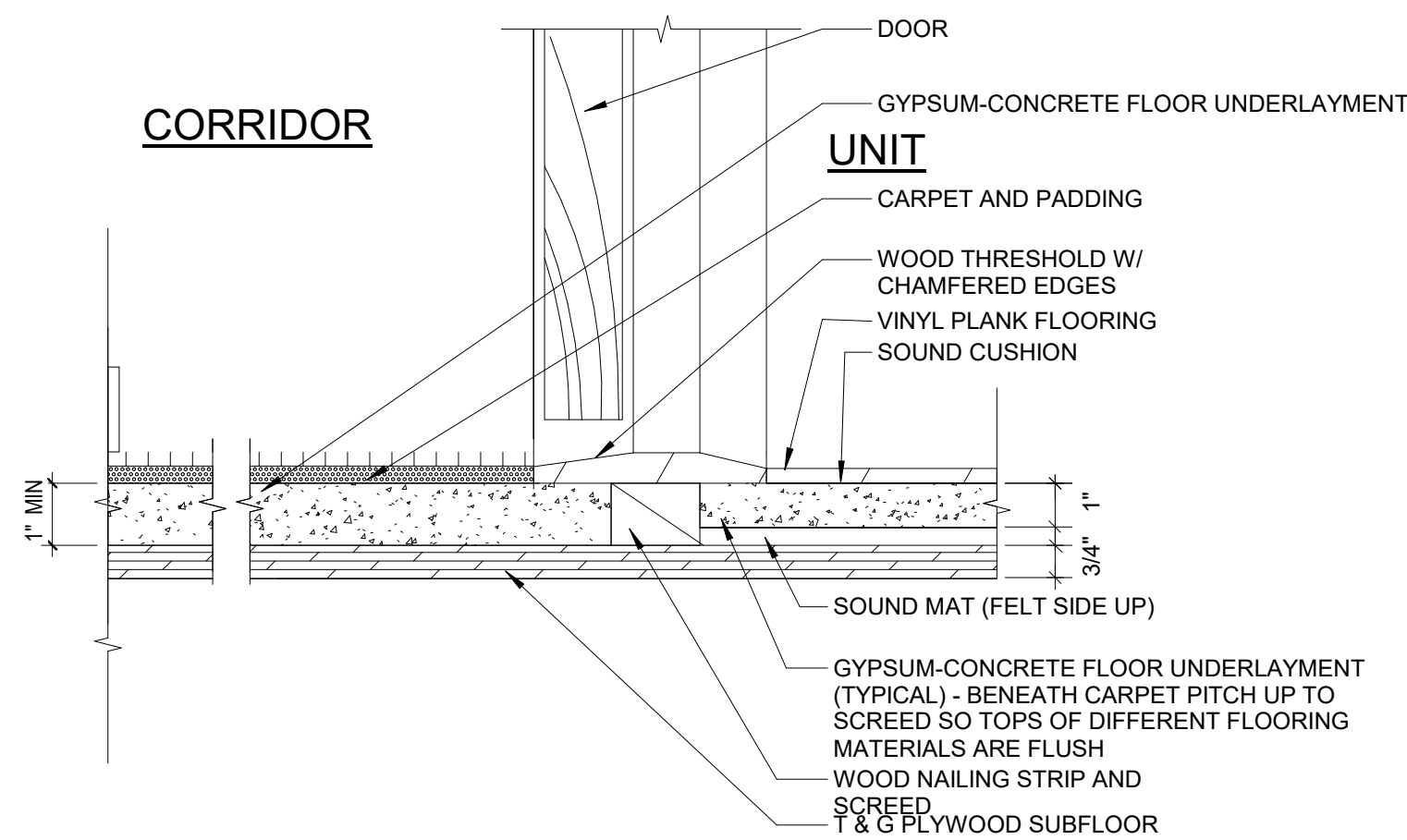
B1 FTD - CARPET TO VINYL PLANK
 3" = 1'-0"



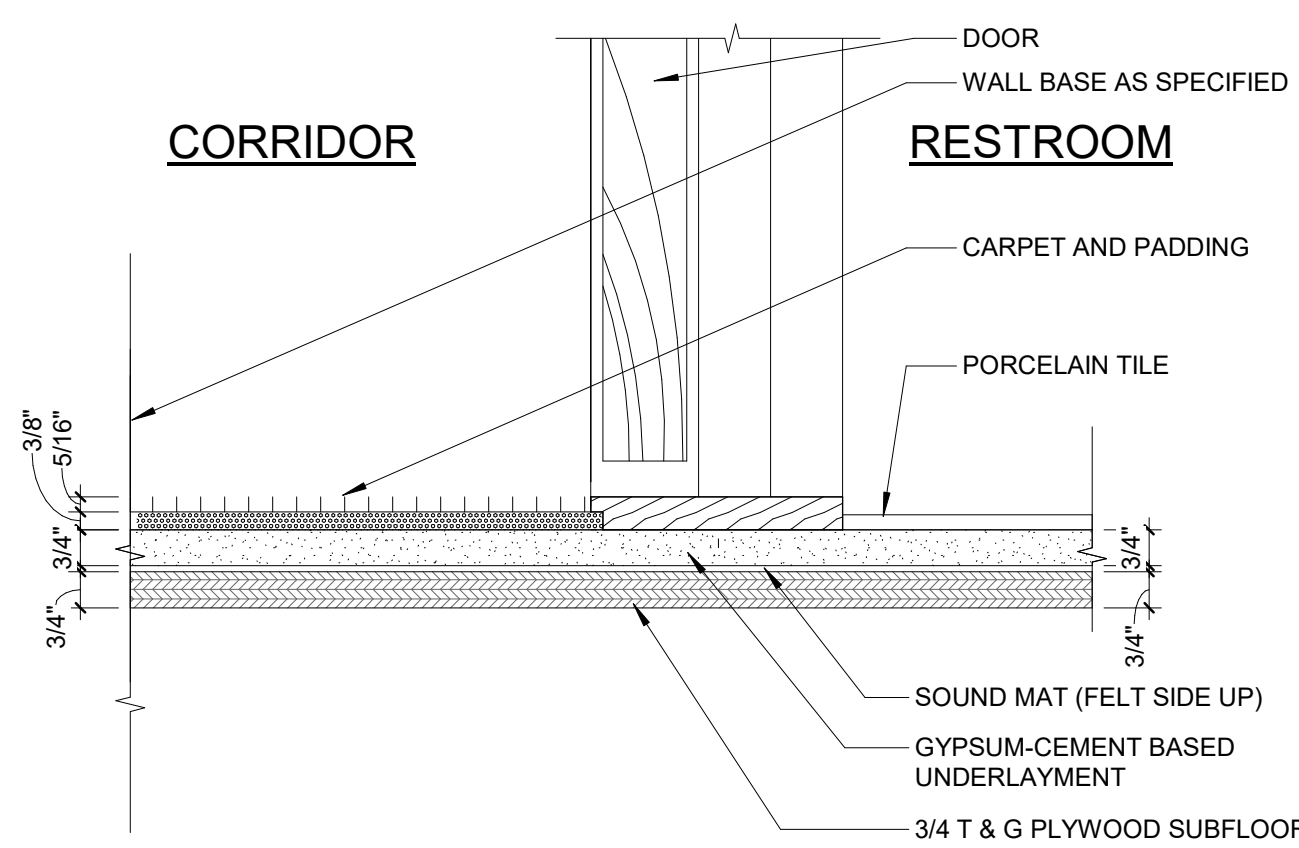
B2 FTD - CARPET TO PORCELAIN TILE AT VESTIBULE (TILE SIM AT UNITS ON SECOND FLOOR)
 3" = 1'-0"



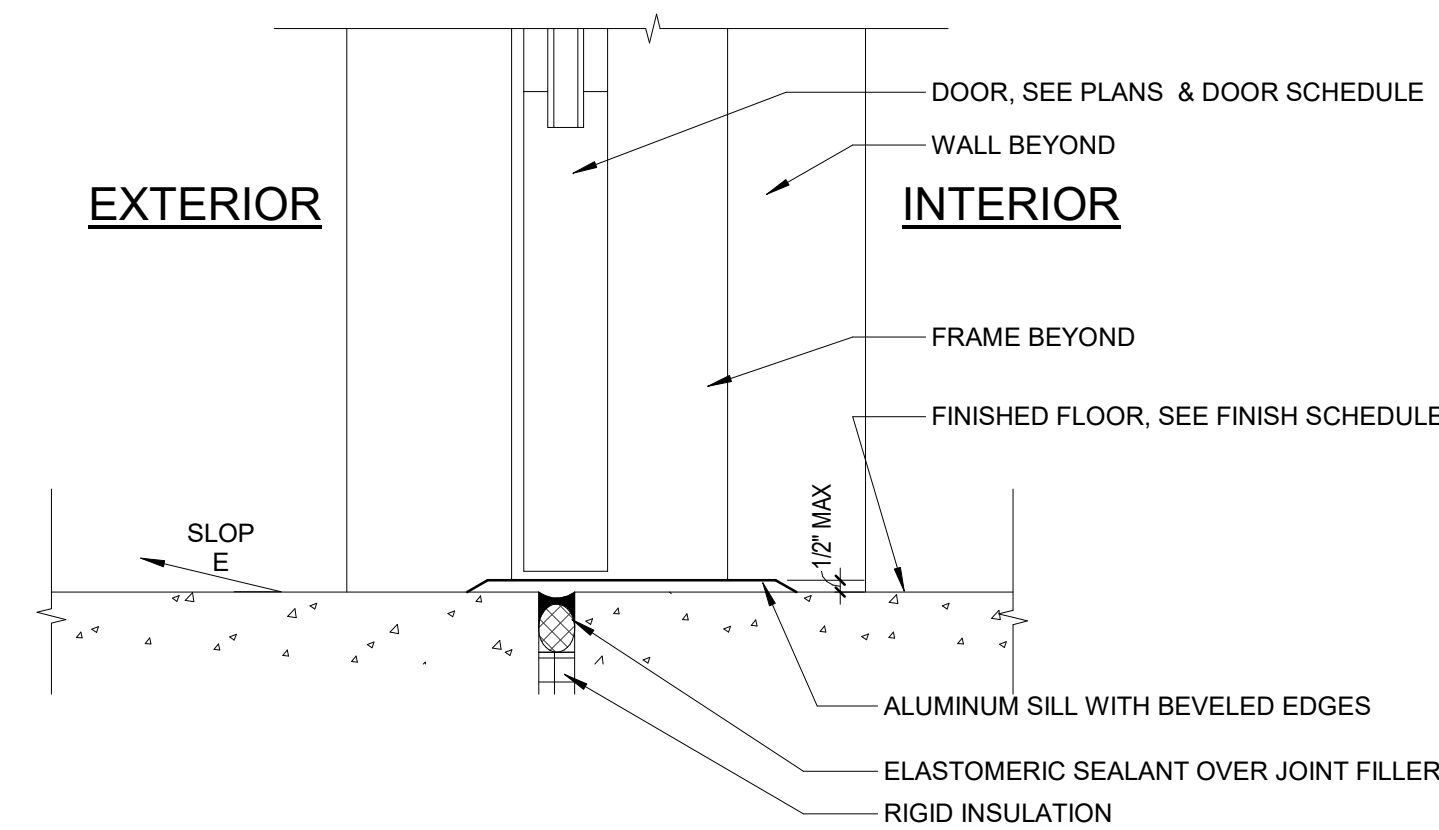
B4 FTD - WALK OFF CARPET TILE TO PORCELAIN TILE
 3" = 1'-0"



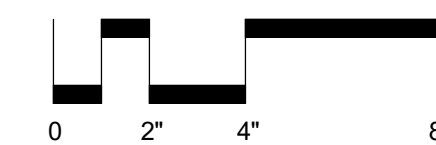
A1 FTD - CARPET TO VINYL PLANK, UNIT ENTRY
 3" = 1'-0"



A2 FTD - CARPET TO PORCELAIN TILE
 3" = 1'-0"

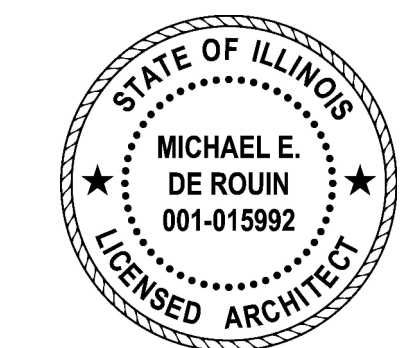


A4 FTD - THRESHOLD AT EXTERIOR DOOR
 3" = 1'-0"



1	Permit Corrections 01	02/01/18
	Issue for Permit / Bid	03/24/17

#	DESCRIPTION	DATE
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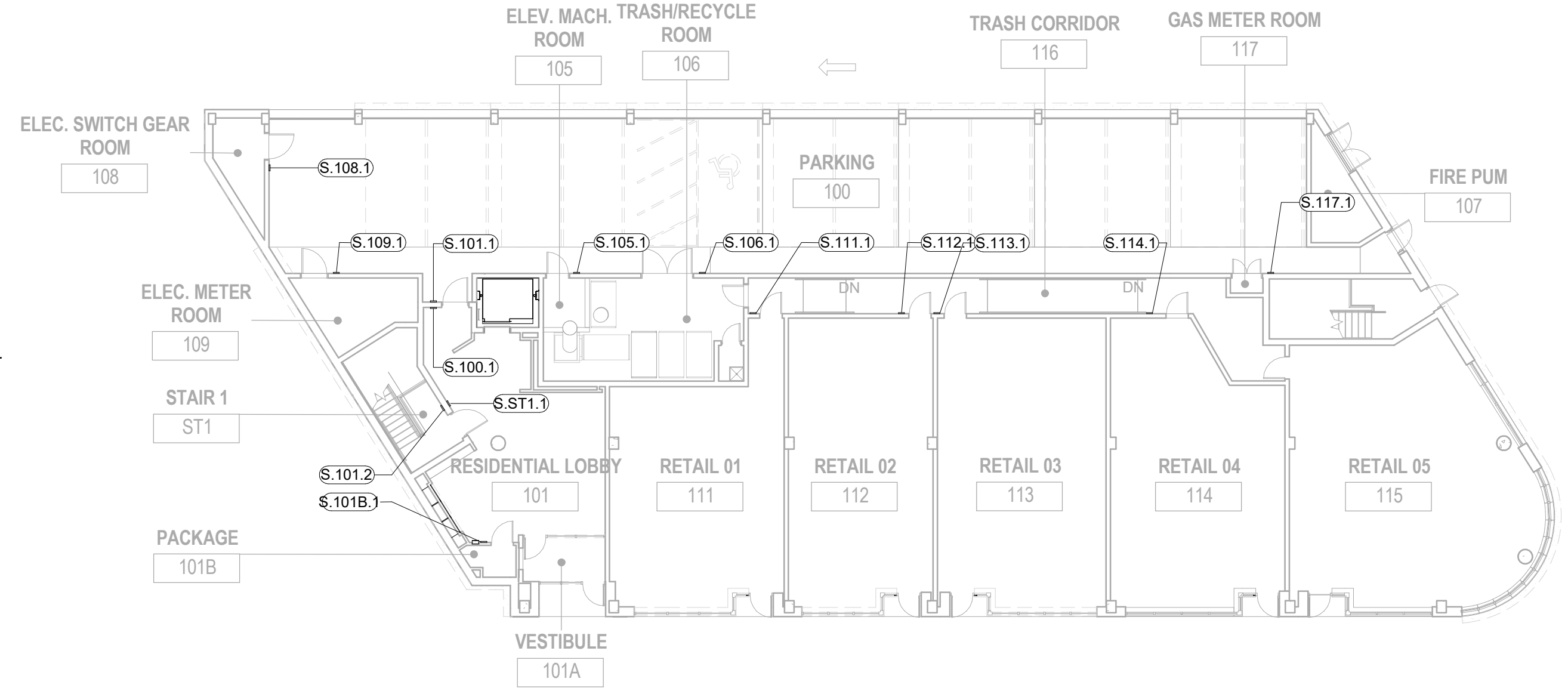
FLOOR TRANSITION DETAILS

A6-05

SIGNAGE SCHEDULE

SIGNAGE SCHEDULE

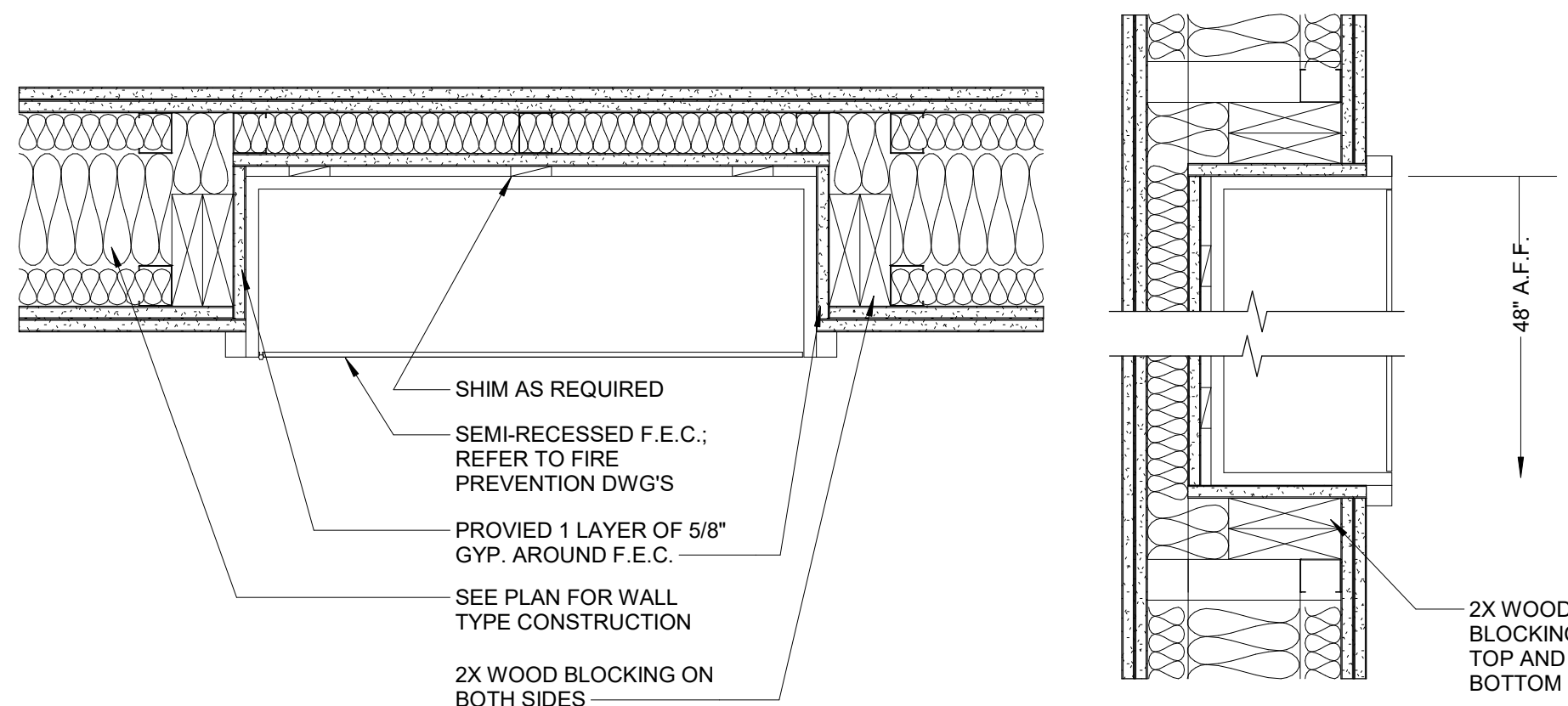
SIGN	ROOM #	ROOM NAME	DIMENSIONS	MATERIAL	BACKGROUND FINISH/COLOR	CHARACTER FINISH/COLOR	CHARACTER SIZE	TEXT	GRAPHIC
01 FIRST FLOOR									
S.100.1	100	PARKING	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	PARKING	N/A
S.101.1	101	RESIDENTIAL LOBBY	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	LOBBY	N/A
S.101B.1	101B	PACKAGE	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	PACKAGE	N/A
S.105.1	105	ELEV. MECH. ROOM	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	ELEVATOR MECHANICAL ROOM	N/A
S.106.1	106	TRASH/RECYCLE ROOM	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	TRASH	N/A
S.108.1	108	ELEV. SWITCH GEAR ROOM	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	ELEVATOR SWITCH GEAR ROOM	N/A
S.109.1	109	ELEC. METER ROOM	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	ELECTRICAL METER ROOM	N/A
S.111.1	111	RETAIL 01	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	RETAIL 01	N/A
S.112.1	112	RETAIL 02	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	RETAIL 02	N/A
S.113.1	113	RETAIL 03	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	RETAIL 03	N/A
S.114.1	114	RETAIL 04	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	RETAIL 04	N/A
S.117.1	117	GAS METER ROOM	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	GAS METER ROOM	N/A
S.ST1.1	ST1	STAIR 1	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	STAIRS 1	N/A
02 SECOND FLOOR - 04 FOURTH FLOOR									
S.ELE.1	ELE	ELEVATOR	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	IN CASE OF FIRE USE THE STAIRS DO NOT USE ELEVATOR	STAIR AND SEPARATE EVACUATION PLAN SIGN
S.ST2.1	ST2	STAIR 2	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	STAIR 1/ AREA OF RESCUE ASSISTANCE	STAIR AND THE INTERNATIONAL SYMBOL OF ACCESSIBILITY
S.X01.1	X01	UNIT 01	4' x 7'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	2"	X01	N/A
S.X02.1	X02	UNIT 02	4' x 7'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	2"	X02	N/A
S.X03.1	X03	UNIT 03	4' x 7'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	2"	X03	N/A
S.X04.1	X04	UNIT 04	4' x 7'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	2"	X04	N/A
S.X05.1	X05	UNIT 05	4' x 7'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	2"	X05	N/A
S.X06.1	X06	UNIT 06	4' x 7'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	2"	X06	N/A
S.X07.1	X07	UNIT 07	4' x 7'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	2"	X07	N/A
S.X08.1	X08	UNIT 08	4' x 7'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	2"	X08	N/A
S.X09.1	X09	UNIT 09	4' x 7'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	2"	X09	N/A
S.X10.1	X10	UNIT 10	4' x 7'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	2"	X10	N/A
S.X11.1	X11	CORRIDOR	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	FLOOR X	N/A
S.X11.2	ST1	STAIR 1	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	SEE SIGNS 1 & 2 FOR TEXT	N/A
S.X11.3	X11	CORRIDOR	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	FLOOR X	N/A
S.X11.4	ST2	STAIR 2	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	SEE SIGNS 1 & 2 FOR TEXT	N/A
S.X12.1	X12	TRASH	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	TRASH	N/A
S.X17.1	X17	GAS METER	8' x 8'	PLASTIC	NON-GLARE/TBD	NON-GLARE/TBD	3/4"	GAS METER ROOM	N/A



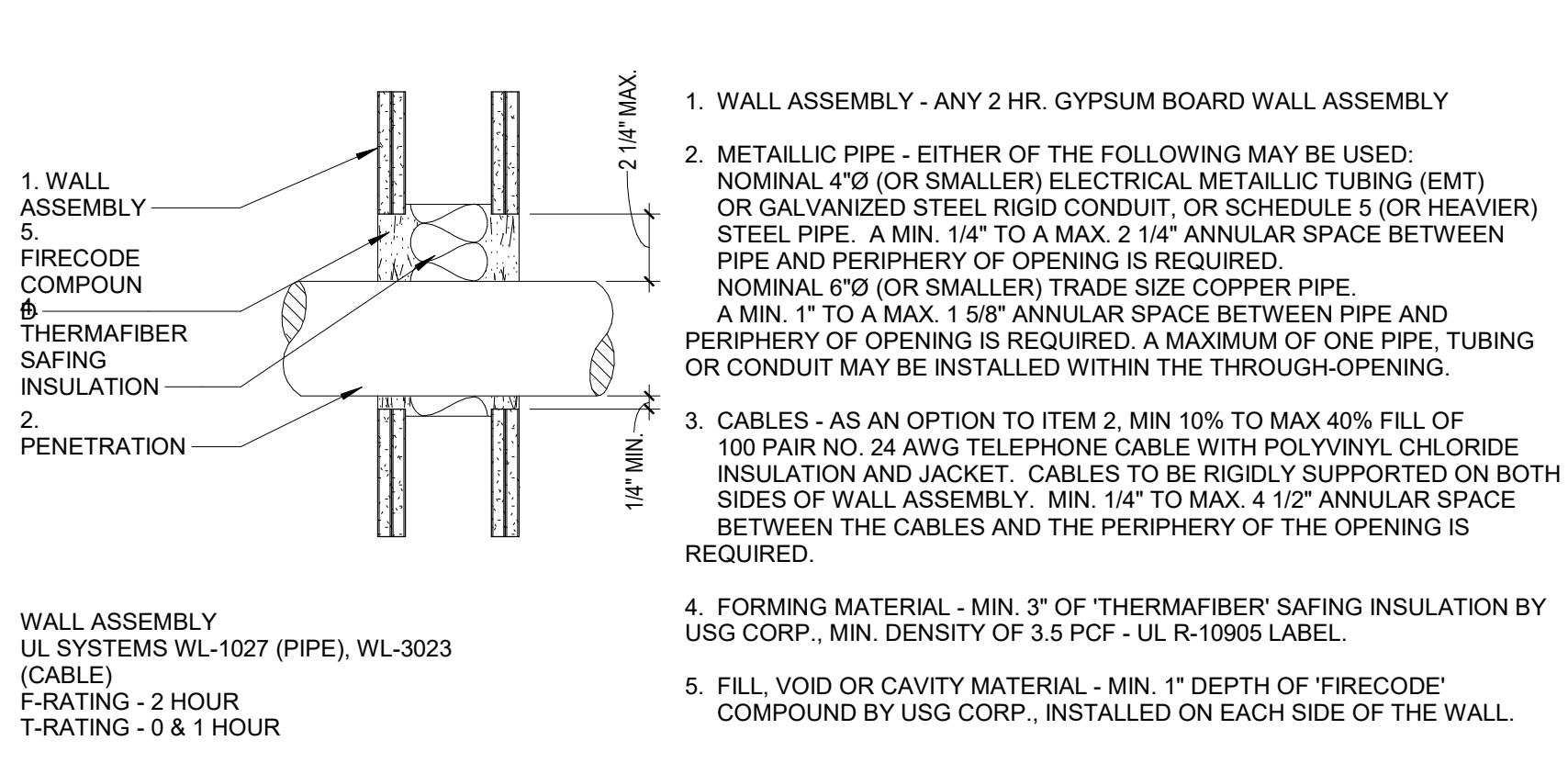
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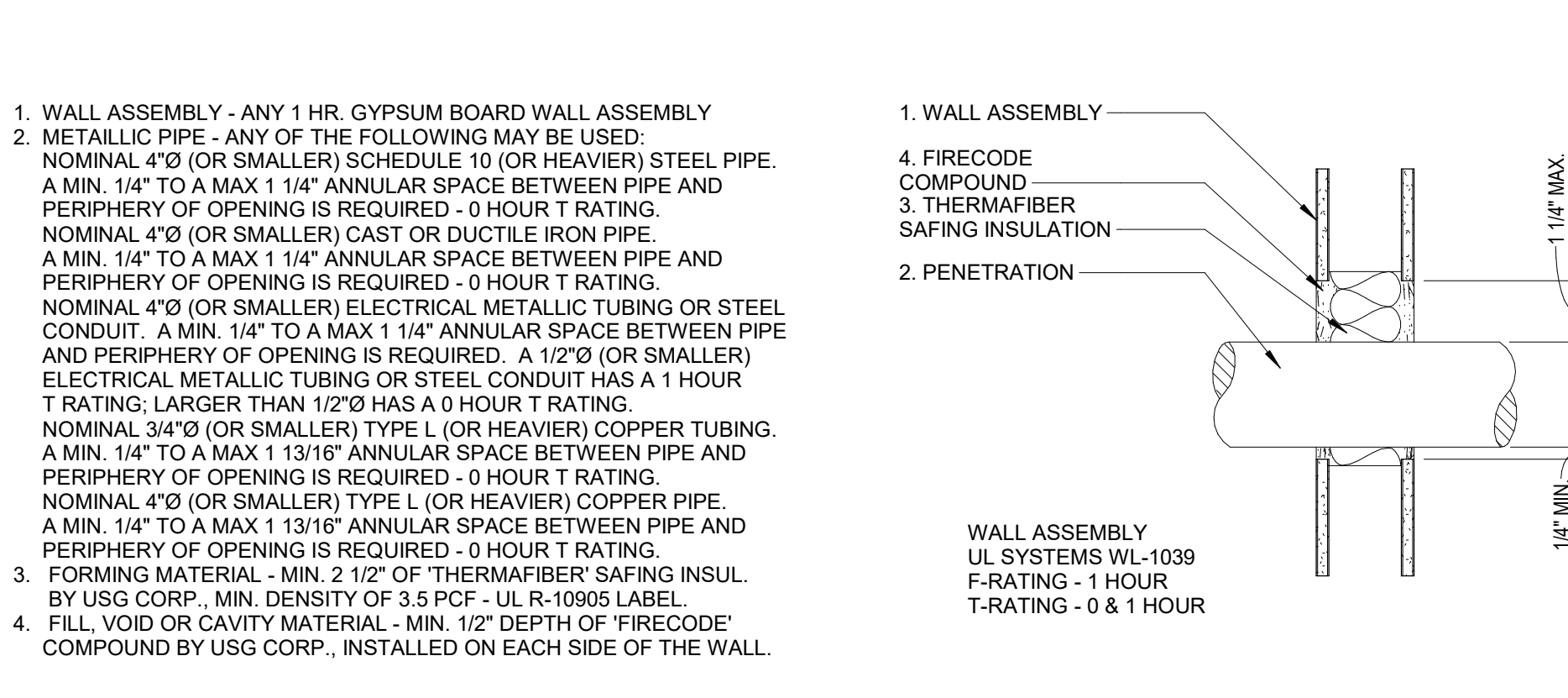
11144
Ravinia
 515-555 Roger Williams Avenue
 Highland Park, IL 60035
 CLIENT:
Imperial Realty Co.
 4747 W. Peterson Ave.
 Suite 200
 Chicago, IL 60646



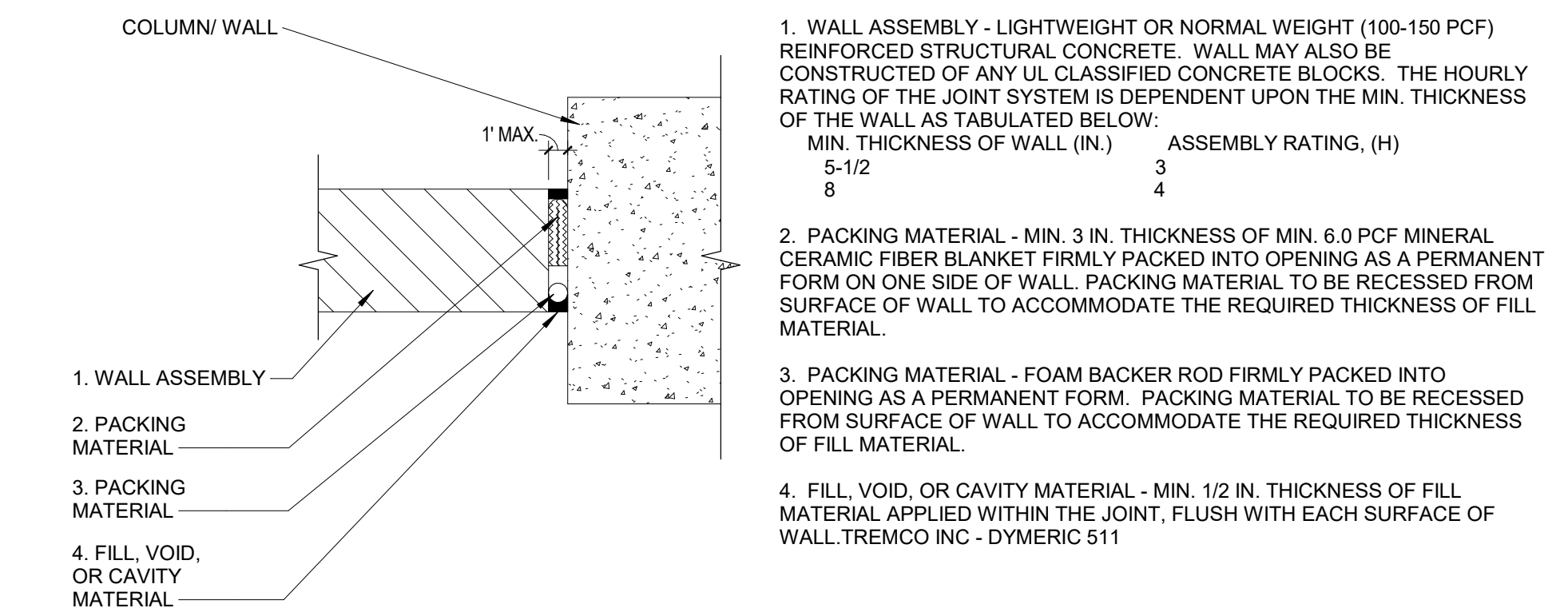
1 FIRE EXTINGUISHER CABINET PLAN AND SECTION DETAIL
 1 1/2" = 1' - 0"



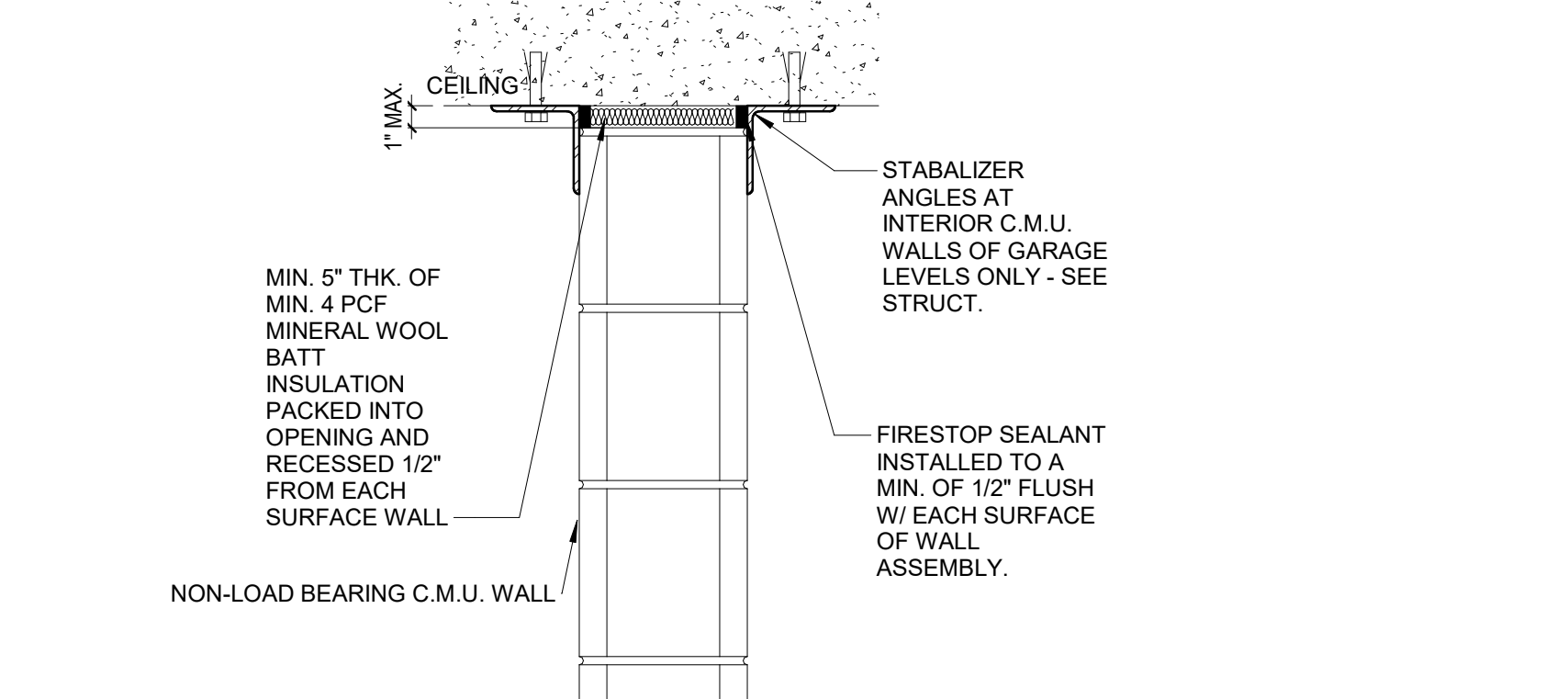
5 2-HOUR WALL PENETRATION
 1 1/2" = 1' - 0"



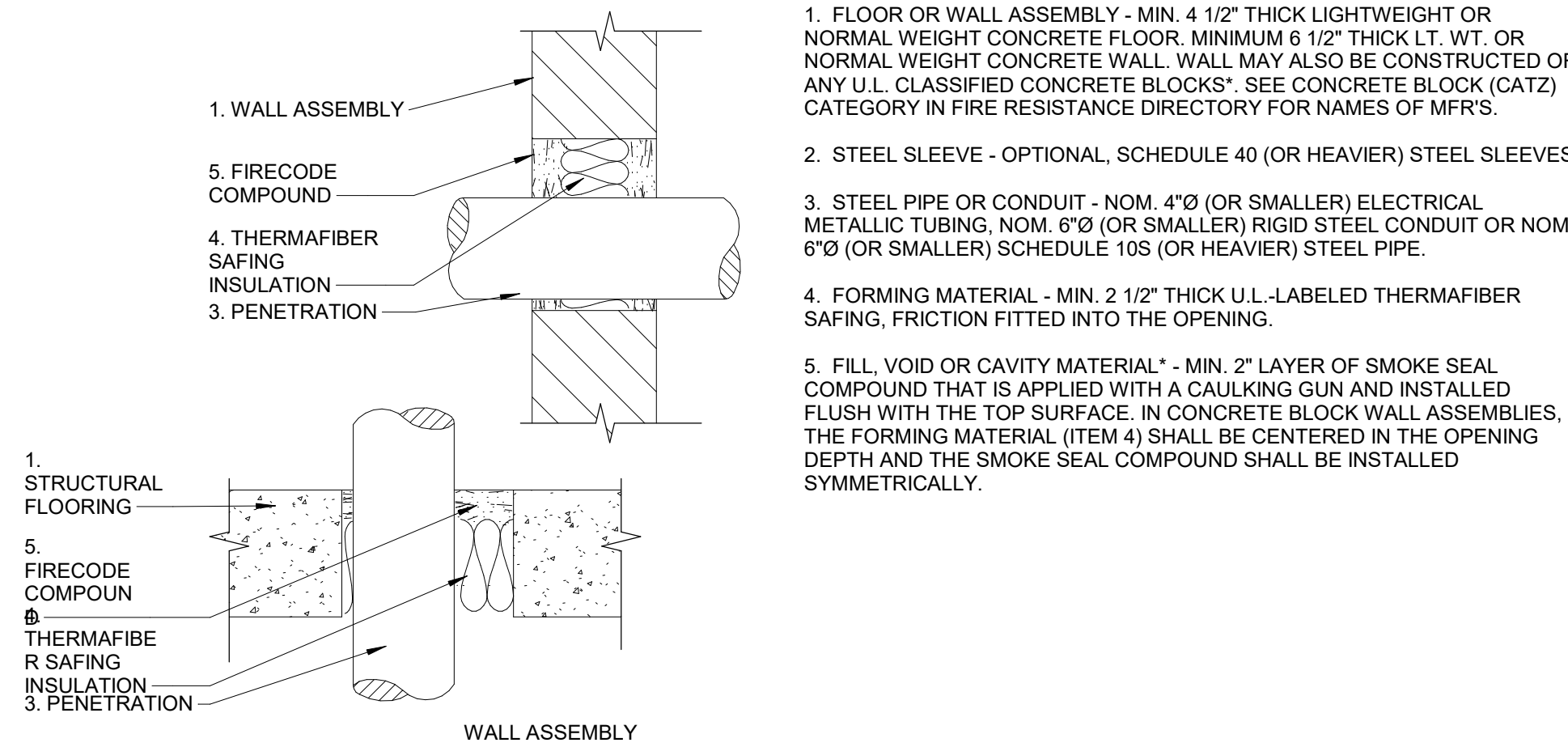
3 1-HOUR WALL PENETRATION
 1 1/2" = 1' - 0"



4 FIRE SAFING AT C.M.U. WALLS AND CEILING
 1 1/2" = 1' - 0"

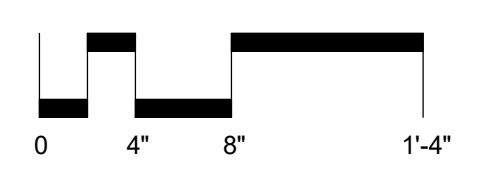


5 FIRE SAFING AT C.M.U. WALLS AND CEILING
 1 1/2" = 1' - 0"



6 2- AND 3-HOUR FLOOR OR WALL PENETRATION
 1 1/2" = 1' - 0"

MAX. DIA. OF STEEL PIPE OR CONDUIT (IN.)	NOM. ANNULAR SPACE (IN.)	'F' RATING (HR.)
1 1/2"	2 1/8"	3
4"	3/4"	3
6"	3/4"	2



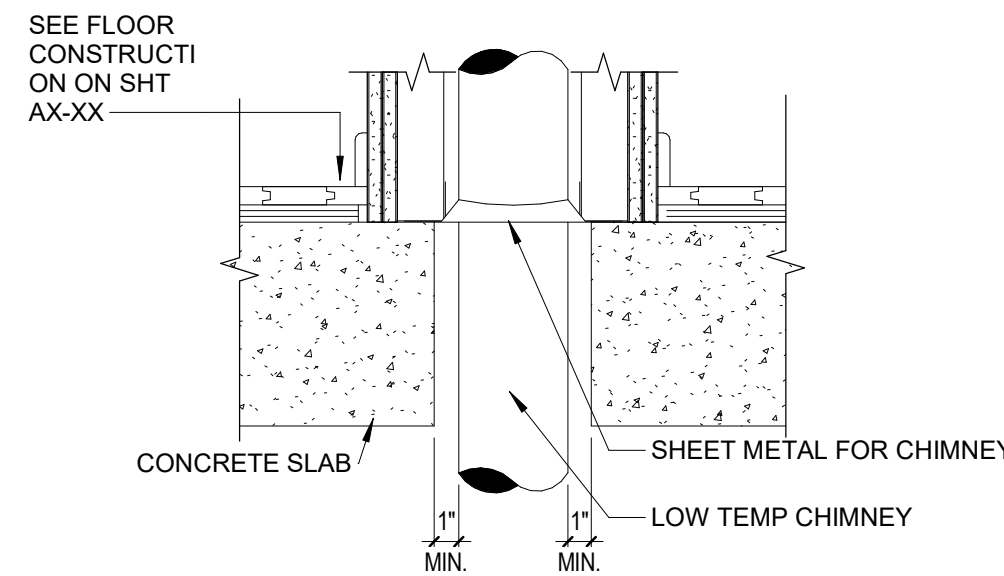
1 Permit Corrections 01 02/01/18

DESCRIPTION DATE



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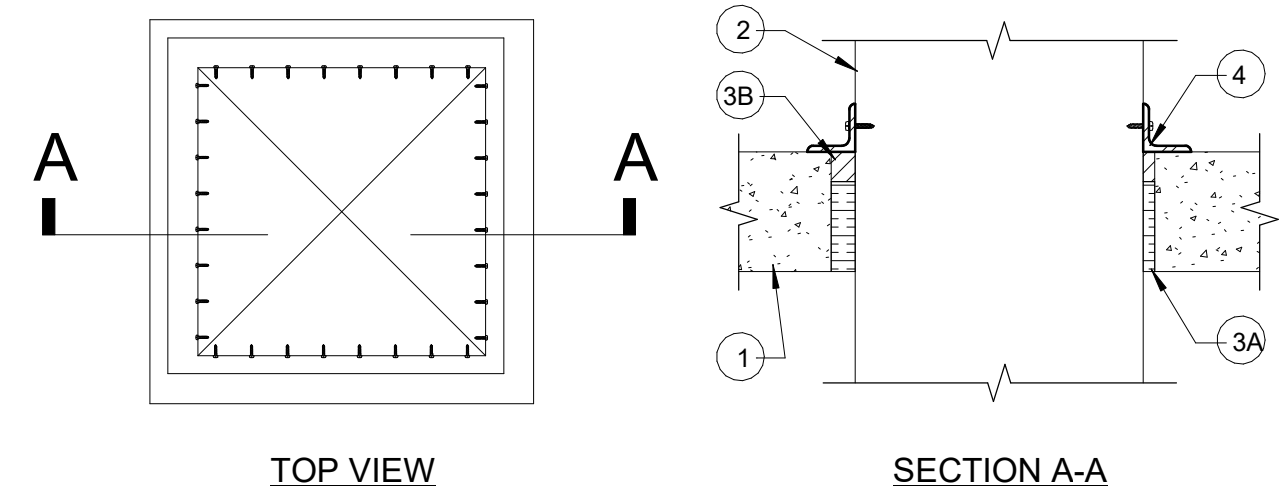
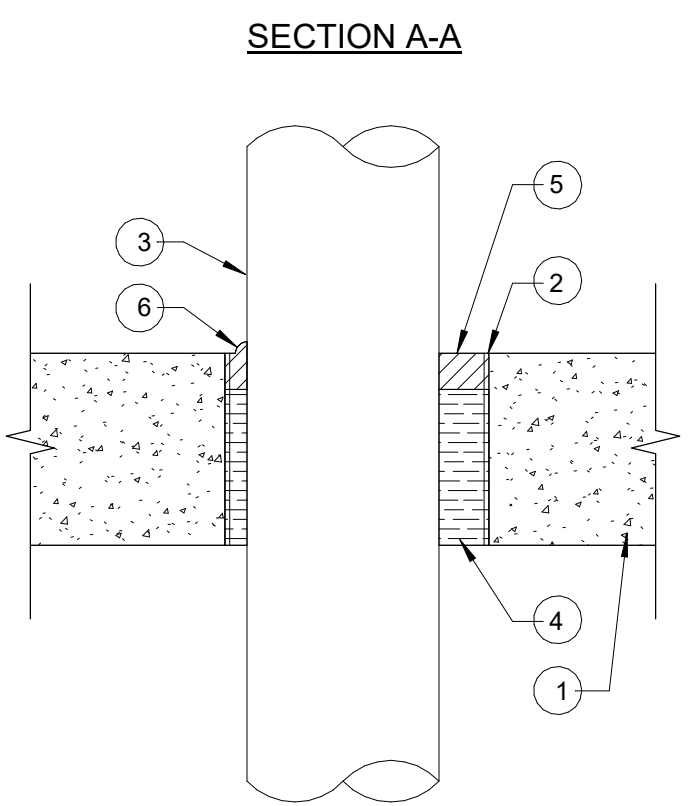
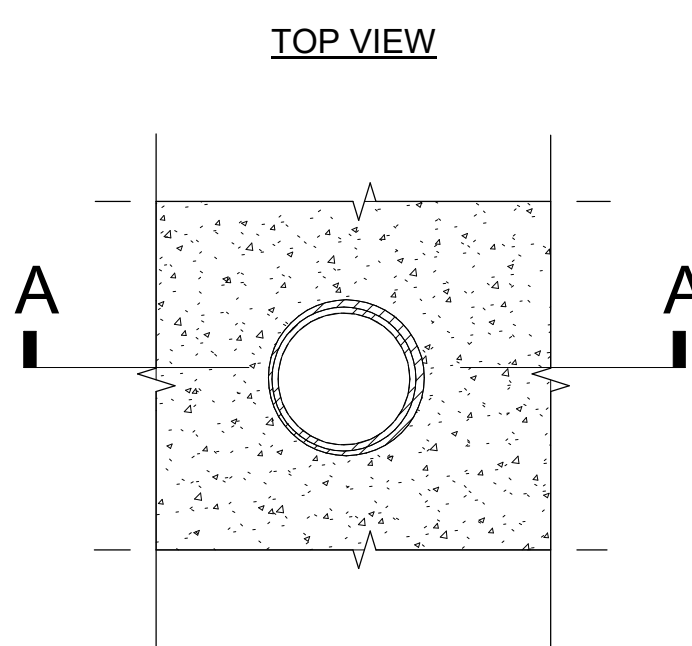


1. CONCRETE FLOOR OR WALL ASSEMBLY (3-HR FIRE RATING)
 - A. LIGHTWEIGHT OR NORMAL WEIGHT CONCRETE FLOOR OR WALL (MIN. 4-1/2" THICK)
 - B. ANY UL CLASSIFIED CONCRETE BLOCK WALL
2. OPTIONAL: MAXIMUM 24" NOMINAL DIAMETER STEEL PIPE SLEEVE (SCHEDULE 40 OR HEAVIER)
3. PENETRATING ITEM TO BE ONE OF THE FOLLOWING:
 - A. MAXIMUM 20" NOMINAL DIAMETER STEEL PIPE (SCHEDULE 10 OR HEAVIER)
 - B. MAXIMUM 20" NOMINAL DIAMETER CAST IRON PIPE
 - C. MAXIMUM 6" NOMINAL DIAMETER COPPER PIPE
 - D. MAXIMUM 4" NOMINAL DIAMETER EMT
4. MINIMUM 4" THICKNESS MINERAL WOOL (MIN. 4 PCF DENSITY) TIGHTLY PACKED
5. MINIMUM 1/2" DEPTH INTUMESCENT FIRESTOP SEALANT
6. MINIMUM 1/2" CROWN INTUMESCENT FIRESTOP SEALANT APPLIED AT POINT OF CONTACT

NOTES:

1. MAXIMUM DIAMETER OF OPENING = 24"
2. ANNULAR SPACE = MINIMUM 0", MAXIMUM 2-1/4"
3. MINIMUM 1/2" DEPTH INTUMESCENT FIRESTOP SEALANT IS REQUIRED ON BOTH SIDES OF A WALL ASSEMBLY

UL SYSTEM NO. CAJ1155
METAL PIPE THROUGH CONCRETE FLOOR/WALL OR BLOCK WALL
F RATING = 3 HR.
T RATING = 0 HR.
L RATING AT AMBIENT = LESS THAN 1 CFM/SQ. FT.
L RATING AT 400°F = 4 CFM/SQ. FT.



1. FLOOR OR WALL ASSEMBLY - MIN 4-1/2 IN. THICK REINFORCED LIGHTWEIGHT OR NORMAL WEIGHT (100-150 PCF) CONCRETE FLOOR OR MIN 5-1/2 IN. THICK LIGHTWEIGHT OR NORMAL WEIGHT CONCRETE WALL. WALL MAY ALSO BE CONSTRUCTED OF ANY UL CLASSIFIED CONCRETE BLOCKS*. MAX AREA OF OPENING IS 1139 IN. SQ WITH A MAX DIMENSION OF 33-3/4 IN. SEE CONCRETE BLOCKS (CAZT) CATEGORY IN THE FIRE RESISTANCE DIRECTORY FOR NAMES OF MANUFACTURERS.
 2. STEEL DUCT - NOM 32 BY 32 BY NO. 24 GAUGE (OR HEAVIER) GALV STEEL DUCT. ONE STEEL DUCT TO BE POSITIONED WITHIN THE FIRESTOP SYSTEM. THE ANNULAR SPACE SHALL BE MIN 1/4 IN. TO MAX 1-1/2 IN. DUCT TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF FLOOR OR WALL ASSEMBLY.
 3. FIRESTOP SYSTEM - THE FIRESTOP SYSTEM SHALL CONSIST OF THE FOLLOWING:
 - A. PACKING MATERIALS - MIN 3-1/2 IN. THICKNESS OF MIN 4 PCF MINERAL WOOL BATT INSULATION FIRMLY PACKED INTO OPENING AS A PERMANENT FORM BETWEEN THE BARE STEEL DUCT AND THE PERIPHERY OF THE OPENING. PACKING MATERIAL TO BE RECESSED FROM TOP SURFACE OF FLOOR OR BOTH SURFACES OF WALL AS REQUIRED TO ACCOMMODATE THE REQUIRED THICKNESS OF FILL MATERIAL.
 - B. FILL, VOID OR CAVITY MATERIAL* - SEALANT - MIN 1 IN. THICKNESS OF FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH WITH TOP SURFACE OF FLOOR OR WITH BOTH SURFACES OF WALL. -ELASOMERIC FIRESTOP SEALANT
 4. STEEL RETAINING ANGLE - NOM 2 IN. BY 2 IN. BY NO. 16 GAUGE (OR HEAVIER) STEEL ANGLES ATTACHED TO ALL FOUR SIDES OF THE STEEL DUCT ON THE TOP SURFACE OR BOTH SURFACES OF THE WALL. THE ANGLES SHALL BE ATTACHED WITH NO. 8 (OR LARGER) STEEL SHEET METAL SCREWS SPACED MAX OF 1 IN. FROM EACH END AND A MAX OF 3 IN. OC.
- *BEARING THE UL CLASSIFICATION MARKING

UL SYSTEM NO. CAJ7046
METAL DUCT (W/O DAMPER) THROUGH CONCRETE FLOOR/WALL OR BLOCK WALL
F RATING = 3 HR.
T RATING = 0 HR.

3-HOUR FLOOR DUCT PENETRATION FIRESTOPPING DETAIL

8

1 1/2" = 1' - 0"

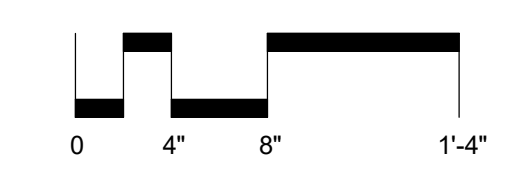
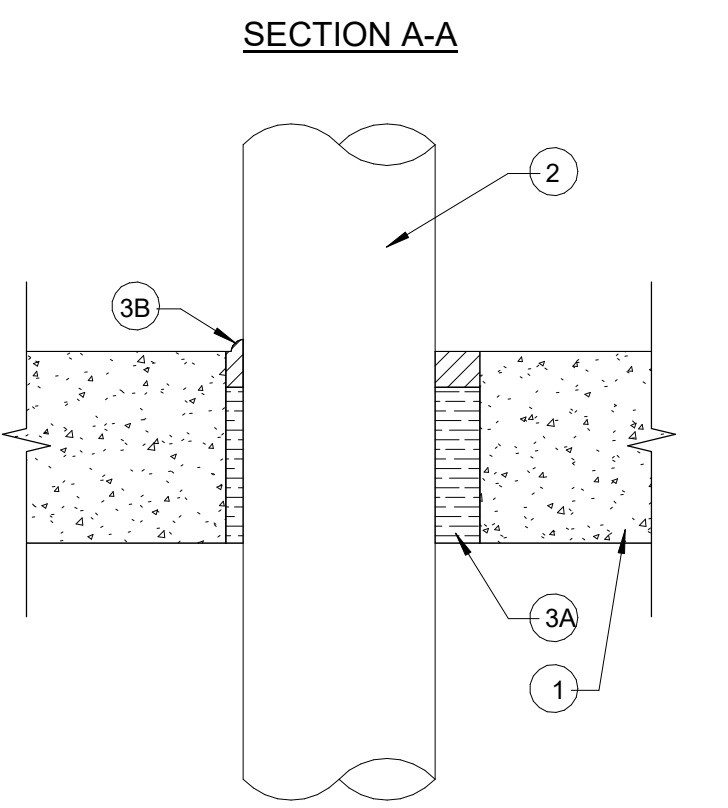
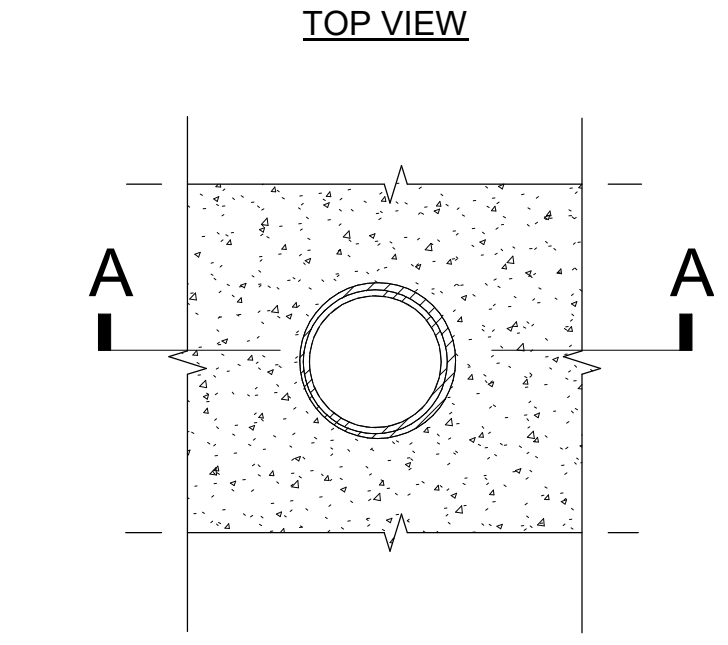
1. FLOOR OR WALL ASSEMBLY - MIN 4-1/2 IN. THICK LIGHTWEIGHT OR NORMAL WEIGHT (100-150 PCF) CONCRETE. WALL MAY ALSO BE CONSTRUCTED OF ANY UL CLASSIFIED CONCRETE BLOCKS*. MAX DIAMETER OF OPENING IS 18 IN.
 - 1A. STEEL SLEEVE - (OPTIONAL, NOT SHOWN) - NOM. 6 IN. DIAM. (OR SMALLER) SCHEDULE 40 (OR HEAVIER) STEEL PIPE SLEEVE, CAST INTO FLOOR OR WALL FLUSH WITH FLOOR OR WALL SURFACES.
 2. THROUGH PENETRANT - ONE STEEL DUCT TO BE INSTALLED EITHER CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRESTOP SYSTEM. AN ANNULAR SPACE OF MIN. 1/2 IN. TO MAX. 1-1/2 IN. IS REQUIRED WITHIN THE FIRESTOP SYSTEM. STEEL DUCT TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF FLOOR OR WALL ASSEMBLY. THE FOLLOWING SIZES OF STEEL DUCTS MAY BE USED:
 - A. STEEL DUCT - NOM. 16 IN. DIAM (OR SMALLER) NO. 24 GAUGE (OR HEAVIER) SPIRAL WOUND GALV. STEEL DUCT
 - B. STEEL VENT DUCT - NOM. 10 IN. DIAM (OR SMALLER) NO. 28 GAUGE (OR HEAVIER) GALV. STEEL VENT DUCT
 3. FIRESTOP SYSTEM - THE FIRESTOP SYSTEM SHALL CONSIST OF THE FOLLOWING:
 - A. PACKING MATERIALS - NOM 1 IN. THICKNESS OF TIGHTLY PACKED MINERAL WOOL BATT INSULATION FIRMLY PACKED INTO OPENING AS A PERMANENT FORM. POLYETHYLENE BACKER ROD OR NOM 1 IN. THICK GLASS FIBER INSULATION MAY BE USED WITH STEEL VENT DUCTS (ITEM 2B) IN LIEU OF MINERAL BATT INSULATION. PACKING MATERIAL TO BE RECESSED FROM TOP SURFACE OF FLOOR OR BOTH SURFACES OF WALL AS REQUIRED TO ACCOMMODATE THE REQUIRED THICKNESS OF FILL MATERIAL.
 - B. FILL, VOID OR CAVITY MATERIAL* - SEALANT - MIN 1 IN. THICKNESS OF FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH WITH TOP SURFACE OF FLOOR OR WITH BOTH SURFACES OF WALL.
- *BEARING THE UL CLASSIFICATION MARKING

UL SYSTEM NO. CAJ7003
METAL DUCT THROUGH CONCRETE FLOOR/WALL OR BLOCK WALL
F RATING = 3 HR.
T RATING = 0 HR.
L RATING AT AMBIENT = 1 CFM/SQ. FT.
L RATING AT 400°F = LESS THAN 1 CFM/SQ. FT.

3-HOUR DUCT PENETRATION FIRESTOPPING DETAIL

9

1 1/2" = 1' - 0"



CONSULTANT:

11144

Ravinia

515-555 Roger Williams Avenue
Highland Park, IL 60035

CLIENT:
Imperial Realty Co.

4747 W. Peterson Ave.
Suite 200
Chicago, IL 60646

1	Permit Corrections 01	02/01/18
#	DESCRIPTION	DATE



FIRE SAFING DETAILS

A7-01

GENERAL STRUCTURAL NOTES:

LOADING SCHEDULE:

GARAGE / RETAIL LEVEL FLOOR LOADS:	
DEAD	15 PSF (5' SLAB ON GRADE)
LIVE	100 PSF (PARKING)
LIVE	100 PSF (CORRIDORS / PUBLIC SPACES / STAIRS)
LIVE	125 PSF (LIGHT STORAGE / MECHANICAL AREAS)
SECOND/ TRANSFER LEVEL FLOOR LOADS:	
DEAD	105 PSF (8 1/2" HOLLOWCORE PLANK + 2 1/2" TOPPING)
DEAD	110 PSF (12" HOLLOWCORE PLANK + 2 1/2" TOPPING)
DEAD	135 PSF (16" HOLLOWCORE PLANK + 2 1/2" TOPPING)
DEAD	10 PSF SUPERIMPOSED DL
LIVE	40 PSF (DUELLING UNITS)
LIVE	60 PSF (PRIVATE DECKS)
LIVE	100 PSF (PUBLIC LOBBIES / STAIRS / CORRIDORS)
LIVE	150 PSF (MECHANICAL / ELECTRICAL ROOF)
THIRD AND FOURTH LEVEL FLOOR LOADS:	
DEAD	10 PSF (3/4" GYF TOPPING, CLG, FLR TRUSSES, ETC)
DEAD	5 PSF MISC. (B/CHORD TRUSS LOADS)
LIVE	40 PSF (DUELLING UNITS / CORRIDORS SERVING THEM)
LIVE	60 PSF (PRIVATE DECKS / UNIT STORAGE / LOCKERS)
LIVE	100 PSF (PUBLIC LOBBIES / STAIRS / CORRIDORS)
ROOF AND ATTIC LOADS:	
DEAD	25 PSF (ROOF TRUSSES AND MISC. DL)
LIVE	35 PSF (SNOW / UNBALANCED DRIFT + B/CHORD)
LIVE	15 PSF (UNDER HEAVY MECHANICAL UNITS)
WIND LOAD: (90 MPH EXPOSURE B)	
WIND	20 PSF (MAIN LATERAL SYSTEM)
WIND	25 PSF (COMPONENTS + CLADDING LOADS)

GENERAL NOTES:

- ALL ELEVATIONS REFER TO TOP OF THE FIRST FLOOR CONCRETE TOPPING AT ELEVATION +00'-00". REFER TO THE ARCHITECTURAL DRAWINGS FOR DATUM ELEVATION. (ARCH. ELEV. + 0'-0")
- ALL WORK SHALL CONFORM TO THE 2009 EDITION OF THE INTERNATIONAL BUILDING CODE.
- SHOP DRAWINGS PREPARED BY THE SUBCONTRACTORS, SUPPLIERS, ETC. SHALL BE REVIEWED BY THE ARCHITECT AND THE ENGINEER FOR CONFORMANCE WITH THE DESIGN CONCEPT ONLY.
- THE CONTRACTOR SHALL INSPECT THE SITE AND SHALL VERIFY ALL DATA PERTAINING TO THE EXISTING CONDITIONS AND TO THEIR RELATION TO THE NEW WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
- THE SPECIFICATIONS ARE AN INTEGRAL PART OF THE CONTRACT DOCUMENTS AND SHOULD BE STUDIED BEFORE PROCEEDING WITH THE WORK.
- NO WORK SHALL BE PERFORMED PRIOR TO SHOP DRAWING REVIEW.
- FOR DETAILS AND DIMENSIONS NOT SHOWN, REFER TO THE ARCHITECTURAL DRAWINGS.
- UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
- COORDINATION OF SIZES AND LOCATIONS OF OPENINGS FOR PIPES, DUCTS, ETC. SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NO PIPES OR SLEEVES FOR MECHANICAL OR OTHER TRADES SHALL PASS THROUGH STRUCTURAL MEMBERS WITHOUT THE ARCHITECT'S APPROVAL.
- THE CONTRACTOR SHALL GIVE DUE CONSIDERATION TO ALL SAFETY RISKS DICTATED BY GOOD AND GOOD PRACTICE. TEMPORARY BRACING SHALL BE PROVIDED, WHERE NECESSARY, TO INSURE THE STABILITY AND SAFETY OF THE STRUCTURE DURING ERECTION AND CONSTRUCTION. DESIGN AND CONSTRUCTION OF ALL TEMPORARY BRACING, SCAFFOLDING, SHORING, ETC. SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE RESPECTIVE TRADE CONTRACTOR.

MISCELLANEOUS NOTES:

- THE CONTRACTOR SHALL FOLLOW WRITTEN DIMENSIONS ONLY. DO NOT SCALE DRAWINGS.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSIDERED TO APPLY AT ANY SIMILAR SITUATION ELSEWHERE ON THE JOB EXCEPT WHERE A DIFFERENT DETAIL OR SECTION IS SHOWN.
- THE STRUCTURE SHALL BE ADEQUATELY BRACED AND SHORED BY THE CONTRACTOR DURING ERECTION TO SAFELY RESIST ALL WIND AND ERECTION LOADS. STRUCTURAL MEMBERS ARE DESIGNED FOR FINAL "IN-PLACE" LOADS ONLY.
- THE ANCHOR BOLTS FOR MECH AND ELEC EQUIPMENT ARE FURNISHED AND LOCATED BY THE RESPECTIVE CONTRACTORS AND SET BY THE GENERAL CONTRACTOR EXCEPT WHERE THE OTHER CONTRACTORS FURNISH THEIR OWN CONCRETE PADS.
- ALL PIPE SLEEVES ARE FURNISHED BY AND LOCATED BY THE SITE MECHANICAL AND ELECTRICAL CONTRACTORS AND BE SET BY THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL OPENING SIZES, PAD SIZES, AND LOCATIONS WITH RESPECTIVE CONTRACTORS. ALL CORE DRILLING SHALL BE DONE BY THE MECHANICAL AND ELECTRICAL CONTRACTORS FOR THEIR OWN WORK UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR. NO REINFORCING SHALL BE CUT. VERIFY LOCATION OF REINFORCING BEFORE CORE DRILLING. THERE SHALL NOT BE ANY CORE DRILLING THROUGH BEAMS OR COLUMNS. CORE HOLES THROUGH SLABS SHALL BE PIPE # 1 1/2" (16" x 14").

SHOP DRAWING NOTES:

- SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- PRIOR TO SUBMITTAL TO ARCHITECT/ENGINEER, THE GENERAL CONTRACTOR SHALL REVIEW THE SHOP DRAWINGS AND MAKE ANY CORRECTIONS REQUIRED. THE GENERAL CONTRACTOR SHALL STAMP AND SIGN THE DRAWINGS THAT HE HAS REVIEWED THEM.
- SHOP DRAWINGS PREPARED BY THE SUBCONTRACTORS, SUPPLIERS, ETC. SHALL BE REVIEWED BY THE ARCHITECT FOR CONFORMANCE WITH THE DESIGN CONCEPT ONLY.
- SHOP DRAWINGS SHALL BE FURNISHED FOR ALL STRUCTURAL COMPONENTS. ALL SUBMITTALS TO BE SENT VIA EMAIL IN PDF FORMAT. REVIEW THE WILL BE (2) WORKING WEEKS FOR EACH SUBMITTAL UNLESS NOTED DIFFERENTLY.

MASONRY NOTES:

- ALL MASONRY WORK SHALL CONFORM TO THE LATEST EDITIONS OF "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530/ASCS 5.1) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530/ASCS 6.1). GIVEN STRUCTURAL DESIGN LOADS, CONTRACTOR ASSUMES THE EXISTENCE OF ADEQUATE FIELD SUPPORTS/BOARDS OF CONSTRUCTION, FULFILLING THE "WITH INSPECTION" CRITERIA OF THE CODES.
- SPECIFIED COMPRESSIVE STRENGTH OF MASONRY (FM) IS 1900 PSI.
- MORTAR SHALL MEET THE REQUIREMENTS OF ASTM SPEC. C710 AND IS SPECIFIED BY TYPE AS FOLLOWS:
TYPE 5 MORTAR SHALL BE USED FOR ALL INTERIOR AND EXTERIOR BEARING WALLS, HEREIN DEFINED AS THOSE WALLS SHOWN ON THE STRUCTURAL DESIGN DRAWINGS.
TYPE N MORTAR MAY, AT CONTRACTOR'S OPTION, BE USED FOR ALL INTERIOR NON-STRUCTURAL PARTITIONS, AND FOR ALL MASONRY WORK NOT SPECIFIED ABOVE.
- GROUT CONFORMING TO ASTM C416 WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI SHALL BE USED AS FILLING FOR ALL VERTICAL CAVITIES, BOND BEAMS, LINTEL BLOCK COURSES, AND HOLLOW MASONRY UNITS DESIGNATED AS SOLID GROUTED IN THE DESIGN DRAWINGS.
- CONCRETE MASONRY WORK SHALL CONFORM TO "SPECIFICATION FOR THE DESIGN AND CONSTRUCTION OF LOAD-BEARING CONCRETE MASONRY" (ACI 318). CONCRETE MASONRY UNITS ARE SPECIFIED BY TYPE AS FOLLOWS:
STANDARD HOLLOW LOAD BEARING UNITS: ASTM C90 GRADE N, TYPE 1.

MORTAR AND GROUT SHALL BE TESTED BY AN APPROVED INDEPENDENT TESTING LABORATORY IN ACCORDANCE WITH ASTM C 780. TWO SETS OF THREE MORTAR OR GROUT CUBES SHALL BE TAKEN AT RANDOM FOR EACH DAY OF MASONRY WORK. TEST ONE CUBE OF EACH SET AT 1 DAY'S, THE SECOND CUBE TO BE TESTED AT 28 DAYS. THE THIRD CUBE TO BE TESTED AT 56 DAYS.

LAP SPICES FOR ALL REINFORCEMENT SHALL HAVE A MINIMUM LENGTH OF 48 BAR DIAMETERS OR 12", WHICHEVER IS GREATER.

MORTAR BEDDING FOR HOLLOW MASONRY UNITS REQUIRES THE HORIZONTAL FACE SHELLS TO BE FULLY COVERED BY MORTAR. IN THE ERECTION OF PIERS, COLUMNS AND PILLARS, THERE IS THE ADDITIONAL REQUIREMENT FOR THE INTERMEDIATE AND END ENDS TO BE MORTARED.

THE FIRST COURSE FOR HOLLOW MASONRY AT THE BASE AND ABOVE EACH FLOOR MUST BE LAID IN A FULL BED OF MORTAR AND GROUTED SOLID.

MORTAR BEDDING FOR SOLID UNITS REQUIRES THAT THE HORIZONTAL AND VERTICAL BEDS BE FULLY COVERED WITH MORTAR.

HOLLOW UNITS THAT ARE TO BE GROUTED SHOULD HAVE THE SURROUNDING WEBS FULLY MORTARED TO CONFINE THE GROUT TO THE INTENDED.

CORES GROUTED AT NOT MORE THAN 4 FOOT LISTS. WALLS CARRIED UP HIGHER THAN 4 FEET BEFORE GROUTING SHOULD HAVE A CLEAN-OUT AT THE BASE OF THE CORES TO BE FILLED WITH GROUT.

THE CONSTRUCTION OF WALLS THAT ARE TO BE GROUTED SHALL BE ERECTED WITH CARE TO INSURE CORE ALIGNMENT FOR MAXIMUM GROUTING. THE GROUT SPACE SHALL HAVE A MINIMUM DIMENSION OF 2 INCHES AND THE VERTICAL CORES TO BE GROUTED SHOULD HAVE A MINIMUM UNOBSTRUCTED OPENING OF 2 BY 3 INCHES. FILLING CORES WITH MORTAR AS THE WORK PROGRESSES IS NOT AN ACCEPTABLE METHOD OF GROUTING.

CHLORIDE NITRATE SULFATE BASE SALTS AND/OR ADMIXTURES CONTAINING SAME SHALL NOT BE INCLUDED IN MORTAR OR GROUT MIX. IF EXTERIOR MASONRY IS TO BE LAID WHEN THE OUTSIDE AIR TEMPERATURE IS LESS THAN 40 DEGREES FAHRENHEIT, IT SHALL BE INSTALLED IN ACCORDANCE WITH "RECOMMENDED PRACTICES FOR COLD WEATHER MASONRY CONSTRUCTION" ISSUED BY THE INTERNATIONAL MASONRY INDUSTRY LATEST EDITION. AIR-ENTRAINING ADMIXTURES OR HYDRATED LIME CONTAINING AIR-ENTRAINING IN ADMIXTURES SHALL NOT BE USED IN MORTAR.

MASONRY WALLS SHALL BE ADEQUATELY BRACED DURING ERECTION TO SAFELY WITHSTAND ALL ERECTION LOADS INCLUDING WIND LOADS PER GOVERNING BUILDING CODES. BRACING SHALL REMAIN IN PLACE UNTIL ALL PERMANENT LATERAL SUPPORTS (EG FLOOR ROOFS & WALLS) ARE FULLY INSTALLED AND HAVE ACHIEVED THEIR DESIGN STRENGTH.

LOCATE VERTICAL CONTROL / EXPANSION JOINTS AT EVERY 20'-0" (MAX) UNLESS NOTED OTHERWISE ON THE PLANS AND SCHEDULES. PROVIDE THE FOLLOWING LITELS ABOVE ALL MASONRY OPENINGS:

4" BRCK: SIZE OF OPENING LITEL"

4'-0" OR LESS	1-1/2"x3-1/2"x16 PER 4" OF WALL
4'-0" THRU 6'-0"	1-1/2"x3-1/2"x16, LLY " " "
6'-0" THRU 8'-0"	1-1/2"x3-1/2"x16, LLY " " "
8'-0" THRU 12'-0"	1-1/2"x3-1/2"x16, LLY " " "

LESS THAN THE WALL THICKNESS
**PROVIDE 6" MIN BEARING AT EACH END.

8" CMU: SIZE OF OPENING LITEL"

4'-0" OR LESS	(2)-1-1/2"x3-1/2"x16 + 3/8" IE
4'-0" THRU 6'-0"	(2)-1-1/2"x3-1/2"x16, LLY " " "
6'-0" THRU 8'-0"	(2)-1-1/2"x3-1/2"x16, LLY " " "
8'-0" THRU 12'-0"	1-1/2"x3-1/2"x16, LLY " " "

LESS THAN THE WALL WIDTH
**PROVIDE 6" MIN BEARING AT EACH END.
**IE WIDTH TO BE 1/2" LESS THAN THE WALL WIDTH

FOUNDATION NOTES:

- FOOTINGS FOUNDATION WALLS AND CONCRETE SLABS ON GRADE HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RECOMMENDATION OF THE 2009 EDITION OF THE INTERNATIONAL BUILDING CODE.
- SOILS DATA IS TAKEN FROM A SOIL INVESTIGATION REPORT BY EGS MIDWEST, LLC, AND DATED ON DECEMBER 30, 2014 (REF: EGS MIDWEST, LLC PROJECT REPORT NUMBER 16-10434)
- FOOTINGS SHALL BEAR ON UNDISTURBED SOIL, WHEREVER POSSIBLE. DESIGN SOIL BEARING PRESSURE IS 3000 PSF FOR Frost-Level GARAGE AREA AND RETAIL FOOTINGS.
- ALL FOUNDATION AND SLAB EXCAVATIONS SHALL BE INSPECTED AND VERIFIED BY A GEOTECHNICAL ENGINEER. ALL REPORTS ARE TO BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR RECORD.
- FOOTINGS SHALL BEAR AT THE ELEVATIONS SHOWN ON PLAN. IF OVER-EXCAVATION OCCURS, OR THE EXISTING SITE IS BELOW THE INDICATED BEARING ELEVATIONS, PLACE AND COMPACT ENGINEERED FILL AS DIRECTED BY THE ON-SITE SOILS ENGINEER + DTL. 1483-031.
- A MINIMUM FROST COVER OF 4'-0" SHALL BE MAINTAINED FOR ALL EXTERIOR FOOTINGS.
- FILL AND/OR BACKFILL SHALL BE COMPACTED TO THE FOLLOWING MINIMUM PERCENTAGES OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-1557:
FILL UNDER FOOTINGS 95%
FILL UNDER BUILDING SLAB-ON-GRADE 95%
** AVOID COMPACTING COHESIVE SOILS AT MOISTURE CONTENTS ON THE WET SIDE OF OPTIMUM.
- PROVIDE THICKENED SLAB UNDER ALL MASONRY PARTITIONS AND STAIR LANDINGS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS AND STRUCTURAL DRAWINGS FOR THICKENED SLAB DETAIL.
- NO FOOTINGS SHALL BE PLACED ON TOP OR AGAINST SUBGRADE CONTAINING FREE WATER, FROST, OR ICE.
- A VAPOR BARRIER SHALL BE PROVIDED UNDER ALL INTERIOR SLABS-ON-GRADE PER SPECIFICATIONS.

STRUCTURAL STEEL NOTES:

- ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36, 36/50/200 PSI YIELD UNLESS NOTED OTHERWISE. STRUCTURAL TUBING SHALL CONFORM TO ASTM A-500 GRADE B. STRUCTURAL PIPE SHALL CONFORM TO ASTM A-53, TYPE E OR S. WIDE FLANGE SECTIONS SHALL CONFORM TO ASTM A-992 Fy = 50 KSI.
- STRUCTURAL STEEL DETAILS, FABRICATION AND ERECTION SHALL CONFORM TO THE NINTH EDITION OF THE AISC "MANUAL OF STEEL CONSTRUCTION" AND ADDITIONAL AISC CODE MANUALS 303 AND 360.
- WELDING ELECTRODES SHALL CONFORM TO ASTM 233 CLASS E70 SERIES. AUS D11-9.
- BOLTS SHALL BE 3/4" DIAMETER, ASTM A-305 N UNLESS OTHERWISE REQ'D.
- SHOP CONNECTIONS MAY BE WELDED UNLESS OTHERWISE INDICATED. WELDS SHALL BE DESIGNED TO BE FULLY EQUIVALENT IN STRENGTH TO STANDARD BOLTED CONNECTIONS.
- UNLESS OTHERWISE NOTED, ALL WELDS SHALL BE CONTINUOUS 1/4" FILLET WELDS UNLESS OTHERWISE OTHERWISE REQ'D.
- BURNING OF HOLES AND CUTS IN STRUCTURAL STEEL IN THE FIELD SHALL NOT BE PERMITTED, EXCEPT BY WRITTEN PERMISSION FROM THE ARCHITECT OR STRUCTURAL ENGINEER.
- ERECT STRUCTURAL STEEL IN ACCORDANCE WITH AISC/SUPPLEMENTS AND WITH SPECIFICATION SECTION 05 1200, "STRUCTURAL STEEL FRAMING".
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL ERECTION PROCEDURES AND SEQUENCES, INCLUDING, BUT NOT LIMITED TO, TEMPERATURE DIFFERENTIALS, ERECTION TOLERANCES, AND WITH RESPECT TO STRUCTURAL STEEL FRAMING INTO REINFORCED CONCRETE WALLS, BEAMS OR COLUMNS.
- AFTER ERECTION, CLEAN FIELD WELDS, BOLTED CONNECTIONS, AND ABRASION SURFACES AND MID IN ACCORDANCE WITH DIVISION I GENERAL REQUIREMENTS OF THE PROJECT SPECIFICATIONS OF THIS PROJECT. ERECTION TOLERANCES SHALL COMPLY WITH AISC AND WITH SPECIFICATIONS SECTION 05 1200, "STRUCTURAL STEEL FRAMING".

CONCRETE NOTES:

- CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318) AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE" (ACI 308).
- NO WORK SHALL BEGIN WITHOUT CONTRACTOR A/E REVIEW OF SHOP DRAWINGS AND MIX DESIGN.
- MATERIAL PROPERTIES
ALL NORMAL WEIGHT CONCRETE (145 pcf) SHALL HAVE THE FOLLOWING MATERIAL PROPERTIES AND SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH AS FOLLOWS:

FC PSI	MAX. W/C RATIO	MAX. SLUMP INCHES	TOTAL AIR CONTENT	
			28 DAYS	1 DAY
CONCRETE FTG'S	4.000	0.50	4-6	NA
CONCRETE WALLS	4.000	0.50	4-6	NA
FC CONCRETE SLAB	3.000	0.50	5-7	NA
INTERR CONC. SLAB	4.000	0.45	4	3%
EXTRR CONC. SLAB	4.500	0.45	4	7%
ALL OTHER	4.000	0.45	4	5%
N.S. GROUT	8.000	0	8	NA

*PRIOR TO ADDING SUPERPLASTICIZER
CALCIUM CHLORIDE AND/OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE LOADED IN CONCRETE.

ALL CONCRETE EXPOSED TO EXTERIOR EXPOSURE SHALL BE AIR ENTRAINED 6% TO 8% MIN.

ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 1 DAY'S PRIOR TO REMOVING FORMS. IF FORMS FOR VERTICAL SURFACES ARE REMOVED PRIOR TO THE END OF THE CURING PERIOD, SPRAY SURFACES WITH LIQUID MEMBRANE CURING COMPOUND (SEE SPECIFICATIONS).

REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60. PROVIDE CORNER BARS OF SAME SIZE AND SPACING AS HORIZONTAL WALL REINFORCEMENT. DEFORMED BAR ANCHORS ASTM A496, Fy = 70 KSI. HEAD END ANCHOR STUDS ASTM A108.

PROVIDE HORIZONTAL CONNECTION JOINTS IN EXPOSED CONCRETE

UNLESS NOTED OTHERWISE, PROVIDE LAP SPICES OF AT LEAST 48 BAR DIAMETERS FOR ALL REINFORCED. ADDITIONAL LAP SPICES REQUIRED FOR CONSTRUCTION SHALL BE 48 BAR DIAM.

UNLESS NOTED OTHERWISE, PROVIDE THE FOLLOWING MINIMUM CLEAR CONCRETE COVER FOR REINFORCING BARS AS SHOWN

CONCRETE EXPOSED TO EARTH OR WEATHER:

SURFACES NOT FORMED	3"
BOTTOM OF FOOTINGS	3"
SURFACES FORMED	2"
ALL OTHER SURFACES	2"

CONCRETE NOT EXPOSED TO EARTH OR WEATHER:

SLABS (BOTTOM)	3/4"
SLABS (TOP)	1"
WALLS (INTERIOR SURFACE)	1"
ALL OTHER SURFACES	1 1/2"

CONC. REINF. SHOP DRAWINGS SHALL INCLUDE PLANS SHOWING ALL ACCESSORY BARS, ETC. FOR SUPPORT OF TOP AND BOTTOM REINFORCING. SPACE CHAIRS AT 4'-0" MAXIMUM SUPPORT BARS MUST BE INSTALLED.

CONCRETE REINF. SHALL BE PLACED ACCORDING TO THE CRSI MANUAL "RECOMMENDED FOR PLACING REINF. BARS". PROVIDE ADEQUATE CLEARANCES FOR THE ENTIRE LENGTH OF ALL REINFORCING BARS. PROVIDE CONTINUOUS 1/4" SPACER BARS IN WALLS AND SLABS TO SUPPORT DOUELS.

ALL FIELD BENDING OF REINFORCING SHALL BE DONE COLD. HEATING OF BARS IN THE FIELD IS NOT PERMITTED.

NO ALUMINUM OF ANY TYPE SHALL BE ALLOWED IN THE CONCRETE WORK UNLESS COATED TO PREVENT ALUMINUM/CONCRETE REACTION. MAXIMUM OD. OF EMBEDDED CONDUIIT SHALL BE NO LARGER THAN ONE-THIRD OF THE SLAB THICKNESS.

NO ELECTRICAL CONDUIT SHALL BE PLACED IN SLABS-ON-GRADE.
- PROVIDE 6x6-10x10x12 WUF IN ALL PADS GREATER THAN 7'-0"x2'-0". PLACE WUF 1" FROM THE TOP OF THE CONCRETE.
- WELDED WIRE FABRIC (WUF) SHALL CONFORM TO ASTM A885. LAP SHEETS ON THE WIRE FABRIC ADJACENT SHEETS TOGETHER SECURELY. WELDED WIRE FABRIC SHALL BE DRAPPED AT ALL DECK SUPPORTS.

REFER TO ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR OPENINGS, SLEEVES, ANCHORS, HANGERS, SLAB DEPRESSIONS AND ANY OTHER ITEMS RELATED TO CONCRETE WORK. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THEIR PROPER LOCATION.

FIBERFESH IN CONCRETE STRUCTURAL SLAB TO BE ADDED TO 4000 PSI CONCRETE AT A RATE OF 15 LB/CY. GENERAL CONTRACTOR TO SUBMIT FIBERFESH MANUFACTURER INFORMATION TO ARCHITECT FOR APPROVAL PRIOR TO PLACEMENT OF SLABS.

TIMBER NOTES:

- ALL TIMBER CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) OF THE NATIONAL FOREST PRODUCTS ASSOCIATION.
 - ALL TIMBER BEAMS/JOISTS AND BRACING PLATES SHALL BE NO. 2 SPRUCE - PINE FIR (SPF #1) OR NO. 1 DOUGLASS FIR, SURFACED DRY.
** MINIMUM DESIGN VALUES FOR SPRUCE - PINE FIR (SPF #2):
BENDING STRESS (Fb) = 875 PSI
TENSION // GRAIN (Ft) = 450 PSI
HORIZITL. SHEAR (Fv) = 135 PSI
COMPR. // GRAIN (Fc) = 1150 PSI
COMPR. I. GRAIN (Fc) = 425 PSI
MODULUS ELASTICITY (E) = 1,400,000 PSI
- ALL LUMBER EXPOSED TO WEATHER INCLUDING BEAMS/JOISTS SHALL BE DOUGLASS FIR-LARCH (DLF #1) OR BETTER
- ** MINIMUM DESIGN VALUES FOR DOUGLASS FIR-LARCH (DLF #2):
- | | |
|------------------------|-----------------|
| BENDING STRESS (Fb) | = 3000 PSI |
| TENSION // GRAIN (Ft) | = 575 PSI |
| HORIZITL. SHEAR (Fv) | = 180 PSI |
| COMPR. // GRAIN (Fc) | = 1350 PSI |
| COMPR. I. GRAIN (Fc) | = 625 PSI |
| MODULUS ELASTICITY (E) | = 1,600,000 PSI |
3. SUBMIT FOR REVIEW MANUFACTURER'S DATA, INCLUDING DIMENSIONS AND LOAD CAPACITIES, FOR ALL CONNECTION HARDWARE TO BE USED WITH SAUN LUMBER.
4. ROOF FRAMING SHALL BE PRE-FABRICATED ROOF TRUSSES AS SHOWN ON THE ROOF FRAMING PLAN. VERIFY ALL ROOF OPENINGS AND MECHANICAL EQUIPMENT LOADS.
5. ALL LVL OR PSL LUMBER SHALL BE BY TRUS JOIST OR EQUAL
- ** MINIMUM DESIGN VALUES FOR LAMINATED LUMBER (LVL):
- | | |
|------------------------|-----------------|
| BENDING STRESS (Fb) | = 2,600 PSI |
| HORIZITL. SHEAR (Fv) | = 285 PSI |
| COMPR. // GRAIN (Fc) | = 2,510 PSI |
| COMPR. I. GRAIN (Fc) | = 150 PSI |
| MODULUS ELASTICITY (E) | = 1,300,000 PSI |
- ** MINIMUM DESIGN VALUES FOR PARALLAL LUMBER (PSL):
- | | |
|------------------------|-----------------|
| BENDING STRESS (Fb) | = 2,300 PSI |
| HORIZITL. SHEAR (Fv) | = 290 PSI |
| COMPR. // GRAIN (Fc) | = 2,300 PSI |
| COMPR. I. GRAIN (Fc) | = 150 PSI |
| MODULUS ELASTICITY (E) | = 1,000,000 PSI |

6. ALL WALL STUDS SHALL PROVIDE THE DESIGN VALUES EQUAL TO OR EXCEEDING THE FOLLOWING:

INTERIOR PARTITION WALLS:

Fc=6.75 PSI, E=1200,000 PSI	SPACE 2x4 STUDS @ 16" o.c.
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INTERIOR BEARING WALLS: (SPF NO. 2)

Fc=1150 PSI, E=1,400,000 PSI	SPACE 2x6 STUDS @ 16" o.c. (FIRST LEVEL OF THREE)
	SPACE 2x6 STUDS @ 16" o.c. (SECOND LEVEL OF THREE)
	SPACE 2x6 STUDS @ 16" o.c. (THIRD LEVEL OF THREE)

EXTERIOR BEARING WALLS: (SPF NO. 2)

Fc=1150 PSI, E=1,400,000 PSI	SPACE 2x6 STUDS @ 16" o.c. (FIRST LEVEL OF THREE)
	SPACE 2x6 STUDS @ 16" o.c. (SECOND LEVEL OF THREE)
	SPACE 2x6 STUDS @ 16" o.c. (THIRD LEVEL OF THREE)

7. FASTENERS:
ROOF: USE 8d NAILS @ 6" o.c. AT SUPPORTED EDGES, 4" o.c. AT INTERMEDIATE, AND 4" o.c. AT ALL DIAPHRAGM EDGES.
FLOOR: USE 8d ANNUAL SCREWS @ 6" o.c. AT SUPPORTED EDGES AND AT 12" o.c. AT INTERMEDIATES, AND 4" AT ALL DIAPHRAGM EDGES. COORD. REMAINING SHEATHING REQ'RS W/ ARCH. DWGS.

WALL: USE 8d ANNUAL SCREWS @ 6" o.c. AT SUPPORTED EDGES AND AT 12" o.c. AT INTERMEDIATES, AND 4" AT ALL DIAPHRAGM EDGES. COORD. REMAINING SHEATHING REQ'RS W/ ARCH. DWGS.

8. ALL LUMBER EXPOSED TO WEATHER, INCLUDING DIMENSIONAL AND MANUFACTURED (PSL), SHALL BE PRESSURE-TREATED.

ALL CONCRETE EXPOSED TO EXTERIOR EXPOSURE SHALL BE AIR ENTRAINED 6% TO 8% MIN.

ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 1 DAY'S PRIOR TO REMOVING FORMS. IF FORMS FOR VERTICAL SURFACES ARE REMOVED PRIOR TO THE END OF THE CURING PERIOD, SPRAY SURFACES WITH LIQUID MEMBRANE CURING COMPOUND (SEE SPECIFICATIONS).

REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60. PROVIDE CORNER BARS OF SAME SIZE AND SPACING AS HORIZONTAL WALL REINFORCEMENT. DEFORMED BAR ANCHORS ASTM A496, Fy = 70 KSI. HEAD END ANCHOR STUDS ASTM A108.

PROVIDE HORIZONTAL CONNECTION JOINTS IN EXPOSED CONCRETE

UNLESS NOTED OTHERWISE, PROVIDE LAP SPICES OF AT LEAST 48 BAR DIAMETERS FOR ALL REINFORCED. ADDITIONAL LAP SPICES REQUIRED FOR CONSTRUCTION SHALL BE 48 BAR DIAM.

UNLESS NOTED OTHERWISE, PROVIDE THE FOLLOWING MINIMUM CLEAR CONCRETE COVER FOR REINFORCING BARS AS SHOWN

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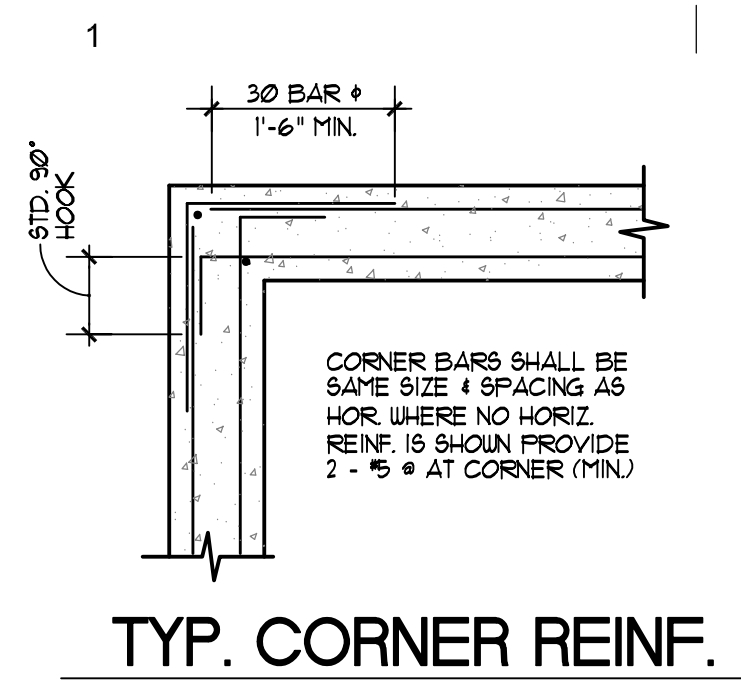
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REFER TO ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR OPENINGS, SLEEVES, ANCHORS, HANGERS, SLAB DEPRESSIONS AND ANY OTHER ITEMS RELATED TO CONCRETE WORK. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THEIR PROPER LOCATION.

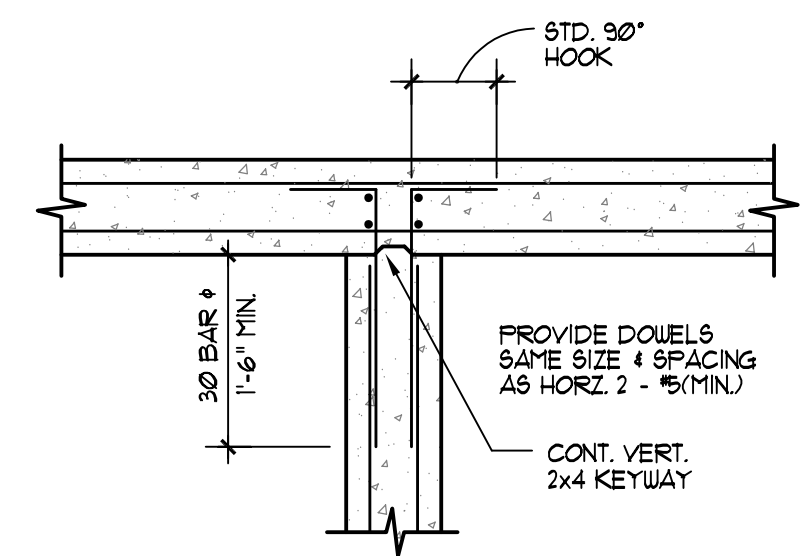
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PRECAST CONCRETE NOTES:

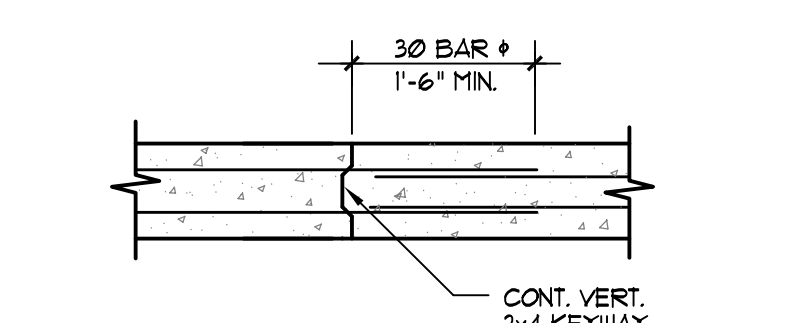
- THE STRUCTURAL CONTRACT DRAWINGS ARE BASED ON A "PERFORMANCE" TYPE DESIGN BY THE PRECAST CONTRACTOR FOR THE PRECAST HOLLOW CORE PLANKS. THE PREPARATION OF "FINAL" PRECAST DESIGN DRAWINGS, DESIGN CALCULATIONS, AND SHOP DRAWINGS NECESSARY FOR FABRICATION AND ERECTION OF ALL PRECAST CONCRETE COMPONENTS, CONNECTIONS BETWEEN PRECAST COMPONENTS, CONNECTIONS TO ALL OTHER STRUCTURAL ELEMENTS AND ALL REQUIRED ACCESSORIES IN ACCORDANCE WITH ALL APPLICABLE CODES AND THE PERFORMANCE DESIGN REQUIREMENTS OF THE CONTRACT DOCUMENTS IS AN INTEGRAL PART OF THIS PROJECT AND IS THE SOLE RESPONSIBILITY OF THE PRECAST CONTRACTOR.
- ALL PRECAST CONCRETE SHOP DRAWINGS AND CALCULATIONS FOR ALL COMPONENTS, CONNECTIONS AND ACCESSORIES SHALL BE PREPARED UNDER THE DIRECT SUPERVISION OF AN ILLINOIS LICENSED STRUCTURAL ENGINEER ENGAGED BY THE PRECAST CONTRACTOR AND SHALL BE SUBMITTED FOR REVIEW WITH THE SIGNATURE/SEAL OF THE ABOVE MENTIONED STRUCTURAL ENGINEER. THE DETAILS AND ALL STRUCTURAL CONNECTION INFORMATION NOTED ON THE DRAWINGS ARE MIN. REQUIREMENTS FOR BIDDING PURPOSES ONLY. ALL COMPONENTS AND CONNECTION DESIGNING BASED UPON THE PERFORMANCE DESIGN CRITERIA SPECIFIED ARE THE SOLE RESPONSIBILITY OF THE PRECAST CONTRACTOR.
- ALL FLOOR AND WALL OPENINGS, REVEALS, DRIPS, BLOCKOUTS, INSERTS, HEADER SUPPORT STRUCTURE, ETC. REQUIRED PER THE DESIGN CONTRACT DOCUMENTS (EG ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION) SHALL BE CAST INTO THE PRECAST CONCRETE. THE PRECAST CONTRACTOR SHALL VERIFY AND COORDINATE THE EXACT SIZES, LOCATIONS AND DESIGN REQ'S WITH THE RESPECTIVE CONTRACTORS.
- THE DESIGN OF ALL STRUCTURAL ELEMENTS (EG BRG WALLS, STRUCTURAL STEEL, ETC) ARE FOR THEIR FINAL IN-PLACE SERVICE LOAD CONDITIONS



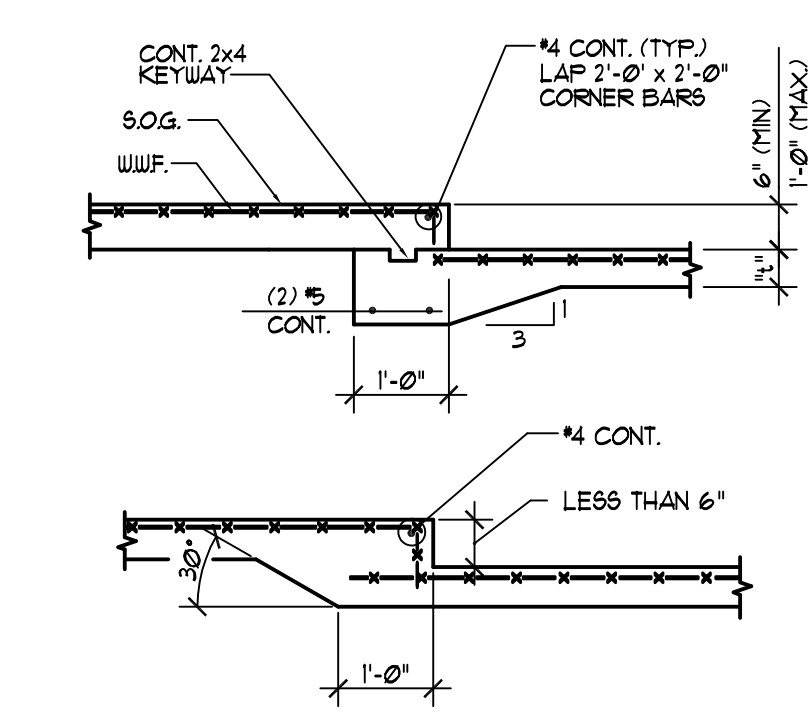
TYP. CORNER REINF.



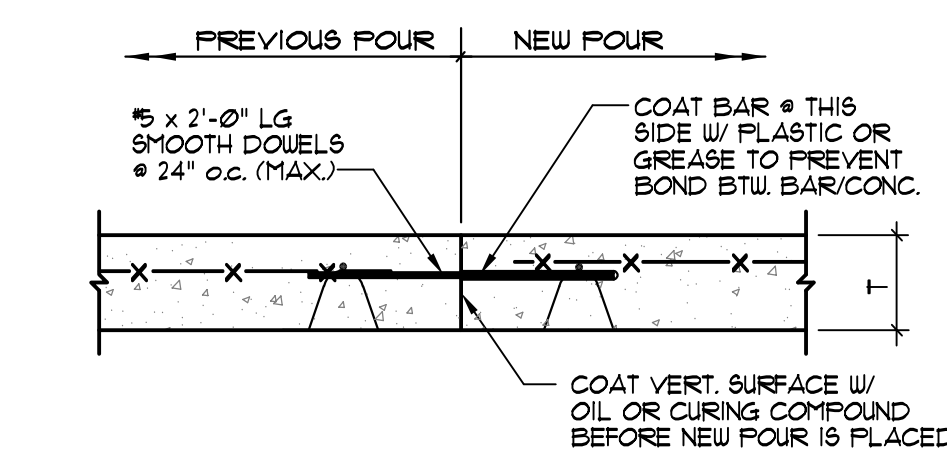
TYP. WALL INTERSECTION



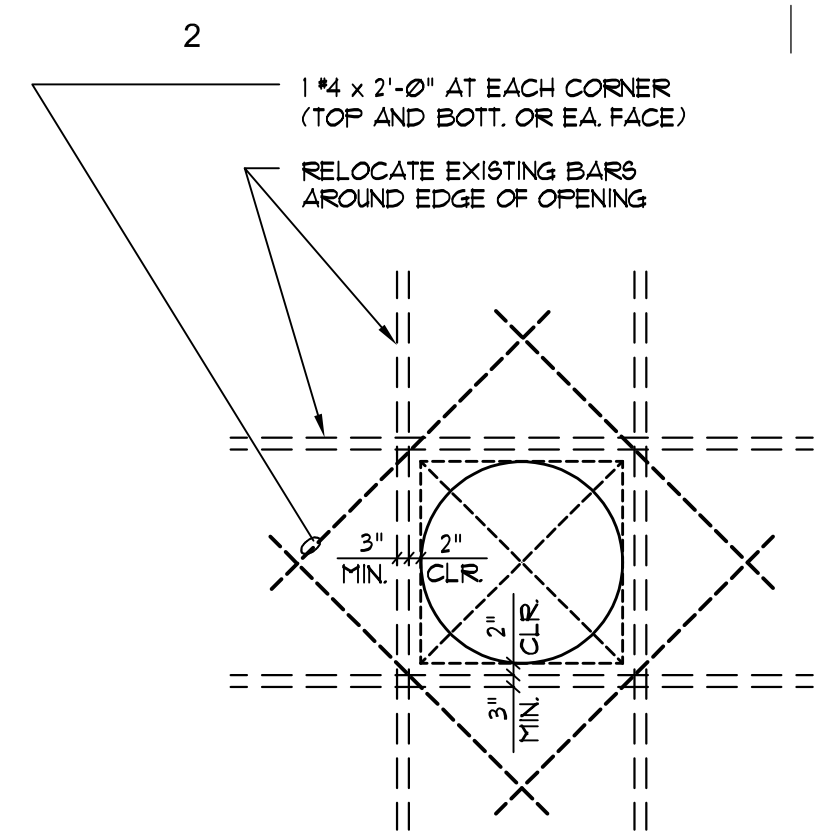
TYP. WALL CONST. JOINT



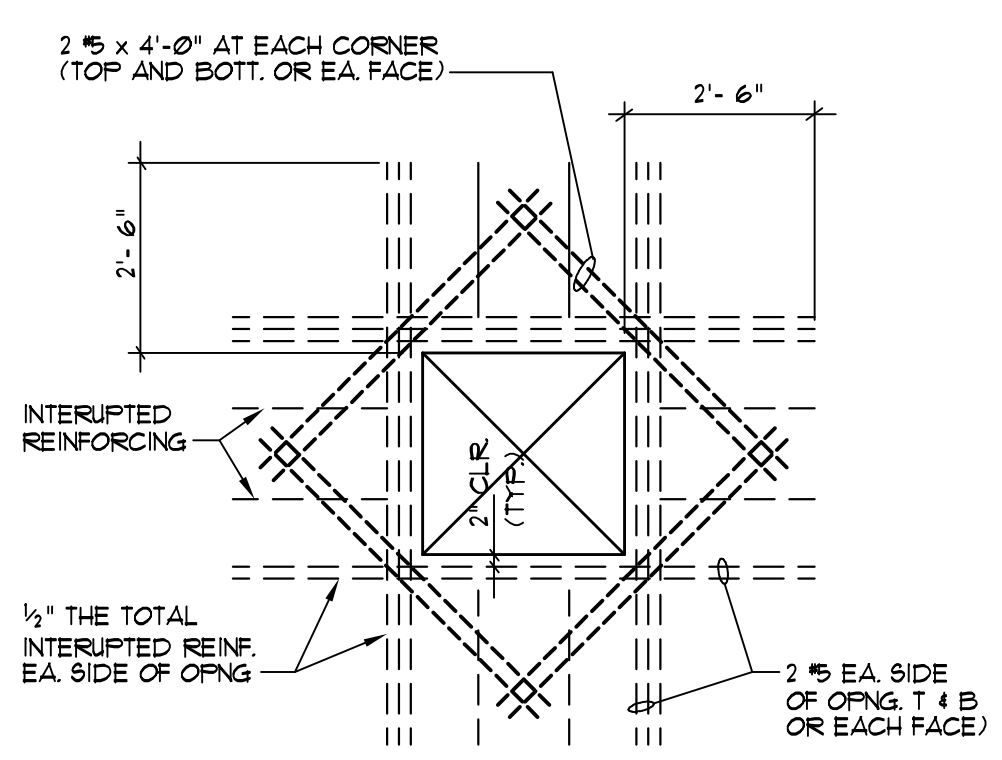
GRADE SLAB DEPRESSION



OPTIONAL SLAB-ON-GRADE CONSTRUCTION JOINT

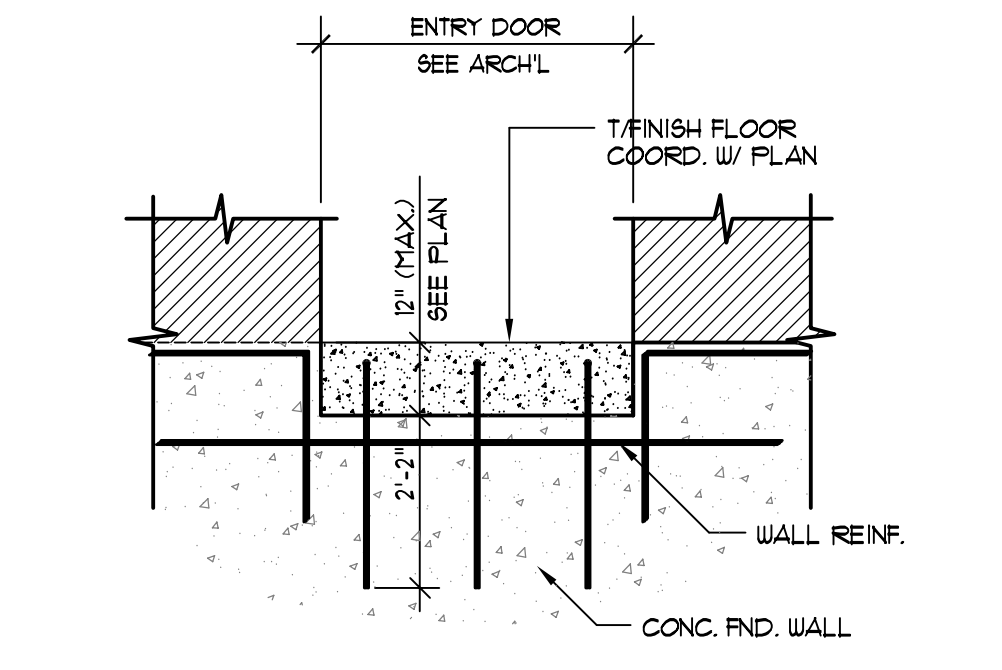


NOTE: OCCURS @ OPENINGS SMALLER THAN TWICE (2x) THE SPACING OF REINFORCEMENT (18\"/>

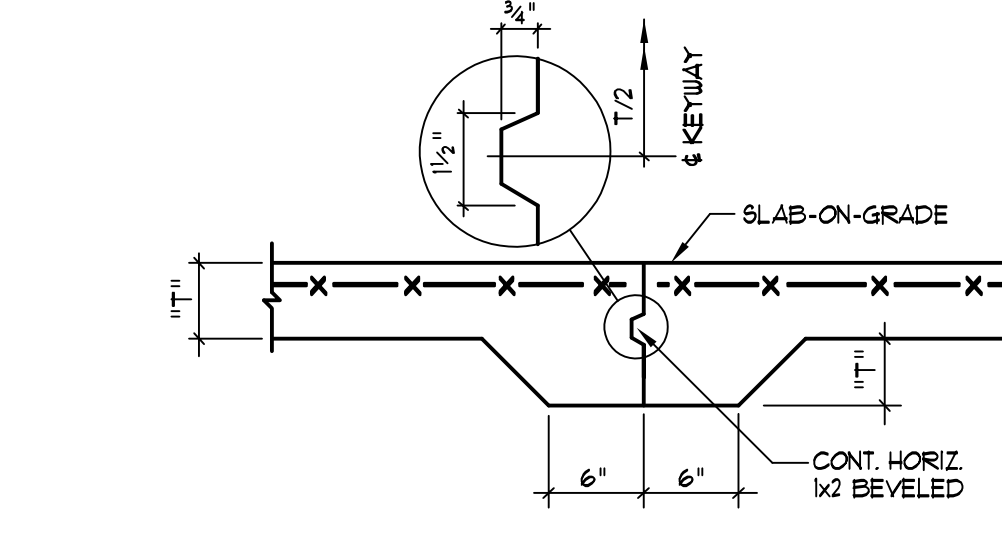


NOTE: OCCURS @ OPENINGS LARGER THAN TWICE (2x) THE SPACING OF REINFORCEMENT

ADDITIONAL REINFORCEMENT AT SLAB AND WALL OPENINGS



ENTRANCE DOOR DETAIL



SLAB-ON-GRADE CONSTRUCTION JOINT

3 SPECIAL INSPECTION AND TESTING (IBC 2009, CHAPTER 17)

ALL TESTS AND INSPECTIONS SHALL BE PERFORMED BY AN INDEPENDENT TESTING AND INSPECTION AGENCY. THE SPECIAL INSPECTOR FROM THIS TESTING AGENCY SHALL OBSERVE THE WORK FOR CONFORMANCE TO THE DESIGN AND SPECIFICATIONS.

THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, THE ENGINEER OF RECORD, AND ALL OTHER DESIGNATED INDIVIDUALS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN, IF NOT CORRECTED, TO THE PROPER DESIGN AUTHORITY AND TO THE BUILDING OFFICIAL.

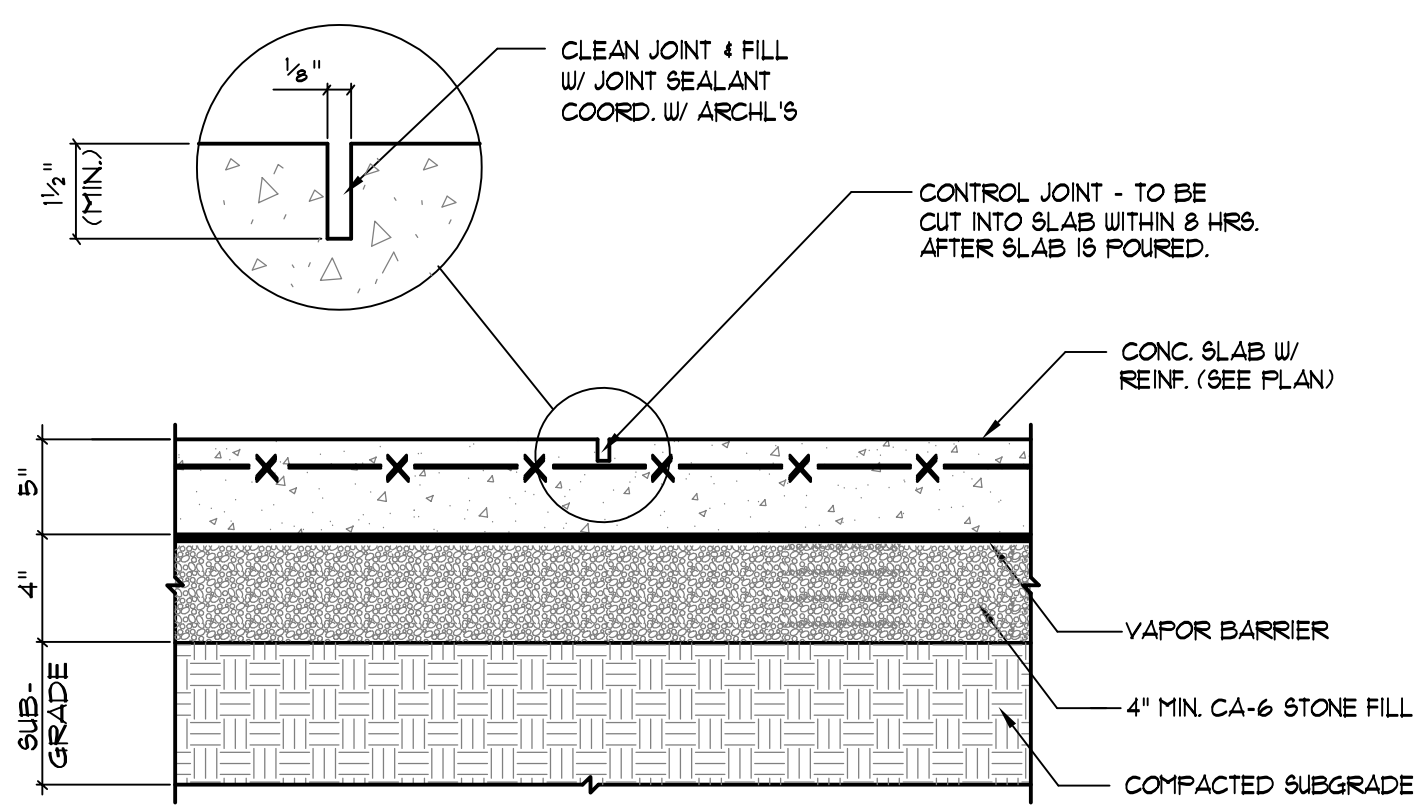
THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS, TO THE BEST OF THE INSPECTOR'S KNOWLEDGE, IN CONFORMANCE WITH THE APPROVED DESIGN DRAWINGS, SPECIFICATIONS, SOILS REPORT AND APPLICABLE WORKMANSHIP PROVISIONS OF THE INTERNATIONAL BUILDING CODE.

THE FOLLOWING ITEMS MARKED 'X' REQUIRE SPECIAL INSPECTIONS (REFER TO IBC 2009 CHAPTER 17 FOR ADDITIONAL INFORMATION).

VERIFICATION AND INSPECTION	YES	
	CONTINUOUS	PERIODIC
1 STEEL CONSTRUCTION (IBC 2009-1704.3)		
A MATERIAL VERIFICATION OF HIGH STRENGTH BOLTS, NUTS AND WASHERS		N.A.
B INSPECTION OF HIGH STRENGTH BOLTING		
BEARING TYPE		N.A.
SLIP CRITICAL TYPE		N.A.
C INSPECTION OF WELDING		
COMPLETE AND PARTIAL PEN WELDS		N.A.
MULTIPASS FILLET WELDS		N.A.
SINGLE PASS FILLET WELDS GREATER THAN 5/16"		N.A.
SINGLE PASS FILLET WELDS LESS THAN 5/16"		N.A.
FLOOR AND ROOF DECK		N.A.
D INSPECTION OF STEEL FRAME DETAILS		N.A.
2 CONCRETE CONSTRUCTION (IBC 2009 1704.4)		
A INSPECTION OF REINFORCING STEEL		X
B INSPECTION OF BOLTS INSTALLED IN CONCRETE	X	
C VERIFY USE OF REQUIRED MIX DESIGN		X
D SAMPLING FRESH CONCRETE AND PERFORMING SLUM, AIR CONTENT AND DETERMINING THE TEMPERATURE OF FRESH CONCRETE AT TIME OF MAKING SPECIMENS FOR STRENGTH TESTS	X	
E INSPECTION OF CONCRETE PLACEMENT	X	
F INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TECHNIQUES		X
G INSPECTION OF PRESTRESSED CONCRETE: (1) APPLICATION OF PRESTRESSING FORCES (2) GROUTING OF BONDED PRESTRESSING TENDONS IN THE GFR SYSTEM.	X	N.A.
H ERECTION OF PRECAST CONCRETE MEMBERS		X
3 MASONRY CONSTRUCTION (IBC 2009 1704.5)		
A AS MASONRY CONSTRUCTION BEGINS:		
PROPORTIONS OF SITE PREPARED MORTAR		N.A.
CONSTRUCTION OF MORTAR JOINTS		N.A.
LOCATION OF REINFORCING AND CONNECTORS		N.A.
B INSPECTION PROGRAM:		
SIZE AND LOCATION OF STRUCTURAL ELEMENTS		X
TYPE, SIZE AND LOCATION OF ANCHORS		X
SIZE, GRADE AND TYPE OF REINFORCEMENT		N.A.
WELDING OF REINFORCING BARS		N.A.
PROTECTION OF MASONRY FOR HOT OR COLD WEATHER		N.A.
C PRIOR TO GROUTING		
GROUT SPACE IS CLEAN		
PLACEMENT OF REINFORCEMENT		X
PROPORTIONS OF SITE-PREPARED GROUT		N.A.
CONSTRUCTION OF MORTAR JOINTS		N.A.
D GROUT PLACEMENT		N.A.
E PREPARATION OF GROUT SPECIMENS, MORTAR SPECIMENS AND/ OR PRISMS SHALL BE OBSERVED		N.A.
F COMPLIANCE WITH REQUIRED INSPECTION PROVISIONS OF CONSTRUCTION DOCUMENTS AND THE APPROVED SUBMITTALS SHALL BE VERIFIED		N.A.
4 WOOD CONSTRUCTION (IBC 2009 1704.6)		
A VERIFY SIZE, SPECIES AND GRADE OF LUMBER SHEATHING COMPLIES WITH CONSTRUCTION DOCUMENTS		X
B VERIFY NAILING OF DIAPHRAGM ROOF DECK AND SHEAR WALLS COMPLIES WITH CONSTRUCTION DOCUMENTS		X
C VERIFY WOOD SHEAR WALL HOLD DOWNS CONFORM TO CONSTRUCTION DOCUMENTS		X
5 SOILS (IBC 2009 1704.7)		
A VERIFY SITE HAS BEEN PREPARED IN ACCORDANCE WITH APPROVED SOILS REPORT		X
B FILL PLACEMENT - VERIFY MATERIAL, MAXIMUM LIFT THICKNESS AND COMPACTION OF FILL ARE IN ACCORDANCE WITH THE SOILS REPORT		X
C VERIFY IN PLACE DRY DENSITY OF FILL COMPLIES WITH SOILS REPORTS		X
D CONFIRM ALLOWABLE SOIL BEARING PRESSURE COMPLIES WITH SOILS REPORT	X	

SPECIFIC DESIGN INFORMATION:

ROOF LOADS	
LIVE LOAD (TYPICAL)	35 PSF
LIVE LOAD (MECHANICAL EQUIP.)	75 PSF
DEAD LOAD	25 PSF
FLOOR LOADS	
LIVE LOAD (DUELLING UNITS / CORRIDORS)	40 PSF
LIVE LOAD (DECKS & ELEVATED PATIOS)	60 PSF
LIVE LOAD (MECHANICAL AREAS/LT. STORAGE)	150 PSF
LIVE LOAD (LOBBIES/PUBLIC AREAS/STAIRS)	100 PSF
DEAD LOAD (INCLUDES 5" CONC. SLAB)	75 PSF
DEAD LOAD (8'x10" FC PLANK + 2 1/2" CONC. TOPPING)	105 PSF
DEAD LOAD (12" FC PLANK + 2 1/2" CONC. TOPPING)	120 PSF
DEAD LOAD (16" FC PLANK + 2 1/2" CONC. TOPPING)	135 PSF
ROOF SNOW LOADS	
Pf (Pg = 30 PSF)	30 PSF
Ce	1.0
Ct	1.0
I	1.0
WIND LOADS	
BASIC WIND SPEED	90 MPH (3 SEC. GUST)
I	1.0
EXPOSURE	B
INTERNAL PRESSURE COEFFICIENT	± 0.18
COMPONENT & CLADDING WIND LOADS (0 SQ. FT. T.A. / MEAN ROOF HT. = 50'-0")	ADJUSTMENT FACTOR 1/6
ROOF ZONE 1 (TRUSS PITCH = 5:12)	+1.0 / -11.0 PSF
ROOF ZONE 2 (TRUSS PITCH = 5:12)	+1.0 / -28.3 PSF
ROOF ZONE 3 (TRUSS PITCH 5:12)	+1.0 / -42.1 PSF
WALL ZONE 4 (INTERIOR AREA)	+1.0 / -18.4 PSF
WALL ZONE 5 (END ZONE AREA)	+1.0 / -22.1 PSF
EARTHQUAKE DESIGN DATA	
SEISMIC USE GROUP	II
SEISMIC DESIGN CATEGORY	B
Ss	0.150g
SI	0.055g
Sds	0.160g
Sd1	0.080g
SITE CLASS	D
FLR 1: ORDINARY REINFORCED MASONRY SHEARWALLS	R = 3.0
FLRS 2 - 4: LIGHT FRAMED WALLS W/ SHEAR PANELS WOOD STRUCTURAL PANEL / SHEET STEEL PANELS	R = 6.5
DESIGN BASE SHEAR (T/PC PLANK LEVEL)	47 Kips (N & S Dir.) 46 Kips (E & W Dir.)
DESIGN BASE SHEAR (GROUND FLR. LEVEL)	146 Kips (N & S Dir.) 144 Kips (E & W Dir.)
ANALYTICAL PROCEDURE	SIMPLIFIED



TYP. CONC. SLAB-ON-GRADE DETAIL

FitzGerald
Associates Architects
912 W. Lake St. Chicago, Illinois
t 312-563-9100
f 312-563-1919
www.fitzgeraldassociates.net

CONSULTANT:
STRUCTURAL CONSULTANT
Runde Engineering
39 W. New York Street
Aurora, IL 60506-4120
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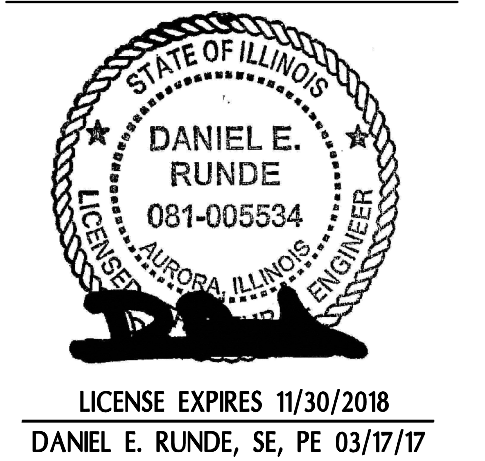
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1 Issue for Design
Development 2014/11/12

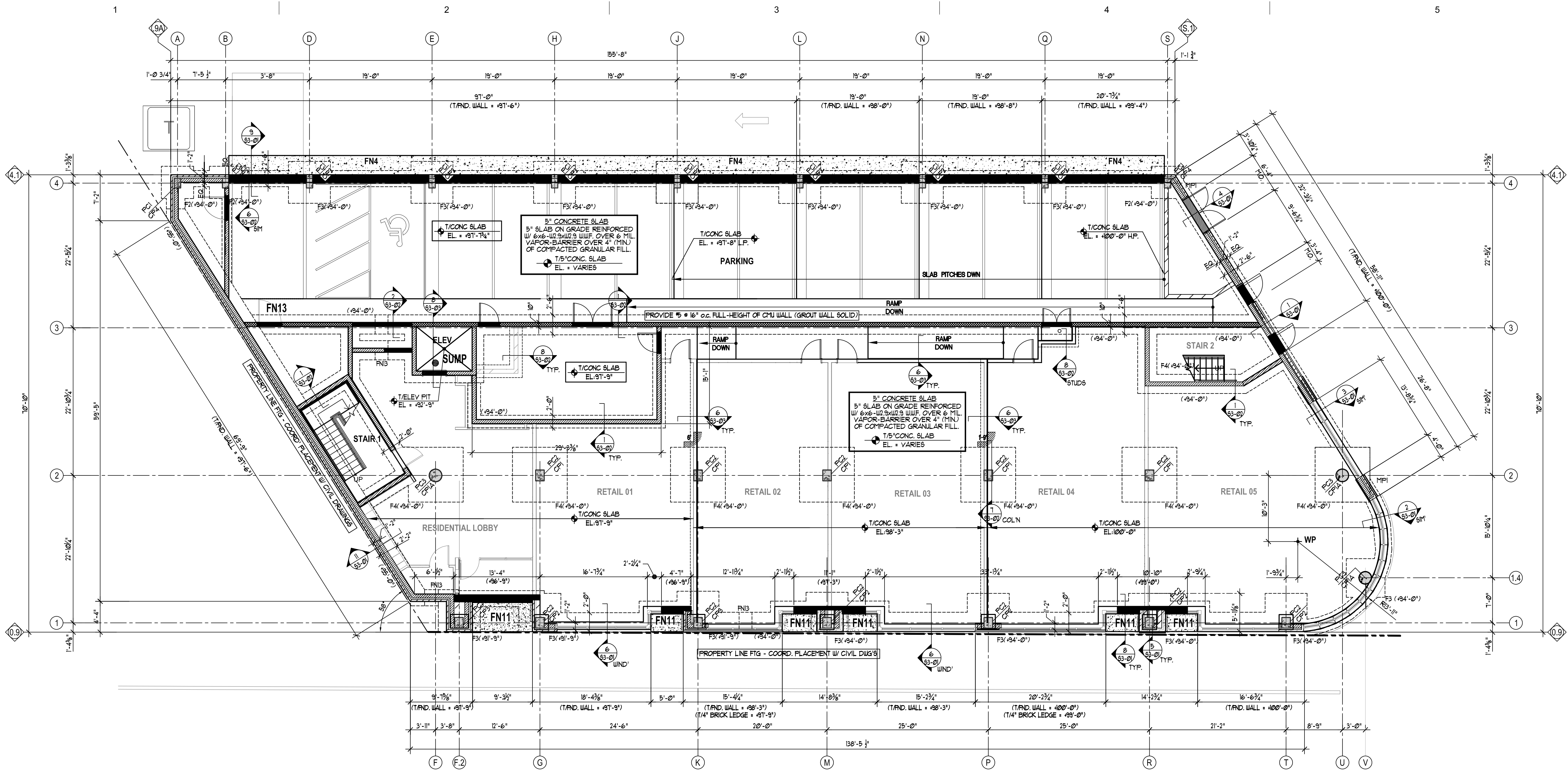


TYPICAL
STRUCTURAL
DETAILS &
DESIGN INFO'

S0-02

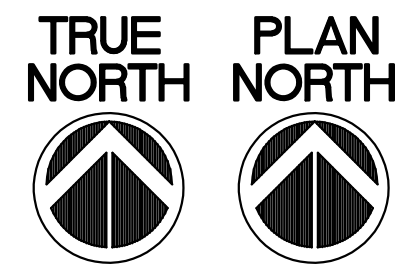
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FOUNDATION LEVEL PLAN

SCALE: 1/8" = 1'-0"



FOUNDATION WALL DIMENSION NOTE:
 DIMENSIONS SHOWN ARE BASED ON "OUT-TO-OUT" CONC. FOUNDN WALLS. ARCH'L DIMENSIONS ARE BASED ON "OUT-TO-OUT" OF BRICK VENEER (TYP.). DIFFERENCE = 1" @ RETAIL STOREFRONT SYSTEM

MARK	DIMENSIONS			REINFORCEMENT		REMARKS
	W	L	D	LONG-DIR	SHORT-DIR	
F1	4'-0"	4'-0"	1'-0"	4-# BOTT.	4-# BOTT.	
F2	5'-0"	5'-0"	1'-2"	5-# BOTT.	5-# BOTT.	
F3	6'-0"	6'-0"	1'-6"	6-# BOTT.	6-# BOTT.	
F4	8'-0"	8'-0"	1'-6"	9-# BOTT.	9-# BOTT.	

ALLOWABLE SOIL BEARING PRESSURE = 5,000 PSF (** COORD. W/ GEO-TECH)

FOUNDATION SHEET NOTES:

FN1. INTERIOR FND. WALL = +100'-0" (STRUCTURAL) = +0'-0" (ARCHITECTURAL) = +6'-5" (CIVIL LAYOUT)
 T/CONT. FND. WALL = +100'-0" (STRUCTURAL) UNO.
 T/CONT. FOOTINGS = +94'-0" (STRUCTURAL) UNO.
 T/INTER. FOOTING = +94'-0" (STRUCTURAL) UNO.
 T/CONC. PIERS = +1'-0" BELOW SLAB/FND. WALL

FN2. SEE 50-01 FOR GENERAL NOTES 50-02 FOR TYP. DETAILS.

FN3. KEY:
 COLM MARK (SEE SCHED)
 PIER MARK (SEE FN6)
 FTG. MARK (SEE FN6)
 F2 (+91'-0") - T/FTG. EL. (UNO.)

FN4. INDICATES 6" GARAGE ENTRY SLAB W/ 4 BARS @ 18" O.C. EA. WAY @ 4' OF SLAB. EXTEND 4 HOOK 4" INTO WALL AND PERIMETER SLAB EDGE.

FN5. F3 = FOOTING SIZE - SEE SCHED. ON THIS SHEET

FN6. C/P1 = CONCRETE PIER SIZE - SEE DTL. "1/5303"

FN7. COORDINATE LOCATION OF GARAGE 4 ENTRY DOORS W/ ARCH'L DWGS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

FN8. PROVIDE A CONCRETE ENCASED ELECTRODE PER NEC 250.54 (4) (3). ELECTRODE SHALL CONSIST OF AT LEAST 20 FT OF BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG. METALLIC COMPONENTS SHALL BE ENCASED BY AT LEAST 2 IN. OF CONCRETE AND SHALL BE LOCATED HORIZONTALLY WITHIN THAT PORTION OF A CONCRETE FOUNDATION OR FOOTING THAT IS IN DIRECT CONTACT WITH THE EARTH OR WITHIN VERT. FOUNDATIONS OR STRUCTURAL COMPONENTS OR MEMBERS THAT ARE IN DIRECT CONTACT WITH THE EARTH; SEE ELECTR. DWGS.

FN9. VERT. ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS (TYP.)

FN10. ALL WOOD IN CONTACT W/CONC. SHALL BE TREATED LUMBER. CONNECTIONS SHALL BE MADE W/ HARDWARE APPROVED FOR TREATED LUMBER USE. COORD. WITH MANUFACTURER'S REQUIREMENTS.

FN11. INDICATES 5" EXTERIOR ENTRY SLAB W/ 4 BARS @ 18" O.C. EA. WAY @ 4' OF SLAB. EXTEND 4 HOOK 4" INTO FND. WALL AND PERIMETER SLAB EDGE. (SEE NOTE FN2)

FN12. PROVIDE 1/4" DUL'S DRILLED INTO FND. WALL @ SToop SECTIONS EACH SIDE OF DOORWAY (SEE "1/5301")

FN13. STEP BOTTOM FTG. AS REQ'D. REF "5/5302 OR 3/5303"

FN14. PROVIDE 5" DUL'S @ 16" O.C. FULL HEIGHT @ GRID "3" ALL OTHER WALLS TO HAVE 5" @ 32" O.C. FULL HEIGHT W/ 5/8" LG. MATCHING DUL'S INTO FND. WALL

COLUMN/PIER SCHEDULE					
MARK	COLUMN SIZE	BASE PLATE N x t x B	BASE E DETAIL	ANCHOR RODS (# x L')	ANCHOR RODS TYPE
C1	NOT USED				
C2	NOT USED				
PC1	16"x20" FC COL.	16" x 11/2" x 1'-8"	PER MFR.	(4) 1" x 1'-3" LG.	5/5303
PC2	16"x20" FC COL.	16" x 11/2" x 1'-8"	PER MFR.	(4) 1" x 1'-3" LG.	5/5303
PC3	24" FC COL.	24" x 11/2"	PER MFR.	(4) 1" x 1'-3" LG.	5/5303
C/P1	24"x32" CONC. PIER W/ (10) #6 VERT. @ 12" O.C. EXTEND #6'S INTO FTG. (SEE "1/5303")				
C/P1A	28"x28" CONC. PIER W/ (12) #6 VERT. @ 12" O.C. EXTEND #6'S INTO FTG. (SEE "1/5303")				
CP2	32"x26" CONC. PIER W/ (10) #6 VERT. @ 12" O.C. EXTEND #6'S INTO FTG. (SEE "1/5303")				
CP3	40"x32" CONC. PIER W/ (12) #6 VERT. @ 12" O.C. EXTEND #6'S INTO FTG. (SEE "1/5303")				
CP4	24"x32" CONC. PIER W/ (10) #6 VERT. @ 12" O.C. EXTEND #6'S INTO FTG. (SEE "1/5303")				
M/P1	8"x48" CMU PIER W/ (6) #5 VERT. BARS AND MATCHING 5'-0" LG. DUL'S INTO CONT. FND. WALL				
M/P2					

NOTE #1: PROVIDE DOVETAIL ANCHORS @ 16" O.C. EACH WAY FOR ALL FC COLUMNS LOCATED IN CMU WALLS FOR PLACEMENT OF BRICK TIES.

NOTE #2: IN LIEU OF 1" ANCHOR RODS, USE 1" x 12" EMBED'D HILTI SCREW ANCHORS (OR EQU)

FitzGerald
 Associates Architects
 912 W. Lake St. Chicago, Illinois
 t 312-563-9100
 f 312-563-1919
 www.fitzgeraldassociates.net

CONSULTANT:
STRUCTURAL CONSULTANT
 Runde Engineering
 39 W. New York Street
 Aurora, IL 60506-4120
 (ph) 630-966-0250
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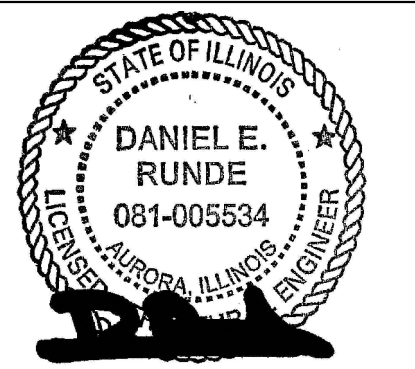
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#	DESCRIPTION	DATE
1	Permit Corrections 01	2018/02/01
-	Issue for Permit/Bid Submittal	2017/03/24
-	Issue for Design Progress Review	2015/01/09
-	Issue for Design Development	2014/11/12

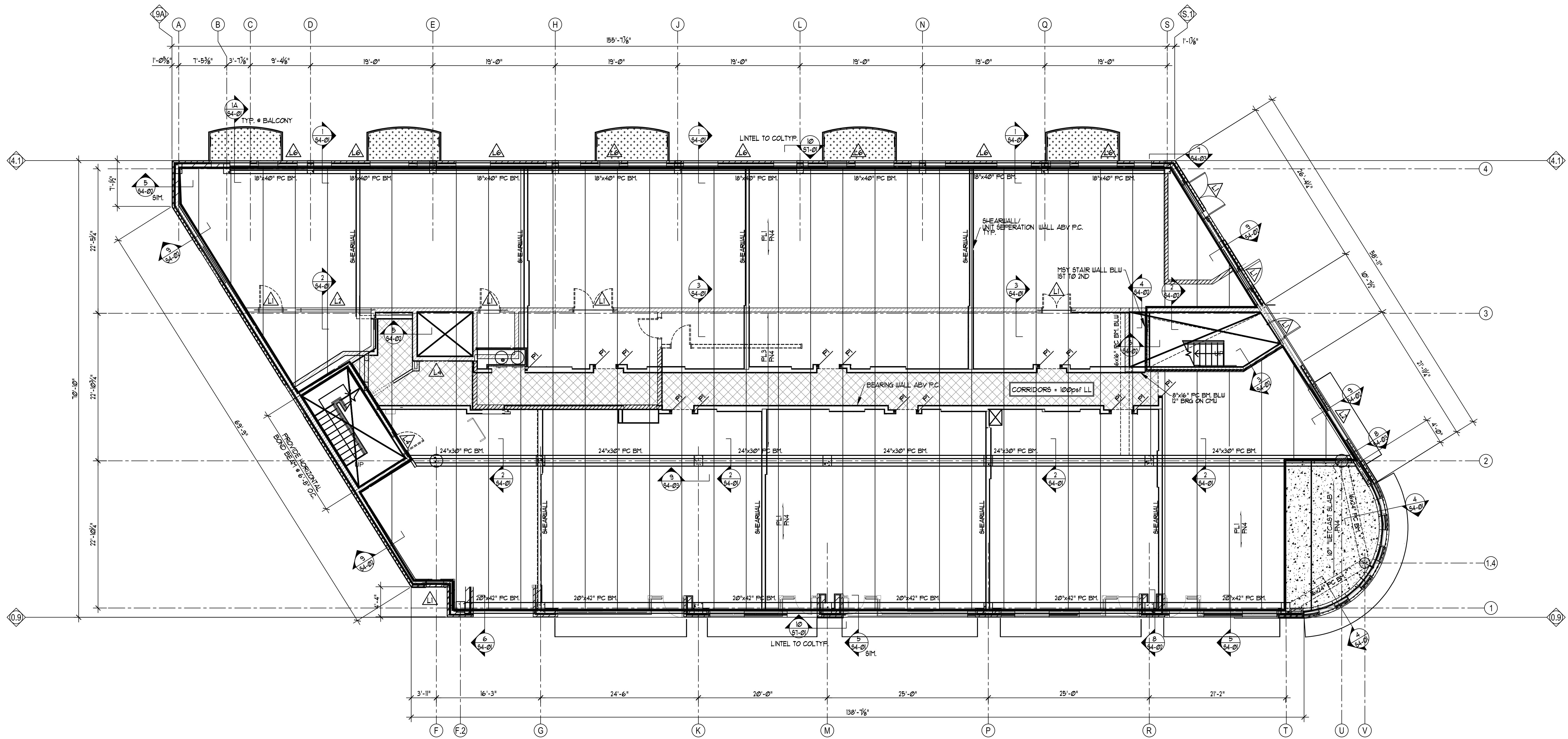


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FIRST LEVEL FOUNDATION PLAN & NOTES

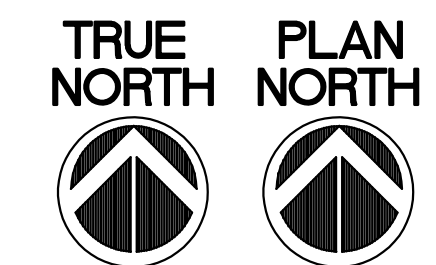
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SECOND LEVEL FRAMING PLAN

SCALE: 1/8" = 1'-0"



FLOOR FRAMING NOTES:

- FN1. T/CONCRETE TOPPING + 115'-4" (STRUCTURAL) UNO.
T/PC PLANK + 115'-2" (STRUCTURAL) UNO.
- FN2. PRECAST CONTRACTOR TO PROVIDE ALL INSERTS/EMBEDDED PLATES FOR CONNECTIONS TO CONC. FND. WALLS. COORD. W/ DTL'S ON SHT 54-01 & 54-02.
- FN3. DESIGN LOADS: SEE GENERAL NOTES ON 5-020 & 5-021
- FN4. FL1 = 8" PRECAST HOLLOWCORE CONCRETE PLANK W/ 2 1/2" NORMAL WT. CONCRETE TOPPING.
FL2 = 10" PRECAST HOLLOWCORE CONCRETE PLANK W/ 2 1/2" NORMAL WT. CONCRETE TOPPING.
FL3 = 16" PRECAST HOLLOWCORE CONCRETE PLANK W/ 2 1/2" NORMAL WT. CONCRETE TOPPING.
SEE ARCHITECTURAL DUGS FOR FIRE SEPARATION REQ'S. ALL PRECAST FLOOR/ROOF PLANK ASSEMBLIES TO BE UL RATED FOR UNRESTRAINED ASSEMBLY. (THE BUILDING STRUCTURAL SYSTEM HAS NOT BEEN DESIGNED TO RESTRAIN THERMAL EXPANSION)
- FN5. GENERAL CONTRACTOR TO COORD. ALL MECH. & PLUMBING OPNG'S. W/ PRECAST MANUFACTURER. PRECAST MFR. TO SUPPLY HEADERS AS REQ'D. OPNG'S NOT SHOWN ON PRECAST DUGS. MAY NOT BE CUT WITHOUT WRITTEN PERMISSION FROM PRECAST MFR. P.C. CONTR VERIFY AND COORD. ALL MEP OPNG'S THRU PRECAST TRANSFER FLOOR. PROVIDE FC FRMS AS REQ'D FOR OPNG'S. SEE FINAL ARCH/MEP DUGS TYP.
- FN6. PRECAST CONTRACTOR TO DESIGN ALL PC CONNECTIONS. CONNECTION DTL'S SHOWN ARE GENERAL INTENT ONLY. FINAL CONFG. TO BE DESIGNED & DETAILED BY PC MFR. AND SUBMITTED TO ARCH. FOR REVIEW (TYP).
- FN7. ALL STRUCTURAL FRAMING WITHIN STAIR TOWER BY STAIR CONTRACTOR. STAIR CONTRACTOR TO COORDINATE DETAILS AND CONNECTIONS WITH ARCHITECT STAIRS. SHALL SUPPORT A DISTRIBUTED LIVE LOAD OF 100 PSF AND A CONCENTRATED LOAD OF 300 PSF.
- FN8. Δ = INDICATES LINTEL TYPE. COORD. WITH LINTEL SCHEDULE ON THIS SHEET.
- FN9. PROVIDE 5 BARS DRILLED/GROUTED TO CMU WALLS @ ALL PC PLANK // TO CMU WALLS (SEE 1/54-02)
- FN10. EXTERIOR BALCONY FRAMING + C8x15 @ 2'-6" o.c. W/ 1/4" CHECKERED IE'S & H864K2 'KICKERS'(TYP)

LINTEL SCHEDULE

MARK	DESCRIPTION	BRG. EA. END	SHAPE	REMARKS
Δ1	W8x24 + 5/16" PLATE	8"	I	LN1 & LN2
Δ2	W16x36 + 5/16" PLATE	8"	I	LN1 & LN2
Δ3			I	LN1 & LN2
Δ4	(2)-L4x3 1/2x5/16 (LLV)	8"	I	LN1 & LN2
Δ5			I	LN1 & LN2
Δ6	W16x36 + L3x3x 1/2 + 5/16" PLATE	CONN TO PC COL.	I	LN1 & LN2

- LINTEL NOTES:
 LN1. COORD. W/ TYPICAL LINTEL DETAILS ON 5/101.
 LN2. PROVIDE (2) SOLID-GROUTED CORES & (2) 5 BARS @ EACH SUPPORT PER DETAIL 1-9/5101.
 LN3. PROVIDE ADJUSTABLE MASONRY ANCHORS @ 16" o.c. IN ALL BEAM WEBS SUPPORTING MASONRY - TYP.
 LN4. PROVIDE (2) 1/2" x 6" HAS. FOR END OF LINTEL.
 LN5. ALL EXTERIOR WALL LINTELS TO BE HOT-DIPPED GALVANIZED. ** OWNERS OPTION + SHOP PRIME & PAINT INLIEU OF GALVANIZING
 LN6. SEE 10/5101 FOR LINTEL CONN TO PC. COL. TYP.

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Associates Architects
 912 W. Lake St. Chicago, Illinois
 t 312-563-9100 f 312-563-1919
 www.fitzgeraldassociates.net

CONSULTANT:
STRUCTURAL CONSULTANT
 Runde Engineering
 39 W. New York Street
 Aurora, IL 60506-4120
 (ph) 630-966-0250
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 60035

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 Suite 200
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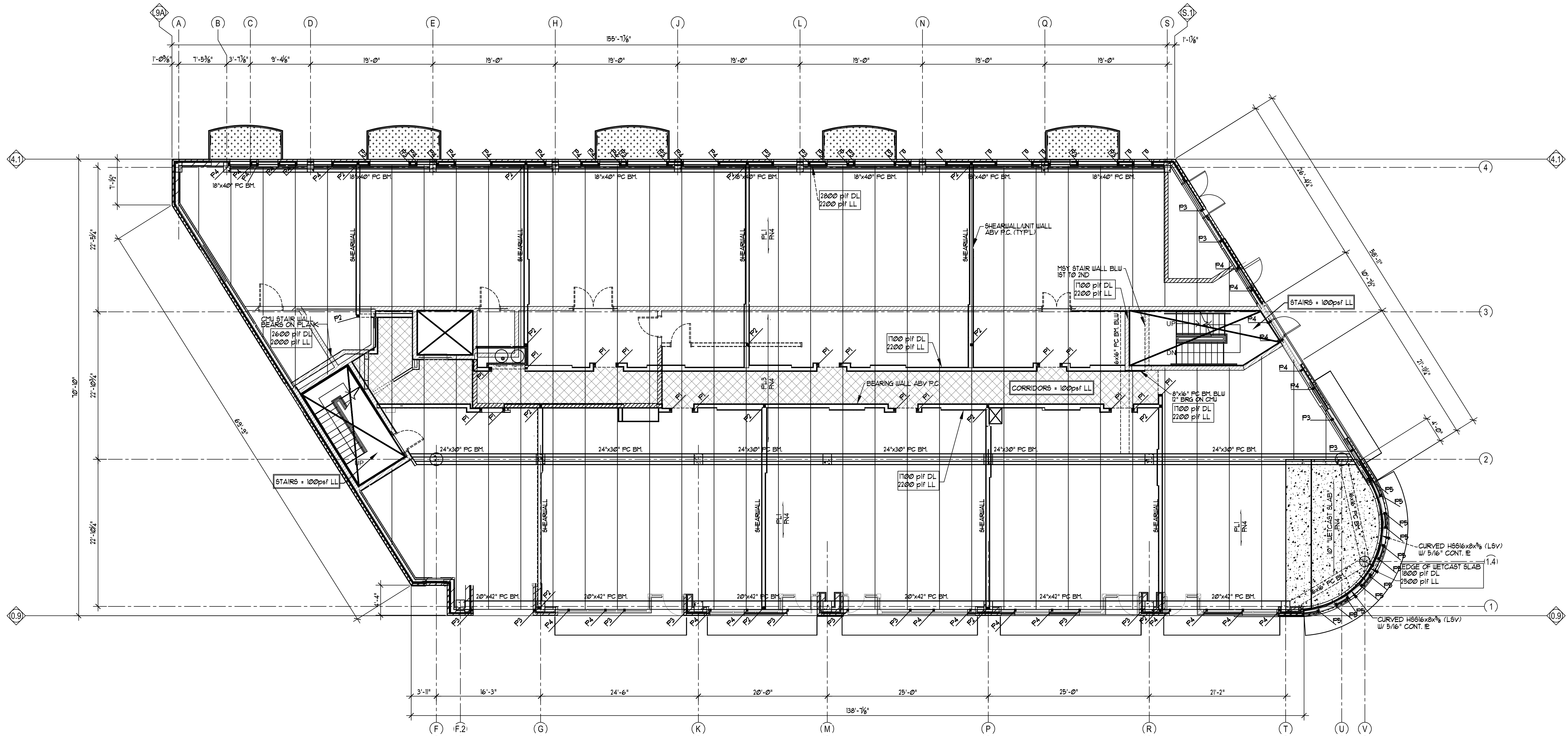


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SECOND LEVEL PLAN & NOTES

S1-02

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SECOND LEVEL TRANSFER LOADING FRAMING PLAN
SCALE: 1/8" = 1'-0"

FLOOR FRAMING NOTES:

- RN1. 1" CONCRETE TOPPING + 4" (STRUCTURAL) UNO.
1" PC FLANK + 4" (STRUCTURAL) UNO.
- RN2. PRECAST CONTRACTOR TO PROVIDE ALL INSERTS/EMBEDDED PLATES FOR CONNECTIONS TO CONC. FND. WALLS. COORD. W/ DTL'S ON SHT 54-01 & 54-02.
- RN3. DESIGN LOADS: SEE GENERAL NOTES ON 5-00 & 5-01
- RN4. FL1 = 8" PRECAST HOLLOWCORE CONCRETE FLANK W/ 2 1/2" NORMAL WT. CONCRETE TOPPING.
FL2 = 10" PRECAST HOLLOWCORE CONCRETE FLANK W/ 2 1/2" NORMAL WT. CONCRETE TOPPING.
FL3 = 16" PRECAST HOLLOWCORE CONCRETE FLANK W/ 2 1/2" NORMAL WT. CONCRETE TOPPING.
SEE ARCHITECTURAL DWGS FOR FIRE SEPARATION REQ'S. ALL PRECAST FLOOR/ROOF FLANK ASSEMBLIES TO BE UL RATED FOR UNRESTRAINED ASSEMBLY. (THE BUILDING STRUCTURAL SYSTEM HAS NOT BEEN DESIGNED TO RESTRAIN THERMAL EXPANSION)
- RNB. PRECAST CONTRACTOR TO DESIGN ALL PC CONNECTIONS. CONNECTION DTL'S SHOWN ARE GENERAL INTENT ONLY. FINAL CONFIG. TO BE DESIGNED & DETAILED BY PC MFR. AND SUBMITTED TO ARCH. FOR REVIEW (TYP).

MARK	REACTION		
	DEAD LOAD	LIVE LOAD	WIND LOAD
P1	4 KIPS	6 KIPS	...
P2	~12 KIPS
P3	4.5 KIPS	6.8 KIPS	...
P4	3.5 KIPS	5.9 KIPS	...
P5	3 KIPS	4 KIPS	...

PROVIDE SIMPSON TIE-DOWN FOR P2 LOCATIONS



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912 W. Lake St. Chicago, Illinois
t 312-563-9100 f 312-563-1919
www.fitzgeraldassociates.net

CONSULTANT:
STRUCTURAL CONSULTANT
Runde Engineering
39 W. New York Street
Aurora, IL 60506-4120
(ph) 630-966-0250
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515-555 Roger
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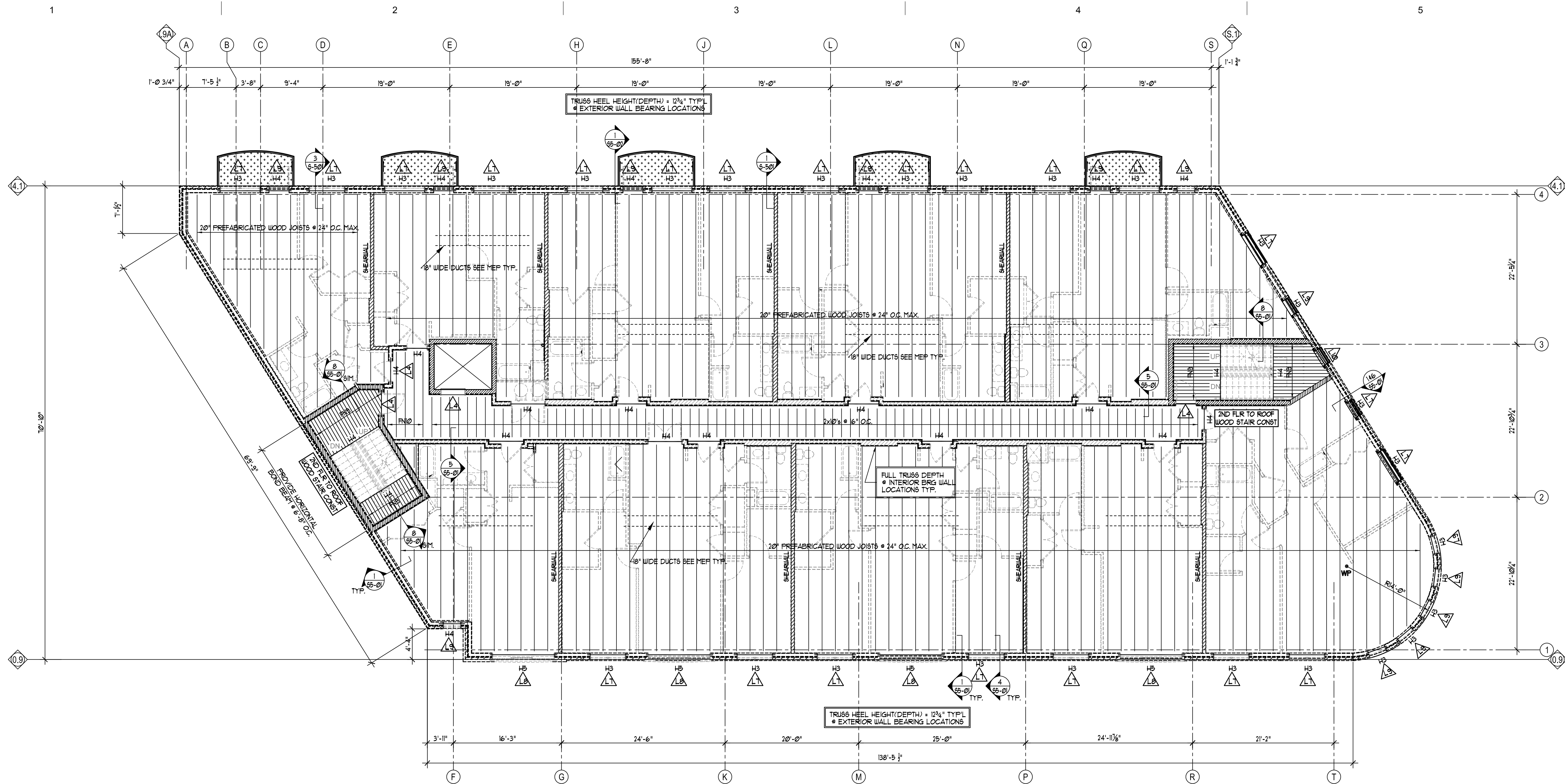


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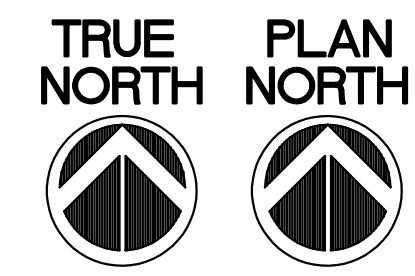
**SECOND
LEVEL PC
TRANSFER
PLAN/LOADS**

S1-02A

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THIRD LEVEL TRUSS FRAMING PLAN
 SCALE: 1/8" = 1'-0"



FLOOR FRAMING NOTES:

FN1. COORD. HEADERS AND POSTS WITH SCHEDULES ON THIS SHEET
 ** COORD. WOOD DESIGN VALUE REQTS W/ VALUES INDICATED ON SHEET 80-01.

FN2. SEE SHEET 80-01 FOR TYPICAL FLOOR LOADS.

FN3. COORDINATE ALL DIMENSIONS & ELEVATIONS W/ ARCH. DUGS. PRIOR TO CONSTRUCTION.

FN4. TRUSS MFR. TO PROVIDE FLOOR TRUSSES @ 24" O.C. MAX (UNO). ALL GIRDER TRUSSES TO SUPPLY REACTION ON SHOP DUG FOR POST SUPPORT REQMENTS TO BE CONT. FULL HT. OF BLDG TO FEN TYP. ALL MECH. HDR AND FLOOR OPNGS TO BE BY TRUSS MANUF. - SEE FINAL ARCH./MECH. DUGS FOR ALL PENETRATIONS REQ'D TYP.

FN5. [---] * INDICATES OUTLINE OF 2x BRG. WALL BELOW. COORDINATE EXACT LOCATION W/ ARCH. DUGS.

FN6. GENERAL CONTRACTOR TO COORD. ALL MECH. & PLUMBING OPNGS. W/ FLOOR TRUSS MFR. FLOOR TRUSS MFR. TO SUPPLY HEADERS AS REQ'D. OPENINGS NOT SHOWN ON FLOOR TRUSS DUGS.

FN7. ALL STRUCTURAL FRAMING WITHIN STAIR TOWER BY STAIR CONTRACTOR. STAIR CONTRACTOR TO COORDINATE DETAILS AND CONNECTIONS WITH ARCHITECT. STAIRS SHALL SUPPORT A DISTRIBUTED LIVE LOAD OF 100 PSF AND A CONCENTRATED LOAD OF 300 PSF. COORDINATE FIRE-RETARDANT WOOD REQUIREMENTS W/ ARCH. DUGS.

FN8. WOOD BEARING WALLS ABOVE SECOND FLOOR:
 LEVEL STUD SIZE SPACING TYPE
 2ND TO 3RD 2x6 @ 16" O.C. SFF #1
 3RD TO 4TH 2x6 @ 16" O.C. SFF #1
 4TH TO ROOF 2x6 @ 16" O.C. SFF #2
 REMARKS: PROVIDE MULTIPLE STUDS @ OPENINGS PER 3/8-5/0

FN9. 2x10's @ 16" O.C. IN STAIR LANDINGS
 FN10. (2) 2x10's @ 16" O.C. AT LONGER CORRIDOR SPANS

FN11. [▲] * INDICATES LINTEL TYPE. COORD. WITH LINTEL SCHEDULE ON THIS SHEET.

FN12. [⊙] * INDICATES POST FROM ROOF LEVEL ABV. PROVIDE POST DOWN TO 3RD FLR TO MATCH

HEADER SCHEDULE

MARK	SIZE	POST EA. END
H1	(3) - 2x10	F1
H2	(3) - 2x10	F1
H3	(3) 3x4 x 1/2" LVL	F1
H4	(2) 3x4 x 1/2" LVL	F1
H5	(3) 3x4 x 1/2" LVL	F3/F6

NOTE: PROVIDE SOLID BLOCKING IN VERTICAL TRUSS SPACE MATCHING WALL POST AS INDICATED. MIN. BLOCK'G = WALL STUDS. PROVIDE CONT. BULK/P.L. STUD B/TN HDRS FOR LINTEL TO FILL FULL WIDTH OF WALL TYP.

Hx HEADERS IN DECK AREAS, ETC. EXTERIOR CONDITION ARE TREATED SEE ARCH. DUGS FOR ALL TREATED/FIRE TREATED REQMENTS TYP.

NOTE: PROVIDE SOLID BLOCKING IN VERTICAL TRUSS SPACE MATCHING WALL POST AS INDICATED. MIN. BLOCK'G = WALL STUDS.

LINTEL SCHEDULE

MARK	DESCRIPTION	BRG. & EA. END	SHAPE	REMARKS
[▲]	L6x4x5/16 LLLV	8"	L	
[▲]	L8x4x1/2 LLLV	8"	L	
[▲]	L4x4x5/16 LLLV	8"	L	
[▲]	(2)-L3 1/2x3 1/2x5/16 LLLV (1)-L4x4x5/16 LLLV + 5/16 PLATE	8"	L	

ALL EXTERIOR STEEL HOT DIP GALVANIZED TYP.
 SEE ARCH. DUGS FOR ALL REQ'D CURVED LINTEL LOCATIONS TYP.

POST/COLUMN SCHEDULE

MARK	4TH FLR	3RD FLR	2ND FLR	1ST FLR
P1	(1) 2x6 CRIPPLE (2) 2x6 FULL HT	(1) 2x6 FULL HT	(1) 2x6 FULL HT	(1) 2x6 FULL HT
P2	(1) 2x6 CRIPPLE (2) 2x6 FULL HT	(1) 2x6 FULL HT	(1) 2x6 FULL HT	(1) 2x6 FULL HT
P3	(1) 2x6 CRIPPLE (2) 2x6 FULL HT	(1) 2x6 FULL HT	(1) 2x6 FULL HT	(1) 2x6 FULL HT
P4	(2)-CRIPPLE (3)-FULL HT 2x6 OR 8x8 FULL POST	D.O.	D.O.	D.O.
P5	8x8 FULL POST TREATED	D.O.	D.O.	D.O.
P6	(4)-2x6 FS	D.O.	D.O.	D.O.

* ALL OPNG JAMB POSTS PROVIDE SAME SIZE STUB POST AT TRUSSES AT FLOOR BELOW JAMB ABV TYP. SEE 2/86-01 TYP.

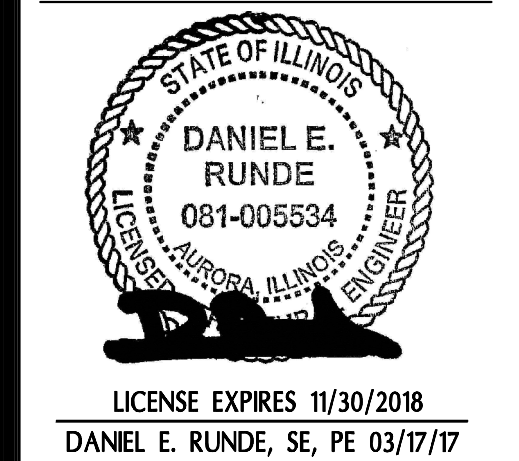
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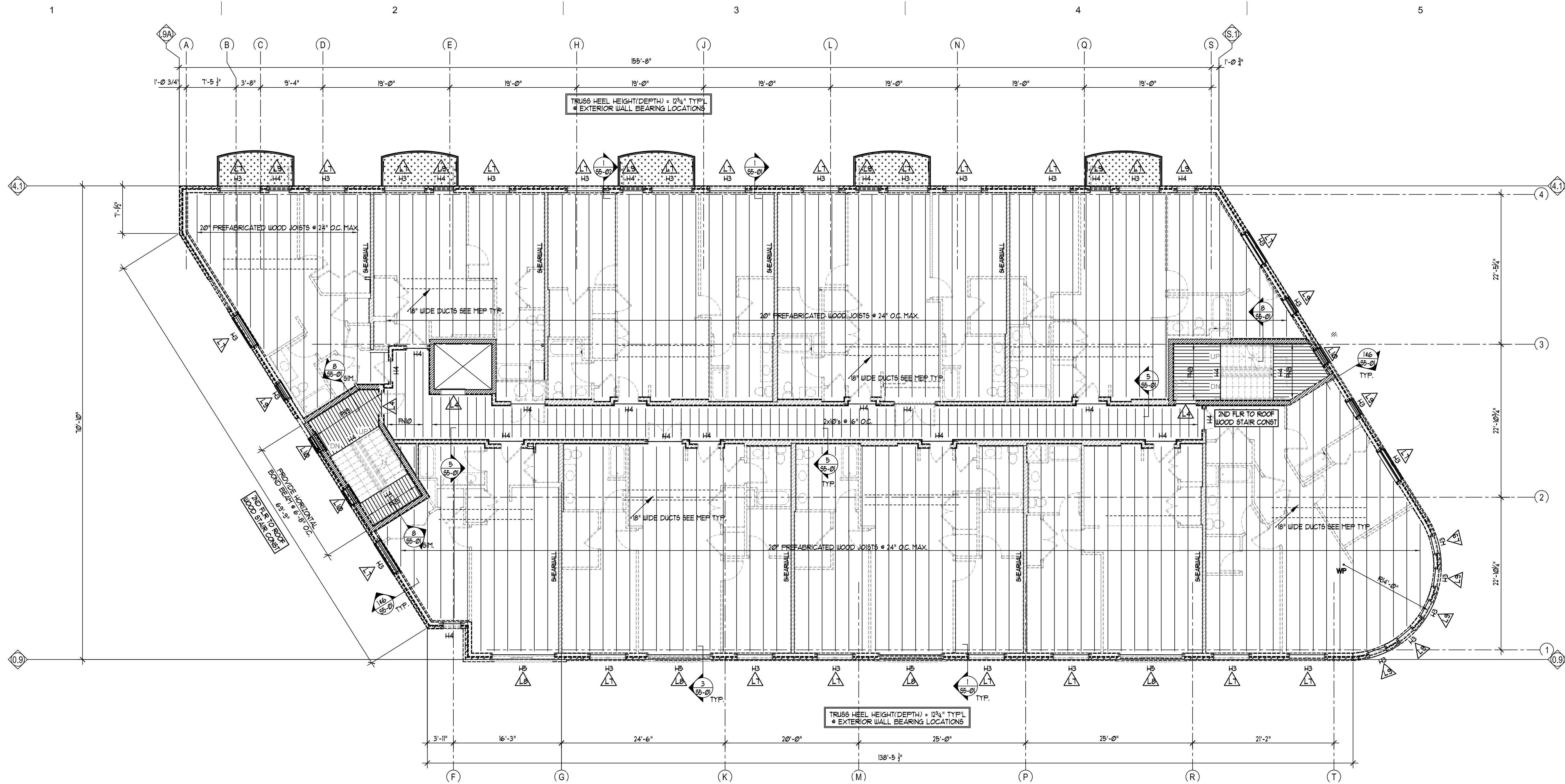


THIRD LEVEL TRUSS PLAN & NOTES

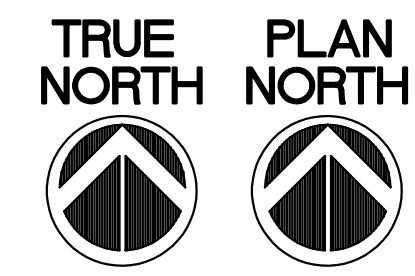
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FOURTH LEVEL TRUSS FRAMING PLAN
SCALE: 1/8" = 1'-0"



FLOOR FRAMING NOTES:

FN1. COORD. HEADERS AND POSTS WITH SCHEDULES ON THIS SHEET
" COORD. WOOD DESIGN VALUE REQTS W/ VALUES INDICATED ON SHEET S-00

FN2. SEE SHEET S-00 FOR TYPICAL FLOOR LOADS

FN3. COORDINATE ALL DIMENSIONS & ELEVATIONS W/ ARCH. DUGS. PRIOR TO CONSTRUCTION.

FN4. TRUSS MFR TO PROVIDE FLOOR TRUSSES @ 24" O.C. MAX (UNO). ALL GIRDER TRUSSES TO SUPPLY REACTION ON SHOP DUG FOR POST SUPPORT. REQMENTS TO BE CONT. FULL HT. OF BLDG TO FDN TYP. ALL MEP, HDR AND FLOOR OPNGS TO BE BY TRUSS MANUF - SEE FINAL ARCH/MEP, DUGS FOR ALL PENETRATIONS REQ'D TYP.

FN5. [---] = INDICATES OUTLINE OF 2x BRG. WALL BELOW. COORDINATE EXACT LOCATION W/ ARCH. DUGS.

FN6. GENERAL CONTRACTOR TO COORD. ALL MECH. & PLUMBING OPNGS. W/ FLOOR TRUSS MFR. FLOOR TRUSS MFR TO SUPPLY HEADERS AS REQ'D. OPENINGS NOT SHOWN ON FLOOR TRUSS DUGS.

FN7. ALL STRUCTURAL FRAMING WITHIN STAIR TOWER BY STAIR CONTRACTOR. STAIR CONTRACTOR TO COORDINATE DETAILS AND CONNECTIONS WITH ARCHITECT. STAIRS SHALL SUPPORT A DISTRIBUTED LIVE LOAD OF 100 PSF AND A CONCENTRATED LOAD OF 3000 PSF. COORDINATE FIRE-RETARDANT WOOD REQUIREMENTS W/ ARCH. DUGS.

FN8. WOOD BEARING WALLS ABOVE SECOND FLOOR:

LEVEL	STUD SIZE	SPACING	TYPE
2ND TO 3RD	2x6	EVERY OTHER 16" O.C.	SFF #1
3RD TO 4TH	2x6	16" O.C.	SFF #1
4TH TO ROOF	2x6	16" O.C.	SFF #2

REMARKS: PROVIDE MULTIPLE STUDS @ OPENINGS PER POST SCHEDULE

FN9. 2x10's @ 16" O.C. IN STAIR LANDINGS

FN10. (2) 2x10's @ 16" O.C. AT LONGER CORRIDOR SPANS

FN11. [triangle] = INDICATES LINTEL TYPE. COORD. WITH LINTEL SCHEDULE ON THIS SHEET.

FN12. [circle with dot] = INDICATES POST FROM ROOF LEVEL ABV. PROVIDE POST DOWN TO 3RD FLR TO MATCH

HEADER SCHEDULE

MARK	SIZE	POST EA. END
H1	(3) - 2x10	F1
H2	(3) - 2x10	F1
H3	(3) 3x4 x 9 1/2" LVL	F1
H4	(2) 3x4 x 11 3/4" LVL	F1
H5	(3) 3x4 x 11 3/4" LVL	F3/F6

NOTE: PROVIDE SOLID BLOCKING IN VERTICAL TRUSS SPACE MATCHING WALL POST AS INDICATED. MIN. BLOCK'G = WALL STUDS. PROVIDE CONT. BULK PLYSUD BTWN HRS FOR LINTEL TO FILL FULL WIDTH OF WALL TYP.

Hx HEADERS IN DECK AREAS, ETC. EXTERIOR CONDITION ARE TREATED SEE ARCH DUGS FOR ALL TREATED/FIRE TREATED REQMENTS TYP.

NOTE: PROVIDE SOLID BLOCKING IN VERTICAL TRUSS SPACE MATCHING WALL POST AS INDICATED. MIN. BLOCK'G = WALL STUDS.

LINTEL SCHEDULE

MARK	DESCRIPTION	BRG. @ EA. END	SHAPE	REMARKS
[triangle]	L6x4x5/16 LLLV	8"	L	
[triangle]	L8x4x1/2 LLLV	8"	L	
[triangle]	L4x4x5/16 LLLV	8"	L	
[triangle]	(2)-L3 1/2x3 1/2x5/16 LLLV (1)-L4x4x5/16 LLLV +5/16 PLATE	8"	L	

ALL EXTERIOR STEEL HOT DIP GALVANIZED TYP.
SEE ARCH DUGS FOR ALL REQ'D CURVED LINTEL LOCATIONS TYP.

POST/COLUMN SCHEDULE

MARK	4TH FLR	3RD FLR	2ND FLR	1ST FLR
P1	(1) 2x6 CRIPPLE (2) 2x6 FULL HT	(1) 2x6 FULL HT	(1) 2x6 FULL HT	(1) 2x6 FULL HT
P2	(1) 2x6 CRIPPLE (2) 2x6 FULL HT	(1) 2x6 FULL HT	(1) 2x6 FULL HT	(1) 2x6 FULL HT
P3	(2) 2x6 CRIPPLE (2) 2x6 FULL HT	(1) 2x6 FULL HT	(1) 2x6 FULL HT	(1) 2x6 FULL HT
P4	(2) CRIPPLE (3) FULL HT OR 8x8 POST	D.O.	D.O.	D.O.
P5	8x8 POST TREATED	D.O.	D.O.	D.O.
P6	(4)-2x6 PSL	D.O.	D.O.	D.O.

* ALL OPNG JAMB POSTS PROVIDE SAME SIZE STUB POST AT TRUSSES AT FLOOR BELOW JAMB ABV TYP. SEE 2/86/01 TYP.

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t 312-563-9100
f 312-563-1919
www.fitzgeraldassociates.net

CONSULTANT:
STRUCTURAL CONSULTANT
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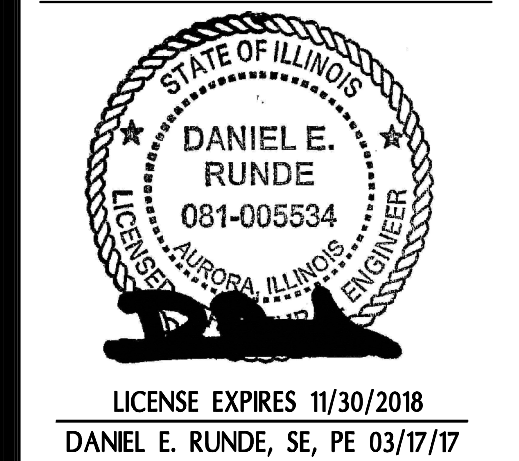
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THIRD LEVEL TRUSS PLAN & NOTES

S1-04

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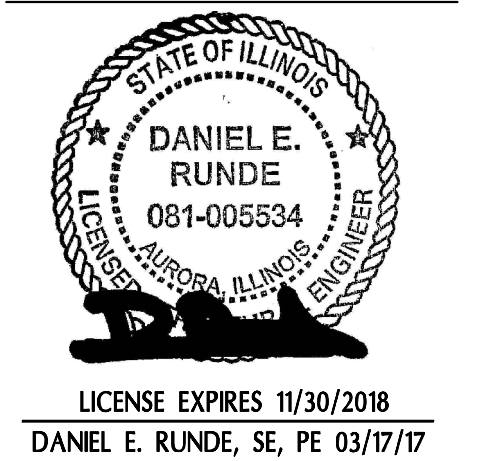
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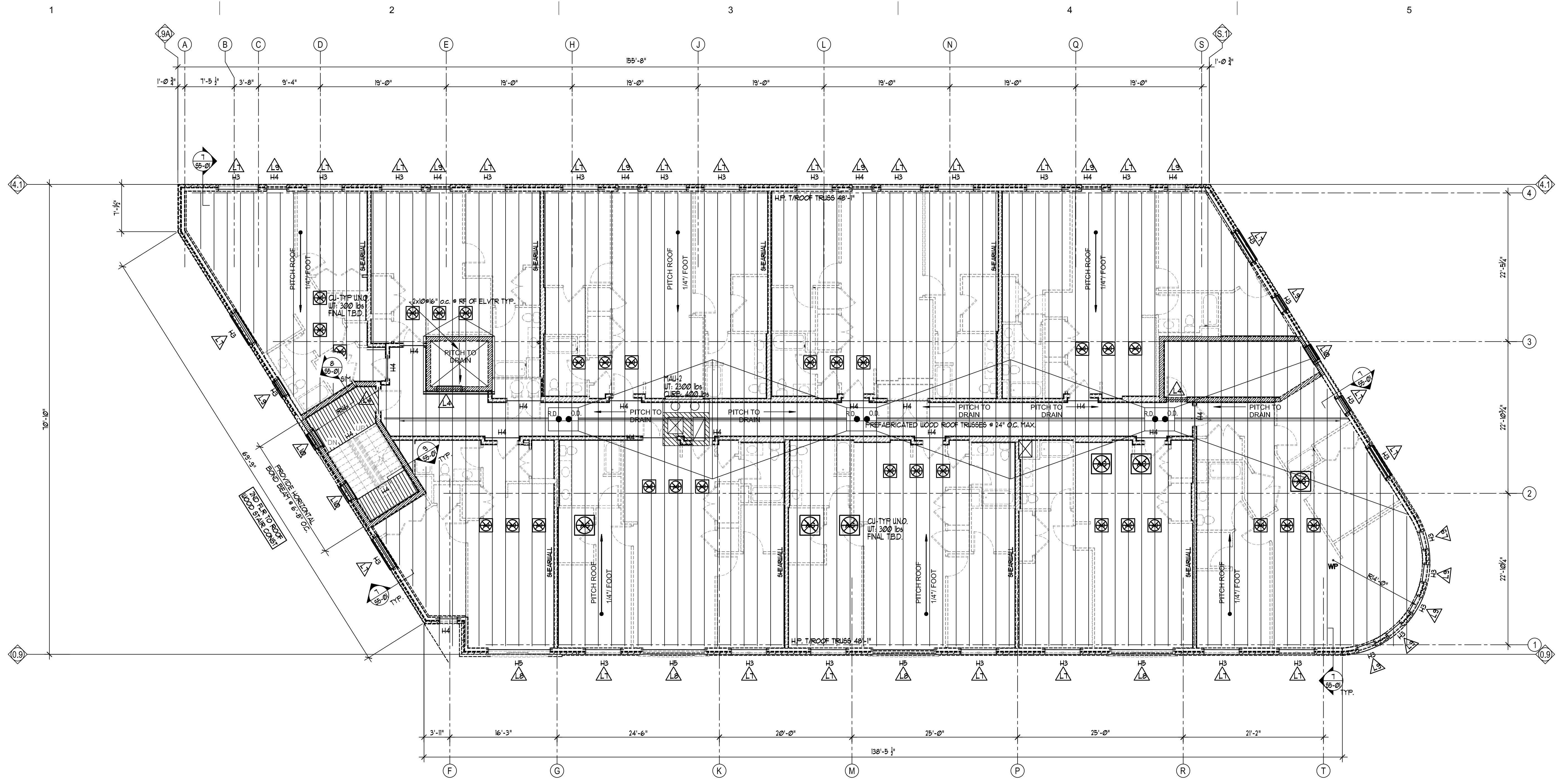
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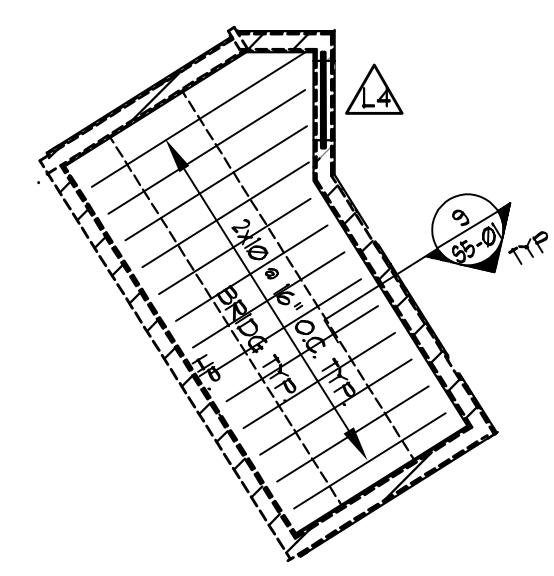
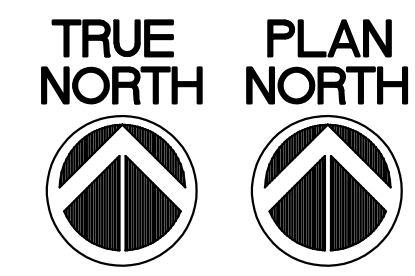
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**ROOF
 LEVEL TRUSS
 PLAN
 & NOTES**

S1-05



ROOF LEVEL TRUSS FRAMING PLAN

SCALE: 1/8" = 1'-0"



STAIR ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

- ROOF FRAMING NOTES:**
- RN1. COORD. HEADERS AND POSTS WITH SCHEDULES ON THIS SHEET
** COORD. WOOD DESIGN VALUE REQ'TS W/ VALUES INDICATED ON SHEET S-02
 - RN2. SEE SHEET S-02 FOR TYPICAL ROOF LOADS
 - RN3. COORDINATE ALL DIMENSIONS & ELEVATIONS W/ ARCH. DWGS. PRIOR TO CONSTRUCTION.
 - RN4. TRUSS MFR TO PROVIDE FLOOR TRUSSES @ 24" O.C. MAX (UNO). ALL GIRDER TRUSSES TO SUPPLY REACTION ON SHOP DWG FOR POST SUPPT. REQ'TS TO BE CONT. FULL HT. OF BLDG TO FIN TYP. ALL TRIP- HDR AND FLOOR OPNGS TO BE BY TRUSS MANUF. - SEE FINAL ARCH./M.E.P. DWGS FOR ALL PENETRATIONS REQ'D TYP.
 - RN5. [---] = INDICATES OUTLINE OF 2x BRG. WALL BELOW. COORDINATE EXACT LOCATION W/ ARCH. DWGS.
 - RN6. 2x10's @ 16" O.C. IN STAIR LANDINGS (TYP'L)
 - RN7. [▲] = INDICATES LINTEL TYPE. COORD. WITH LINTEL SCHEDULE ON THIS SHEET.
 - RN8. [□] = INDICATES POST UNDER TRUSS (GIRDER/TYP.) PROVIDE * ALL GIRDER BRG. LOC'S UNO.
 - RN9. ROOF FRAMING = 2x10'S @ 16" O.C. (STAIR/ELEV. SHAFT)
 - RN10. [---] = INDICATES AREA OF ROOF TO BE DESIGNED FOR 100 PSF MECH'L. LOADING (SEE M.E. DWGS)
 - RN11. 3/4" WIDE JT. IN PLYWOOD SHEATHING.

HEADER SCHEDULE

MARK	SIZE	POST EA. END
H1	(3) - 2x10	PI
H2	(3) - 2x10	PI
H3	(3) 2x11 x 9 1/4 LVL	PI
H4	(2) 2x11 x 11 1/8 LVL	PI
H5	(3) 2x11 x 11 1/8 LVL	P3/P6

NOTE: PROVIDE SOLID BLOCKING IN VERTICAL TRUSS SPACE MATCHING WALL POST AS INDICATED. MIN. BLOCK'G + WALL STUDS. PROVIDE CONT. BLOCK'G PLYSD. BRN HDRS FOR LINTEL TO FILL FULL WIDTH OF WALL TYP.
 HK: HEADERS IN DECK AREAS, ETC. EXTERIOR CONDITION ARE TREATED SEE ARCH DWGS FOR ALL TREATED/FIRE TREATED REQ'TS TYP.

LINTEL SCHEDULE

MARK	DESCRIPTION	BRG. EA. END	SHAPE	REMARKS
[▲]	L6x4x5/16 LLV	8"	L	
[▲]	L8x4x1/2 LLV	8"	L	
[▲]	L4x4x5/16 LLV	8"	L	
[▲]	(2)-L3 1/2x3 1/2x5/16 LLV (1)-L4x4x5/16 LLV + 5/16 PLATE	8"	L	

ALL EXTERIOR STEEL HOT DIP GALVANIZED TYP.
 SEE ARCH DWGS FOR ALL REQ'D CURVED LINTEL LOCATIONS TYP.

POST/COLUMN SCHEDULE

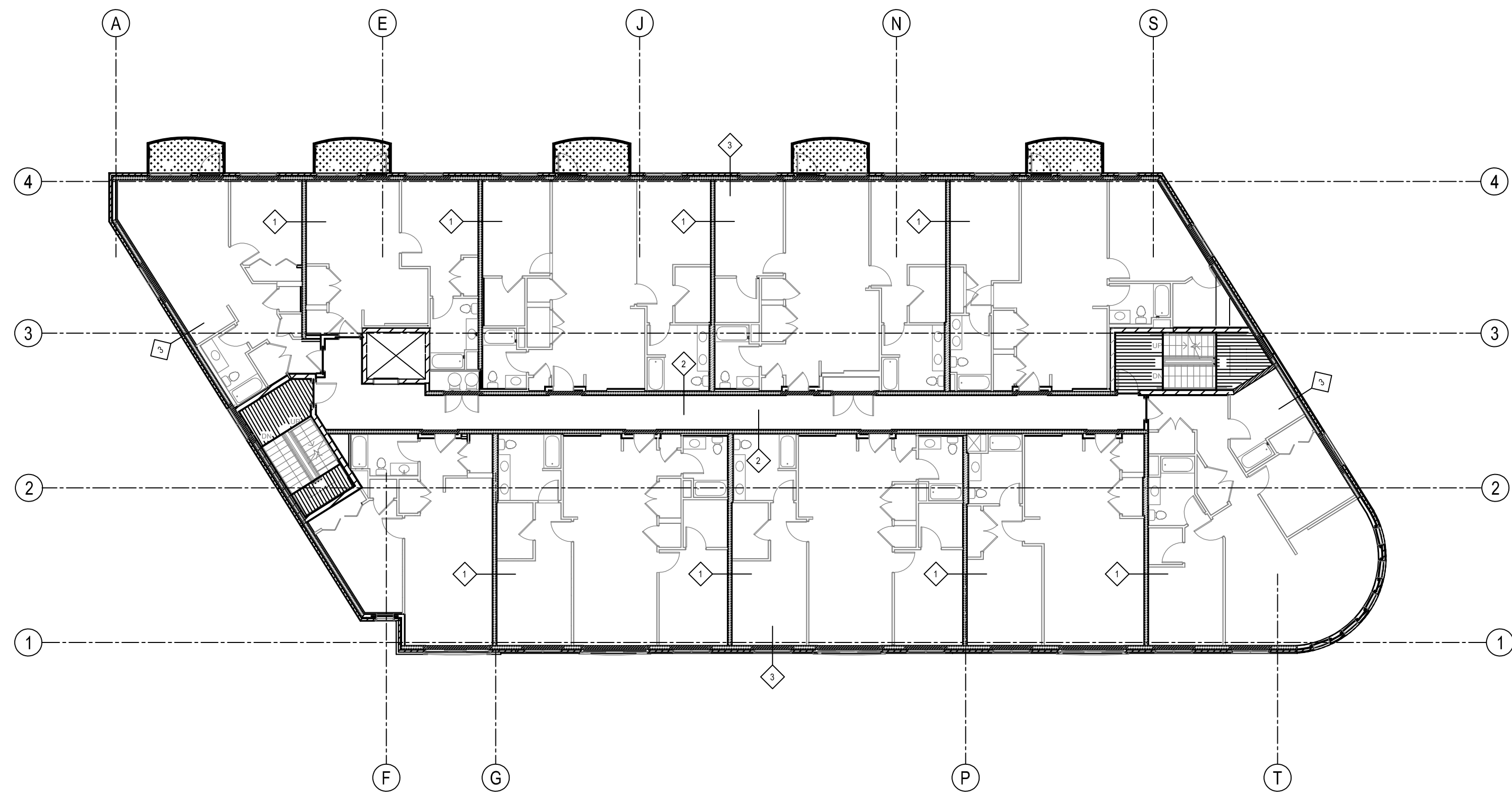
MARK	* 4TH FLR	* 3RD FLR	* 2ND FLR	* 1ST FLR
P1	(1) 2x6 CRIPPLE	(1) 2x6 FULL HT.	(1) 2x6 FULL HT.	(1) 2x6 FULL HT.
P2	(2) 2x6 CRIPPLE	(1) 2x6 FULL HT.	(1) 2x6 FULL HT.	(1) 2x6 FULL HT.
P3	(2) 2x6 CRIPPLE	(1) 2x6 FULL HT.	(1) 2x6 FULL HT.	(1) 2x6 FULL HT.
P4	(2)-CRIPPLE FULL HT. OR 8x6 POST	D.O.	D.O.	D.O.
P5	8x8 POST	D.O.	D.O.	D.O.
P6	(4)-2x6PSL	D.O.	D.O.	D.O.

* ALL OPNG JAMB POSTS PROVIDE SAME SIZE STUB POST AT TRUSSES AT FLOOR BELOW JAMB ABV TYP. SEE 2/16/01 TYP.

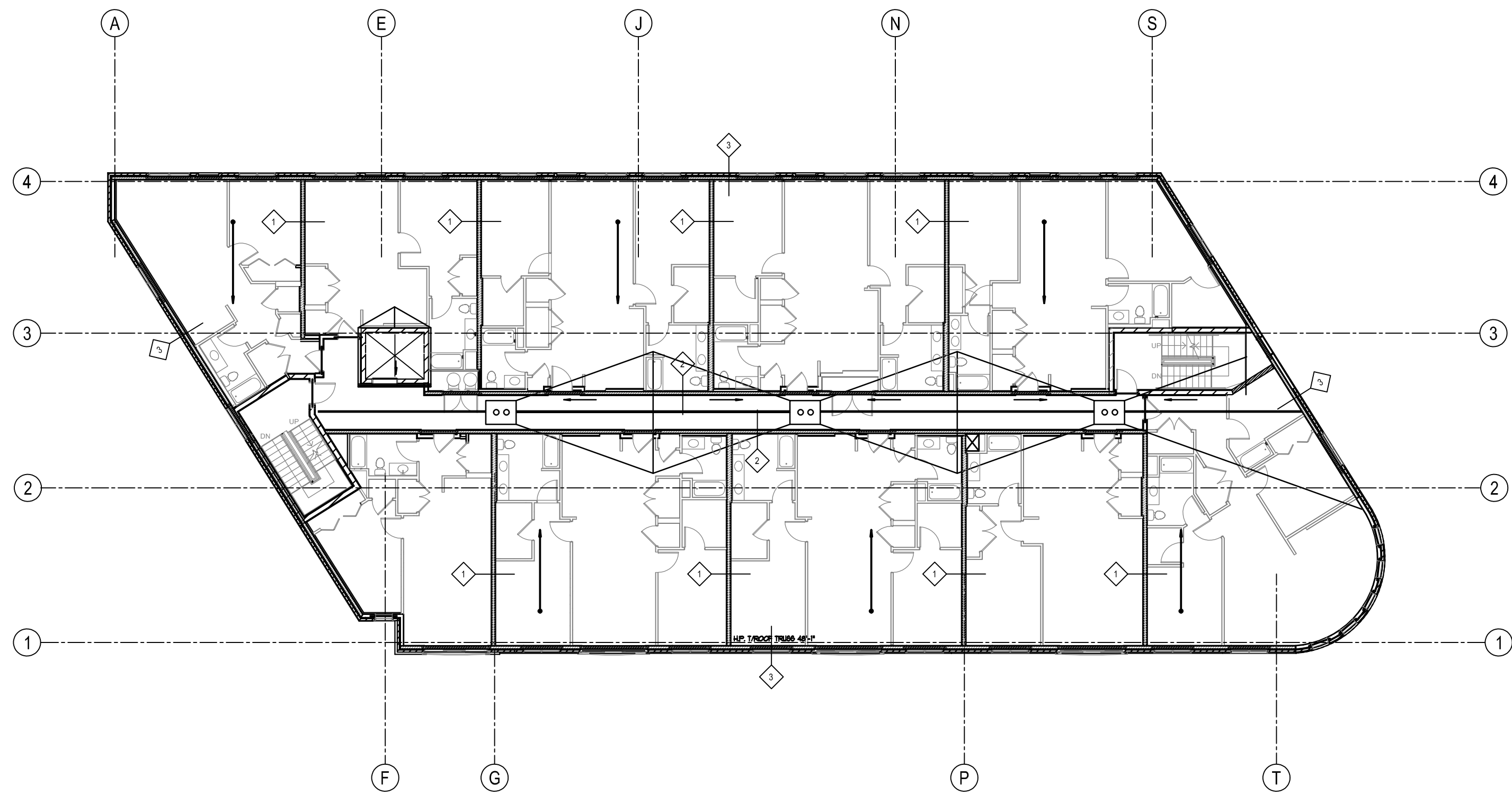
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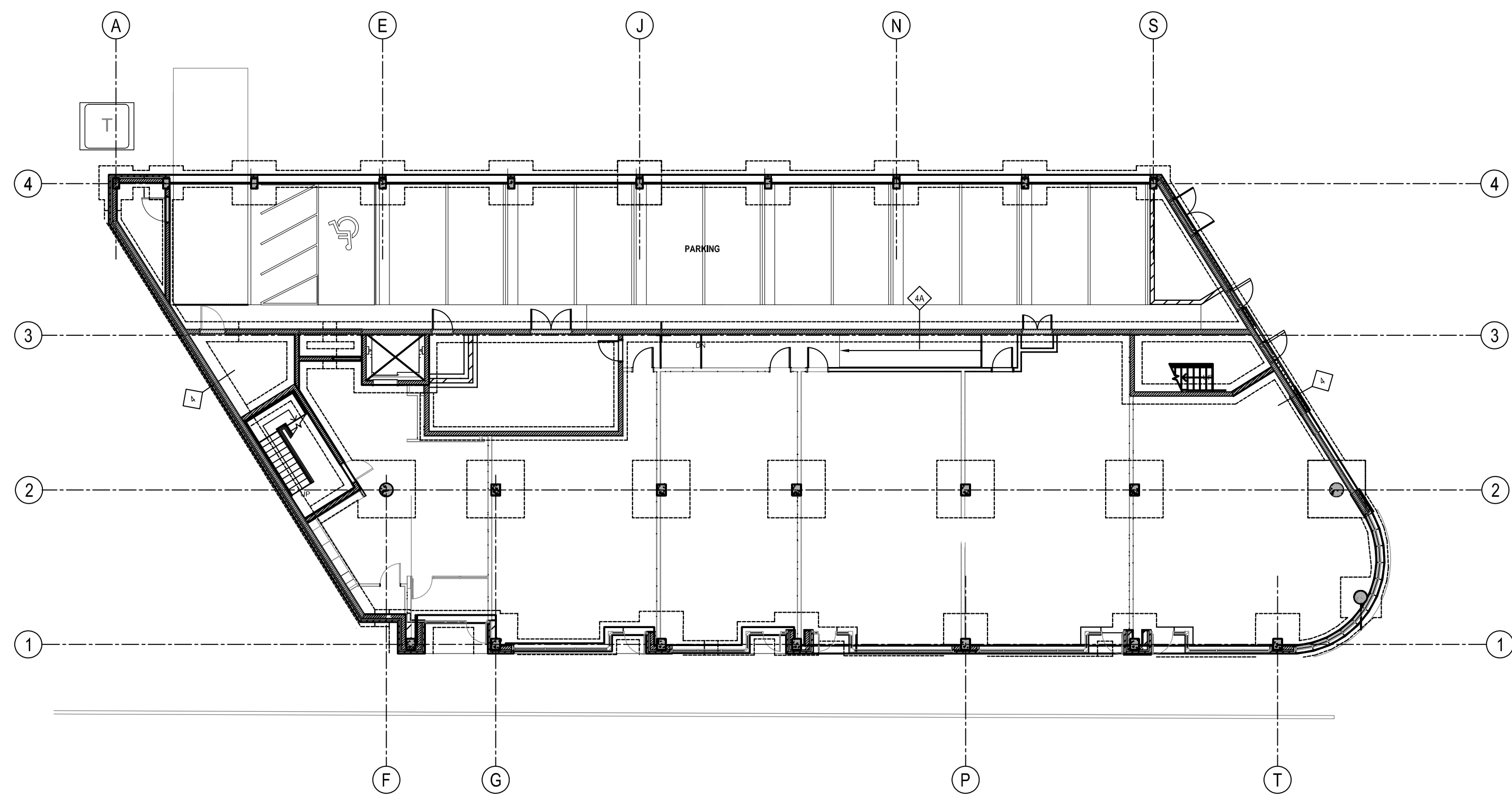
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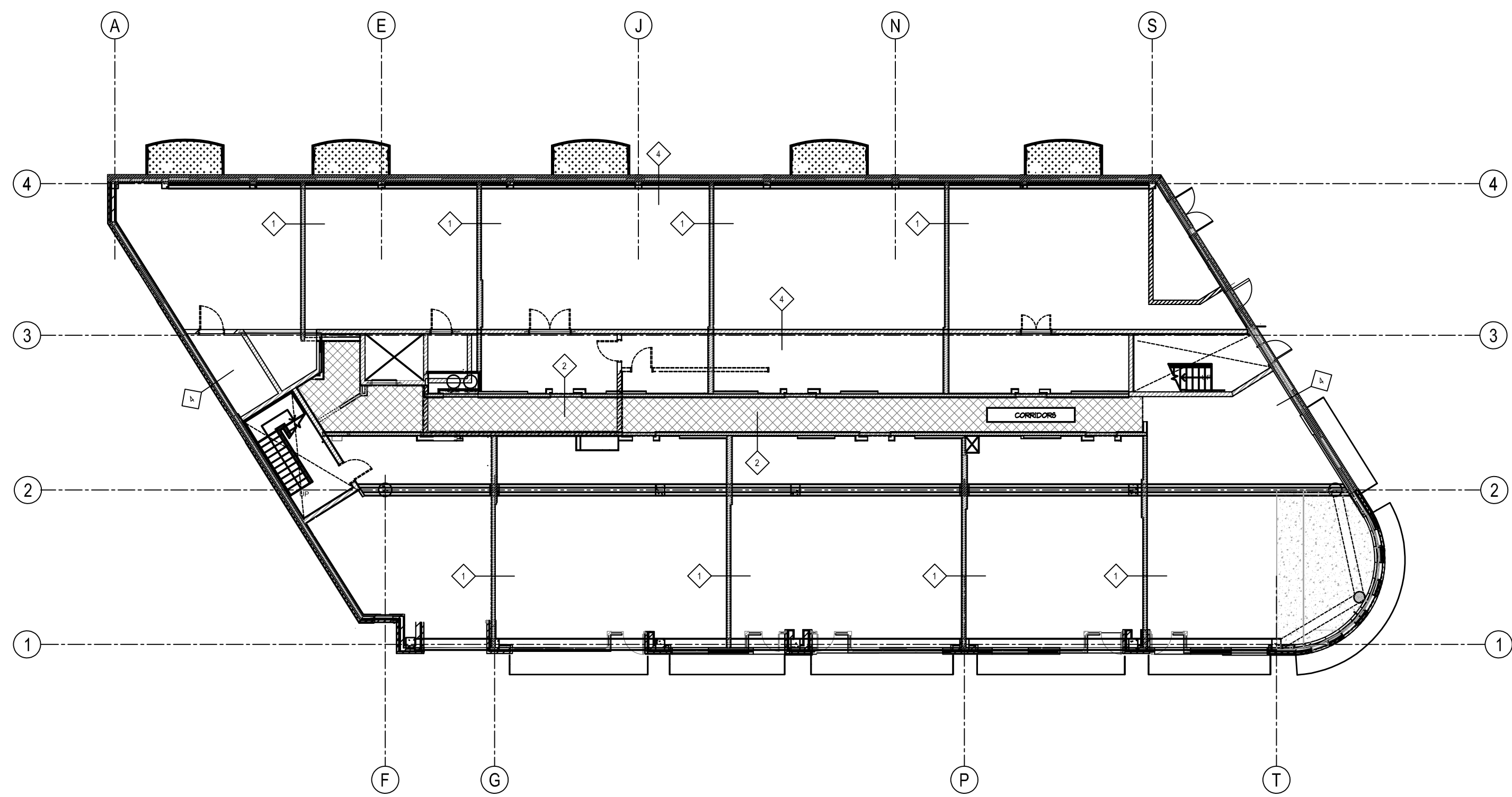
4TH, 3RD LEVEL SHEAR WALL PLAN
SCALE 1/8" = 1'-0"



ROOF SHEARWALL PLAN
SCALE 1/8" = 1'-0"



FOUNDATION LEVEL PLAN
SCALE 1/8" = 1'-0"



SECOND LEVEL FRAMING PLAN
SCALE 1/8" = 1'-0"



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 Associates Architects
 912 W. Lake St. Chicago, Illinois
 t 312-563-9100 f 312-563-1919
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CONSULTANT:
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SHEARWALL
 PLANS
 AND NOTES

S2-01

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WALL TYPE 1 (UNIT SEPARATION WALLS)				
FLOOR	SHEATHING	FASTENERS	BOUNDARY MEMBERS 1	FULL BLOCKING REQ'D?
4th FL - RF.	(2) 2x STUD WALLS W/ 5/8" GYP. BOARD UNIT SIDE ONLY.	6d COOLER NAILS @ 7" o.c. AT PANEL EDGES & IN FIELD	2 - 2x WALL STUDS 1	NO
3rd - 4th FL	(2) 2x STUD WALLS W/ 5/8" GYP. BOARD UNIT SIDE ONLY.	6d COOLER NAILS @ 7" o.c. AT PANEL EDGES & IN FIELD	2 - 2x WALL STUDS 1	NO
2nd - 3rd FL	(2) 2x STUD WALLS W/ 5/8" GYP. BOARD UNIT SIDE ONLY.	6d COOLER NAILS @ 4" o.c. AT PANEL EDGES & IN FIELD	3 - 2x WALL STUDS 1	YES

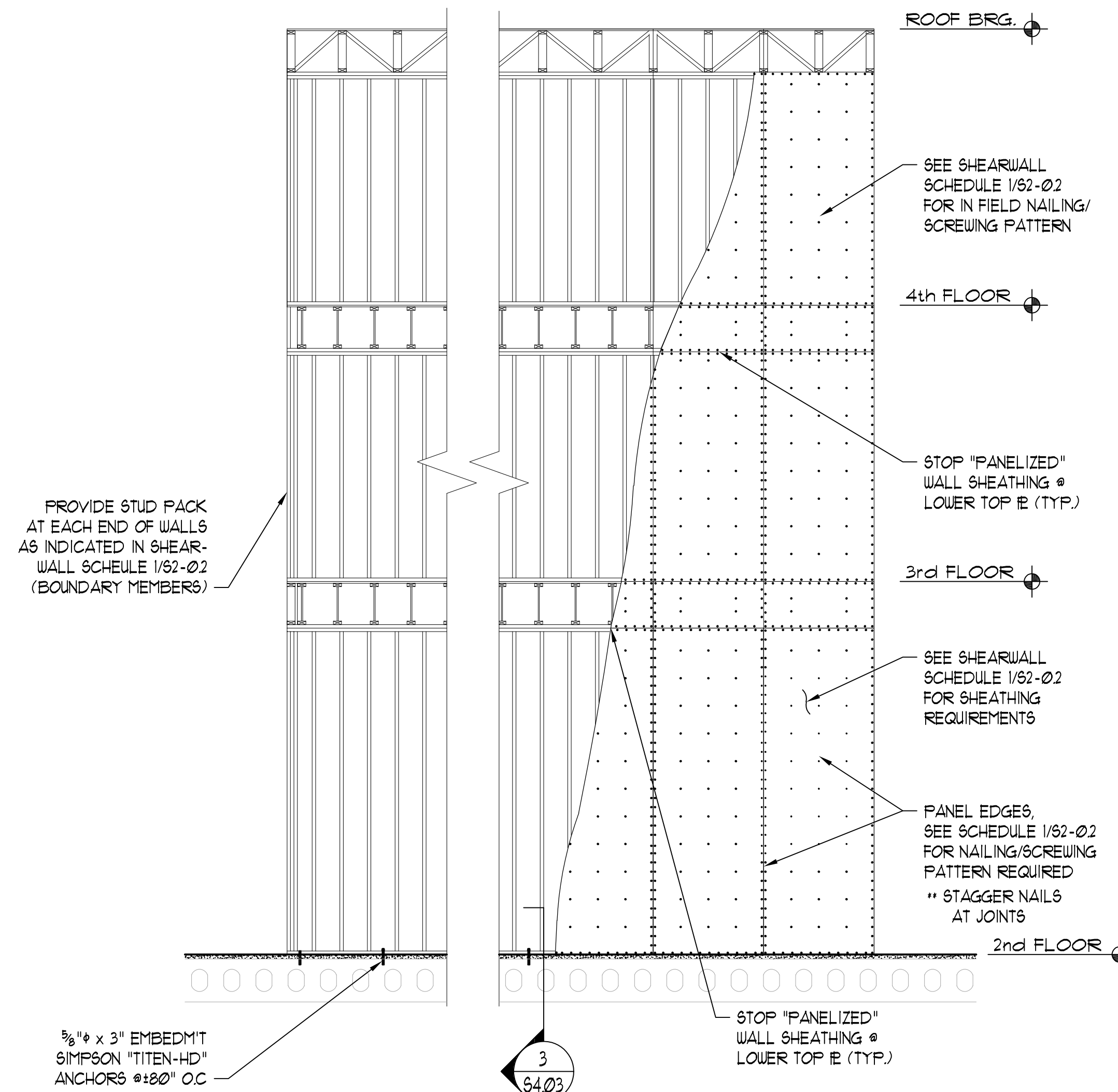
WALL TYPE 2 (CORRIDOR SHEARWALLS)				
FLOOR	SHEATHING	FASTENERS	BOUNDARY MEMBERS 1	FULL BLOCKING REQ'D?
4th FL - RF.	5/8" GYP. BOARD ON BOTH SIDES	6d COOLER NAILS @ 7" o.c. AT PANEL EDGES & IN FIELD	2 - 2x WALL STUDS	NO
3rd - 4th FL	5/8" GYP. BOARD ON BOTH SIDES	6d COOLER NAILS @ 7" o.c. AT PANEL EDGES & IN FIELD	2 - 2x WALL STUDS	NO
2nd - 3rd FL	5/8" GYP. BOARD ON BOTH SIDES	6d COOLER NAILS @ 7" o.c. AT PANEL EDGES & IN FIELD	2 - 2x WALL STUDS	NO

WALL TYPE 3 (TYP. EXTERIOR WALL)				
FLOOR	SHEATHING	FASTENERS	BOUNDARY MEMBERS 1	FULL BLOCKING REQ'D?
4th FL - RF.	5/8" GLASS MAT FACED GYPSUM ON EXT. FACE	1-1/2" x 11 GAUGE GALV. NAILS @ 8" o.c. AT PANEL EDGES & 8" o.c. IN FIELD	2 - 2x WALL STUDS	NO
3rd - 4th FL	5/8" GLASS MAT FACED GYPSUM ON EXT. FACE	1-1/2" x 11 GAUGE GALV. NAILS @ 8" o.c. AT PANEL EDGES & 8" o.c. IN FIELD	2 - 2x WALL STUDS	NO
2nd - 3rd FL	5/8" GLASS MAT FACED GYPSUM ON EXT. FACE	1-1/2" x 11 GAUGE GALV. NAILS @ 8" o.c. AT PANEL EDGES & 8" o.c. IN FIELD	2 - 2x WALL STUDS	NO

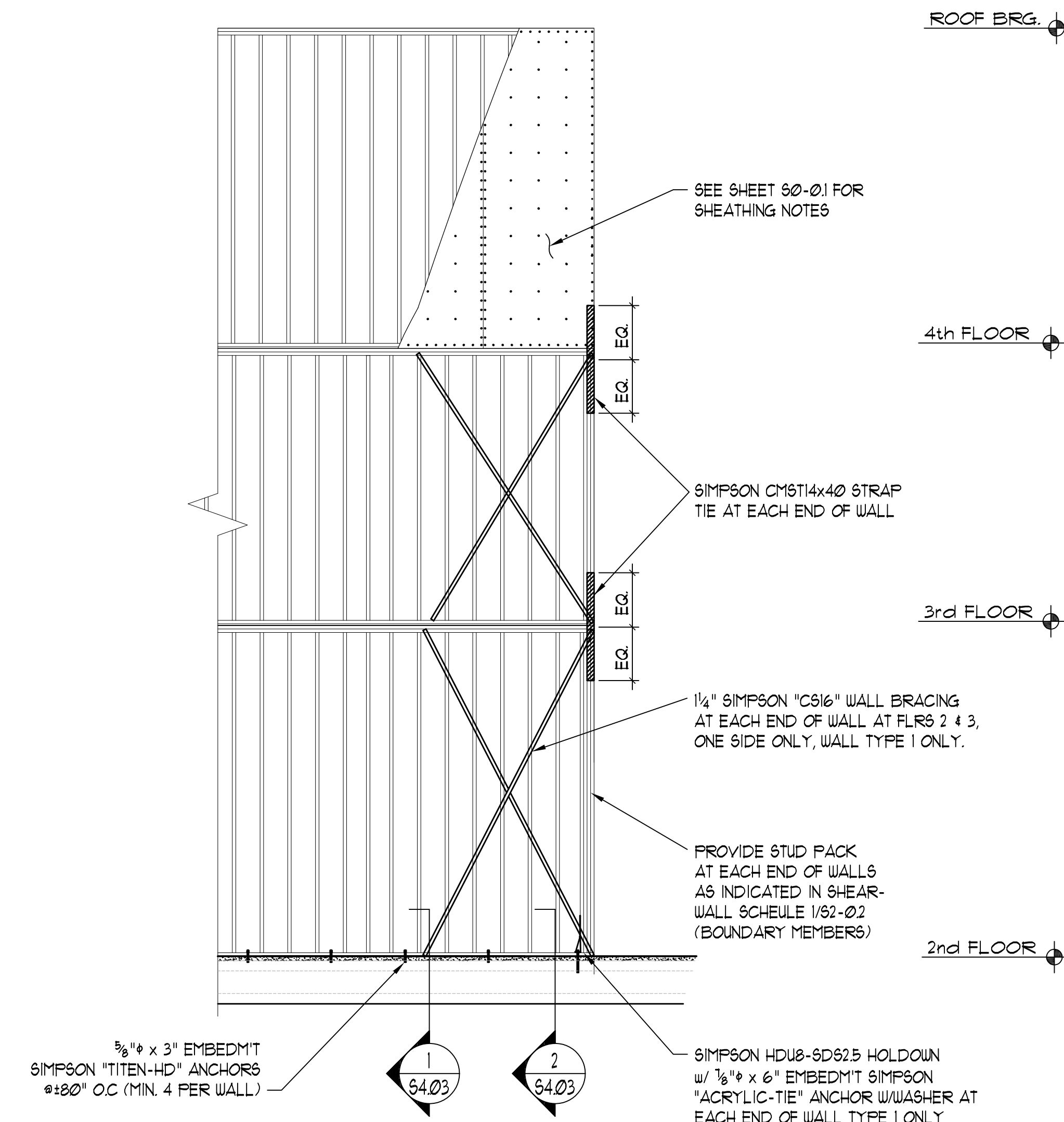
WALL TYPE 4 / 4A (REINF' CMU WALLS)		
FLOOR	DESCRIPTION	REINFORCING
Retl - 2nd FL 4	EXTERIOR SHEARWALLS	#5 BARS @ 32" o.c. IN GROUTED CMU CELLS
Gar. - 2nd FL 4A	GARAGE/ELEV. SHEARWALLS	#5 BARS @ 16" o.c. IN GROUTED CMU CELLS ** GROUT ALL CORES

- NOTES:
 1. BOUNDARY MEMBERS ARE LOCATED AT WALL ENDS AND ADJACENT TO EACH OPENING.
 2. REFER TO ELEVATION BELOW FOR ADDITIONAL INFORMATION.
 3. TYPE S OR W, NO. 6 SCREWS MAY BE USED INSTEAD OF COOLER NAILS.

1 SHEARWALL SCHEDULES
NO SCALE



2 SHEARWALL ELEVATION (WALLS 2)
NO SCALE



3 SHEARWALL ELEVATION (WALL 1)
NO SCALE

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312-563-9100
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 39 W. New York Street
 Aurora, IL 60506-4120
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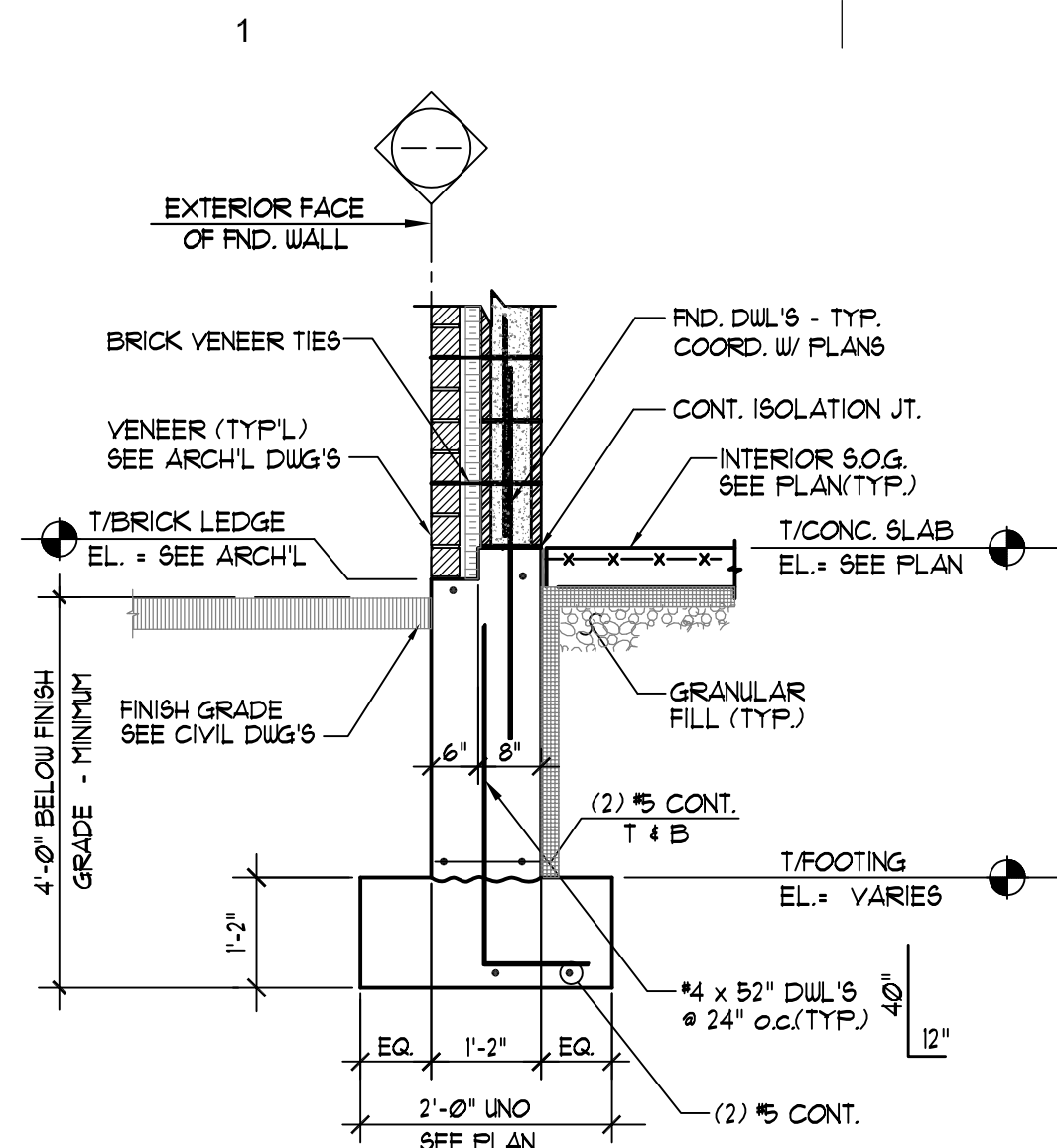
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SHEARWALL ELEVATIONS & NOTES

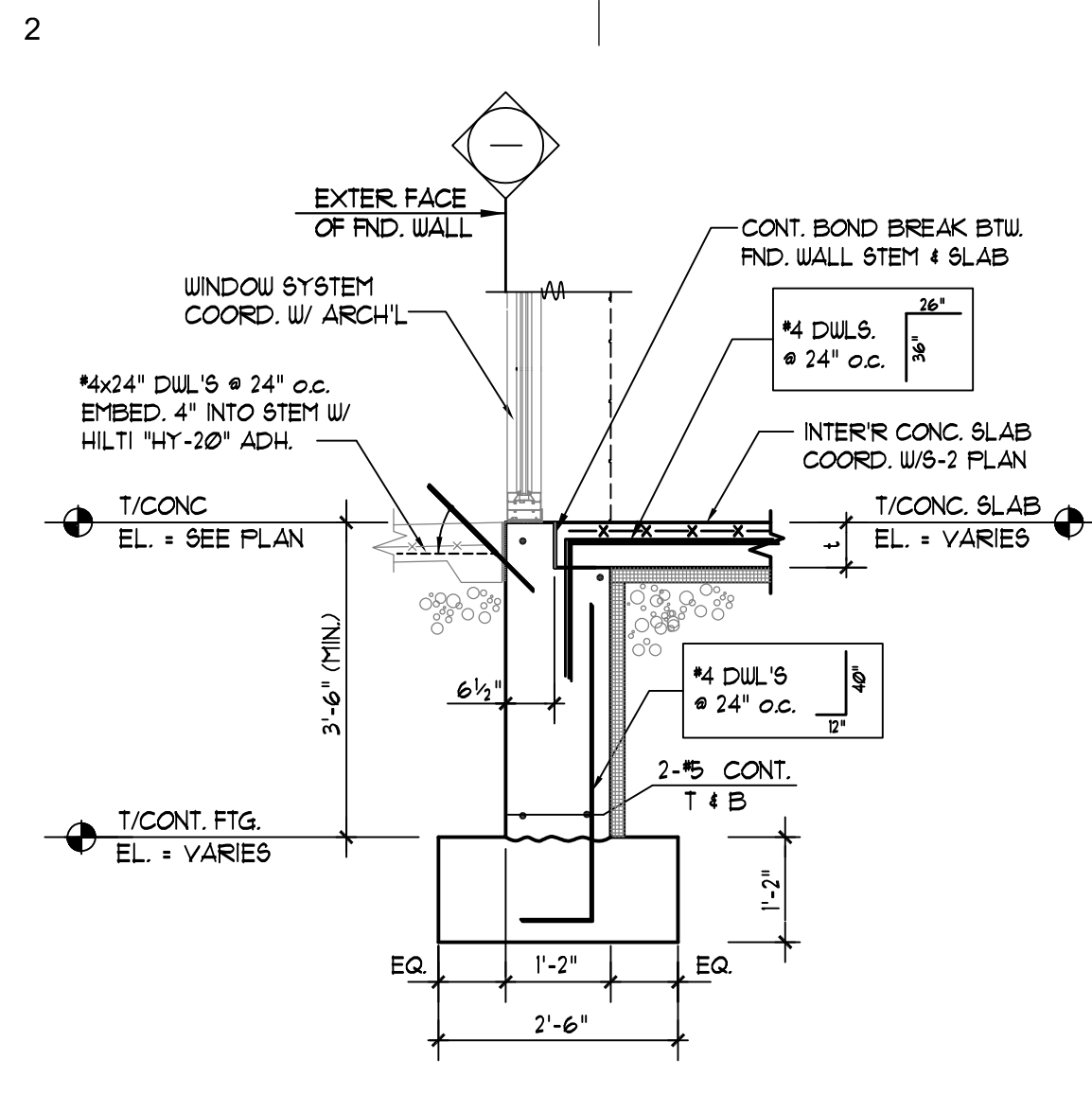
S2-02

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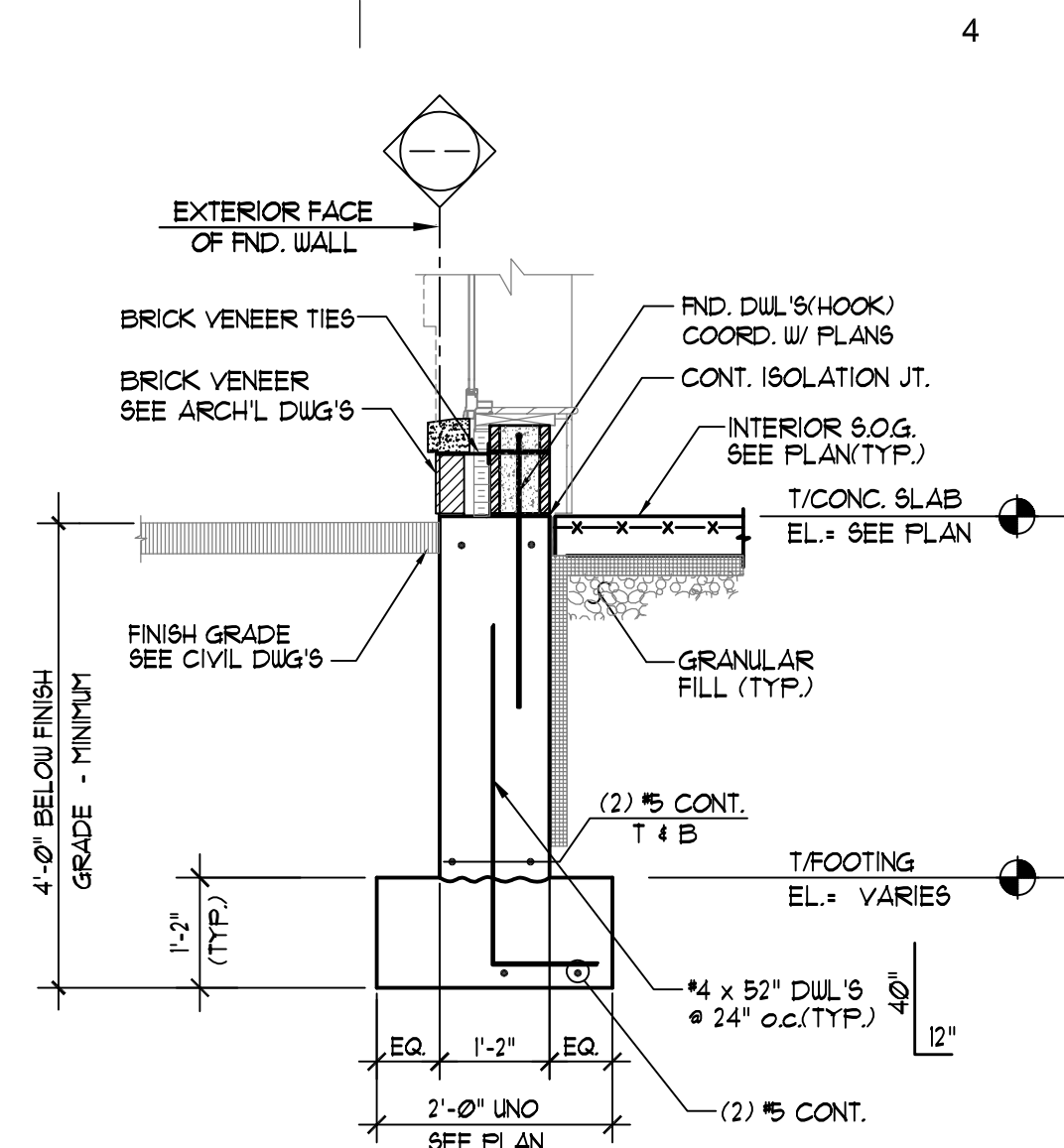
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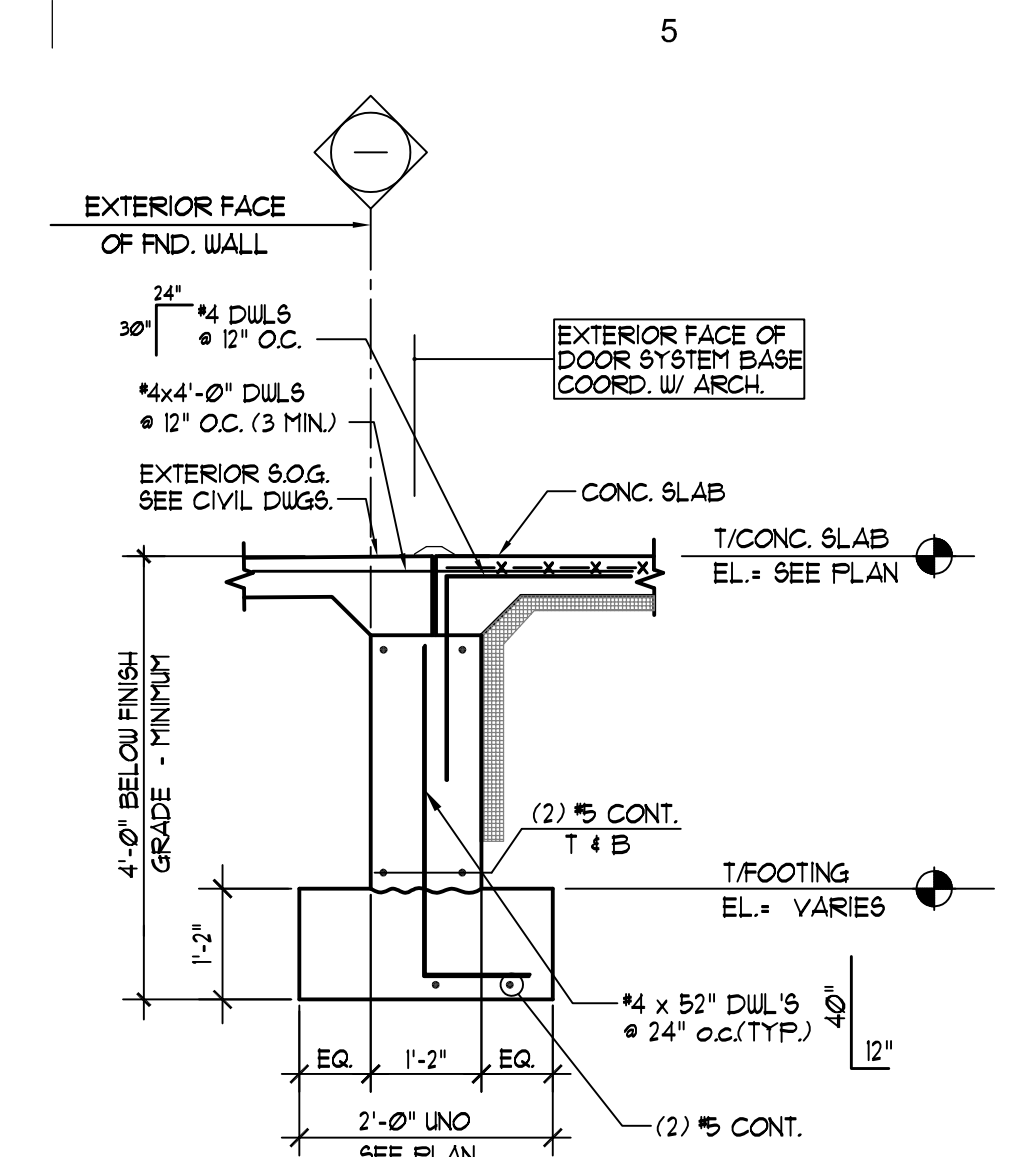
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1/2" = 1'-0"



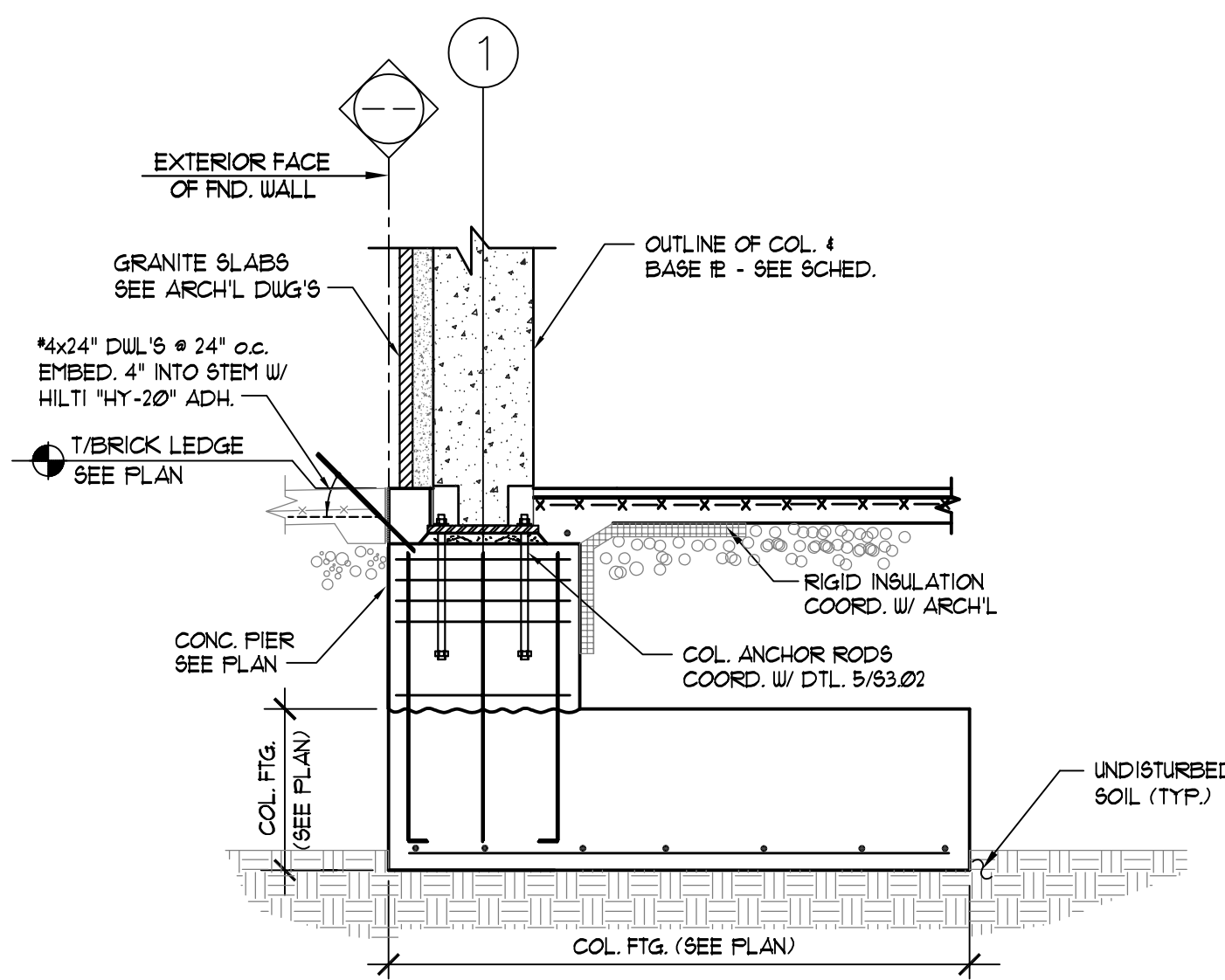
2 SECTION @ WNDW BASE
1/2" = 1'-0"



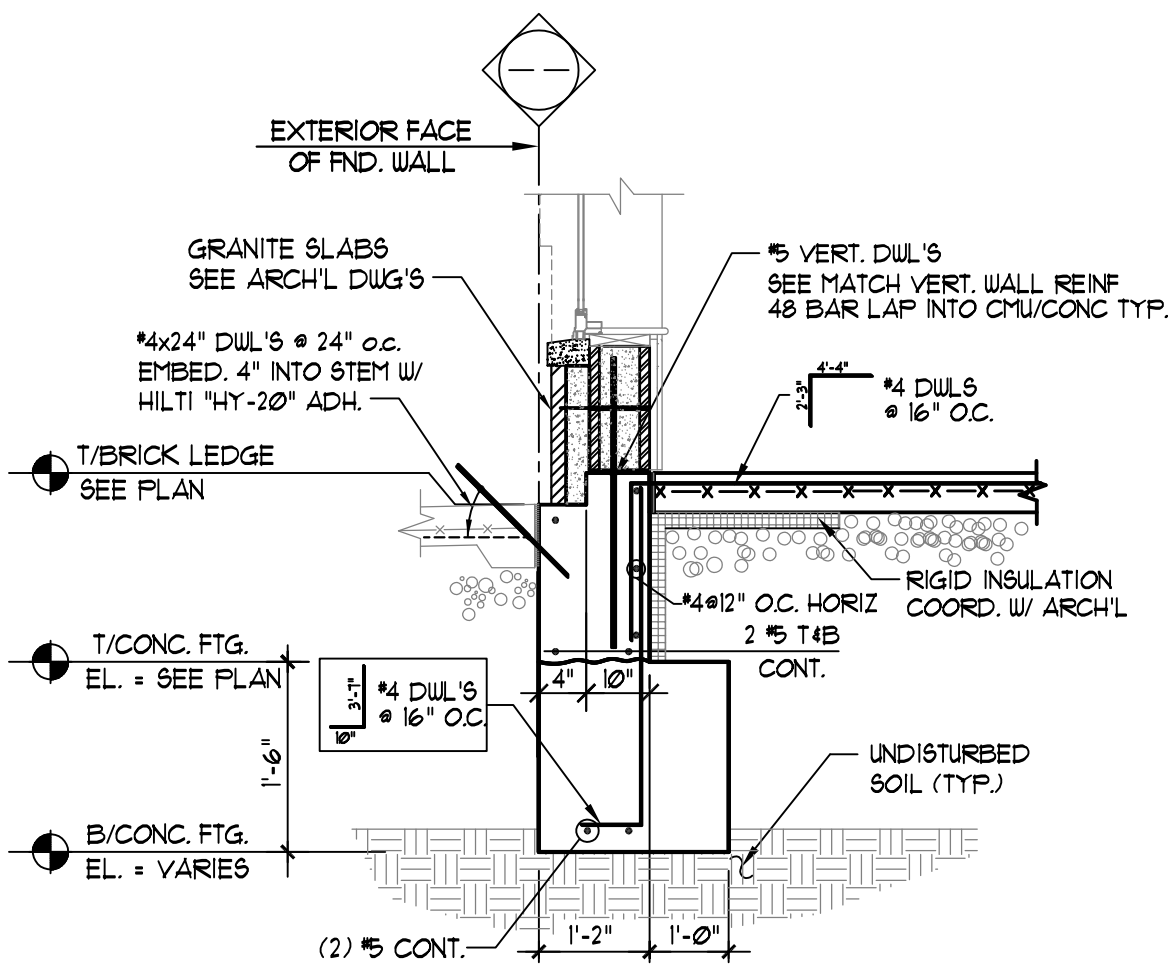
3 SECTION @ DRIVE WINDOW
1/2" = 1'-0"



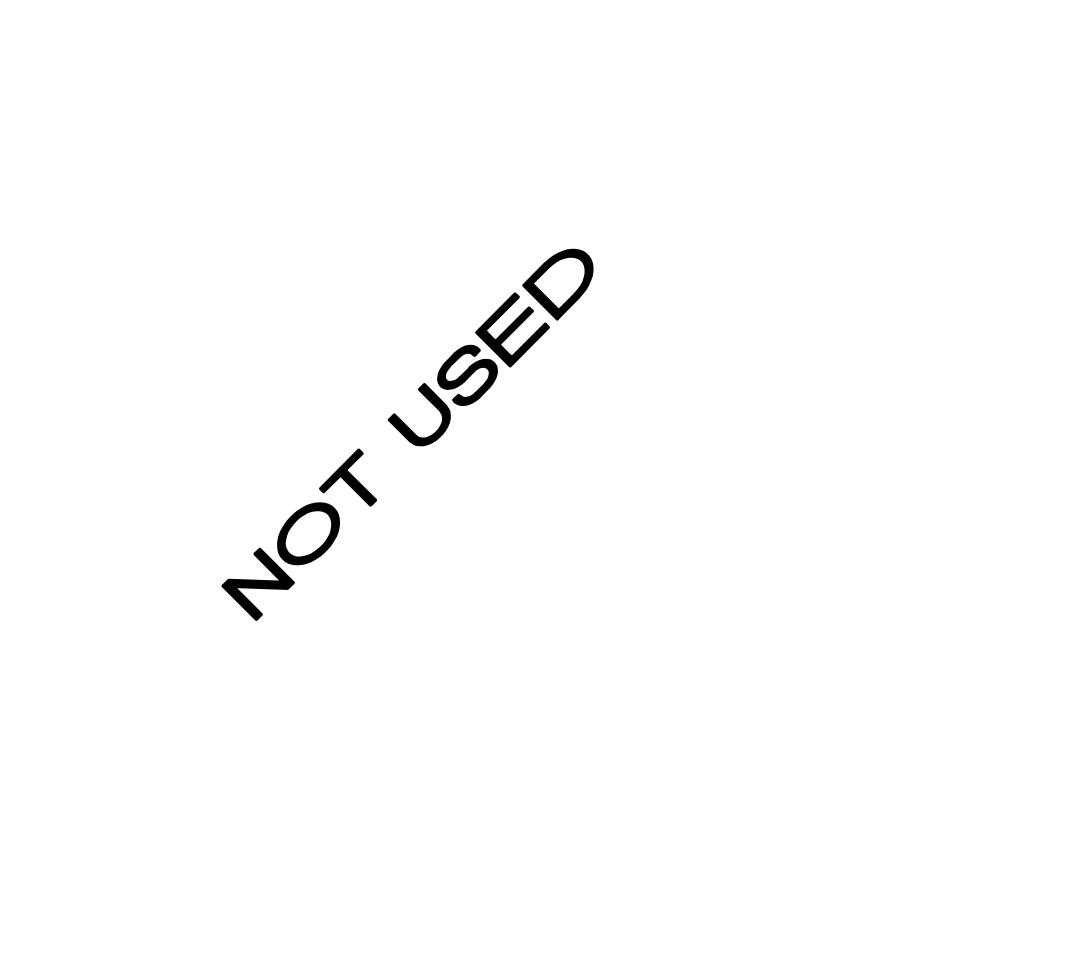
4 SECTION AT ENTRANCE
1/2" = 1'-0"



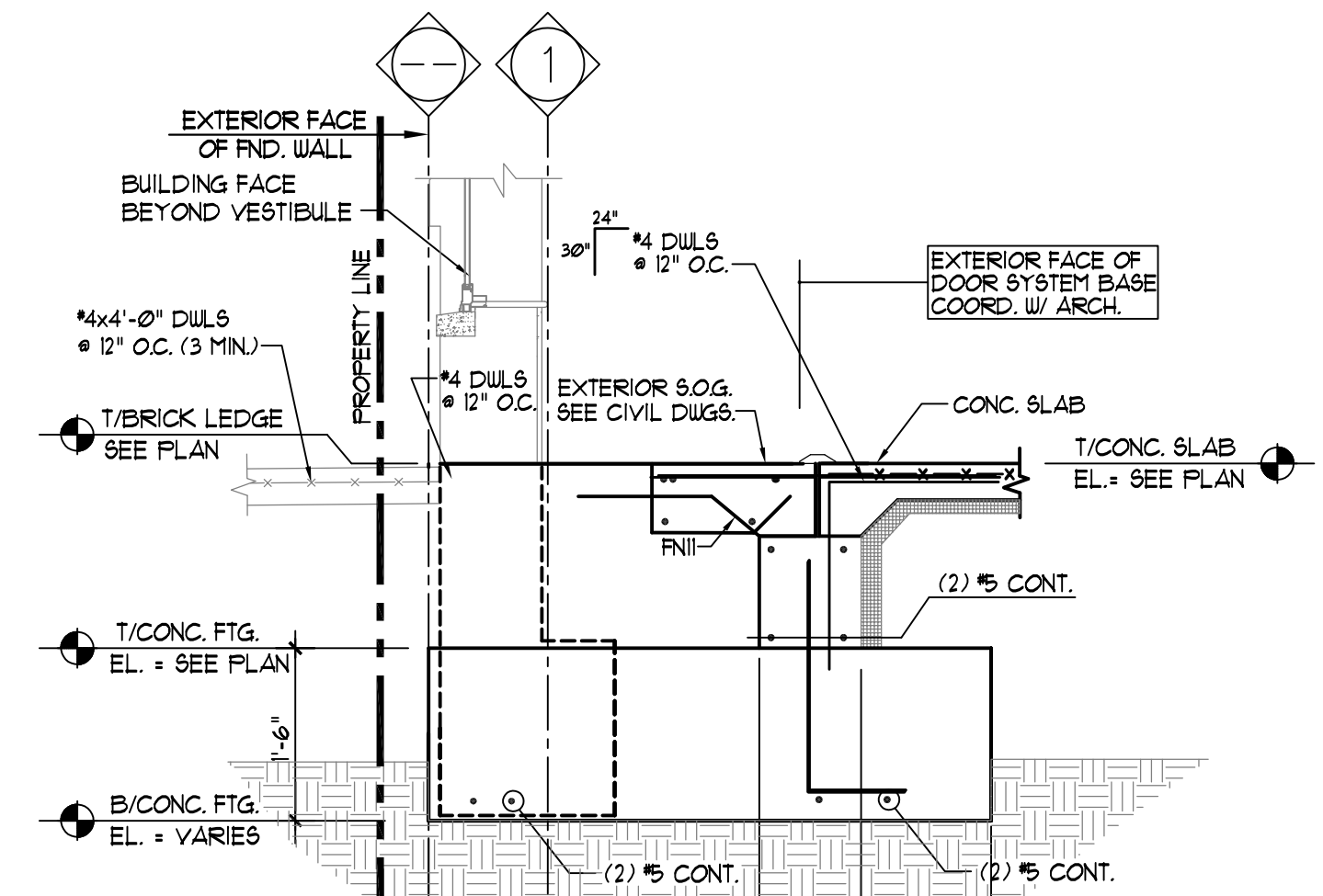
5 SECTION @ SOUTH WALL
1/2" = 1'-0"



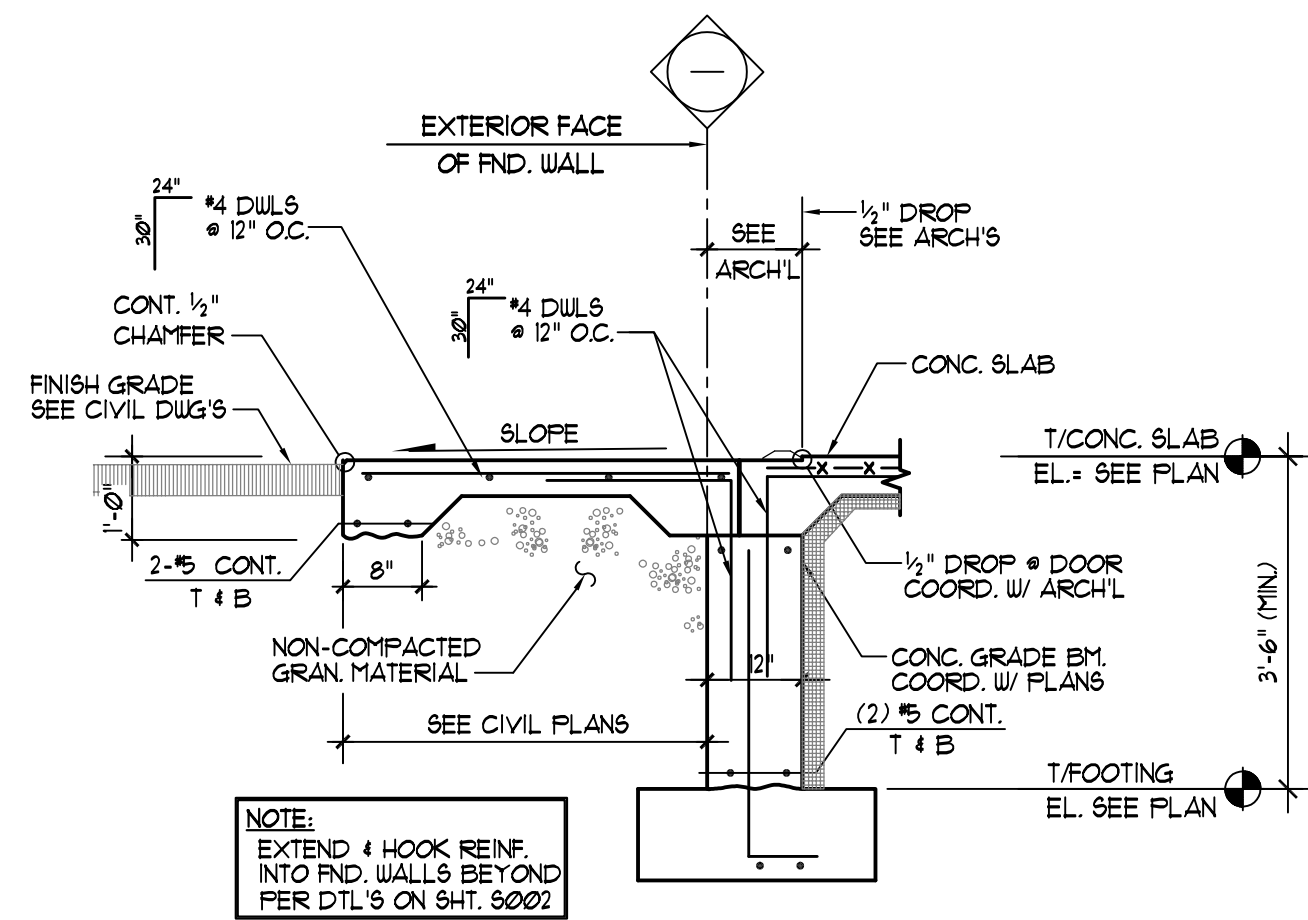
6 SECTION @ WNDW BASE
1/2" = 1'-0"



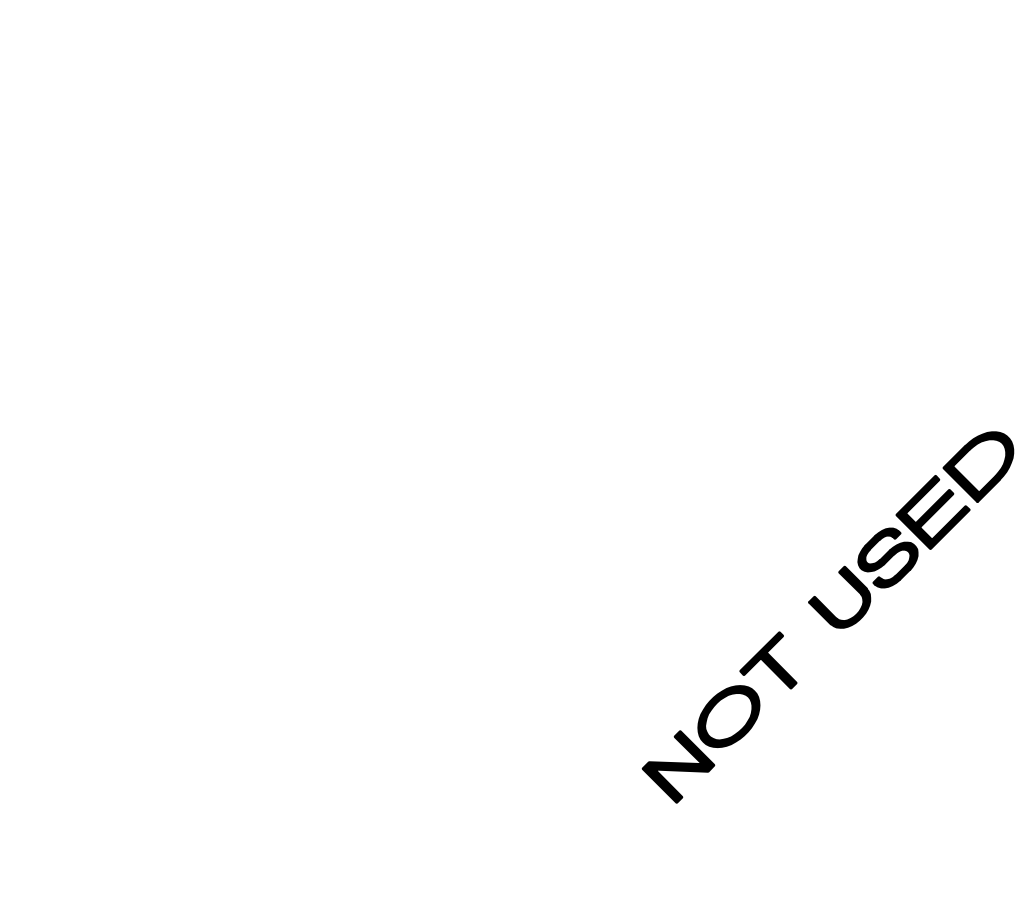
7 SECTION
1/2" = 1'-0"



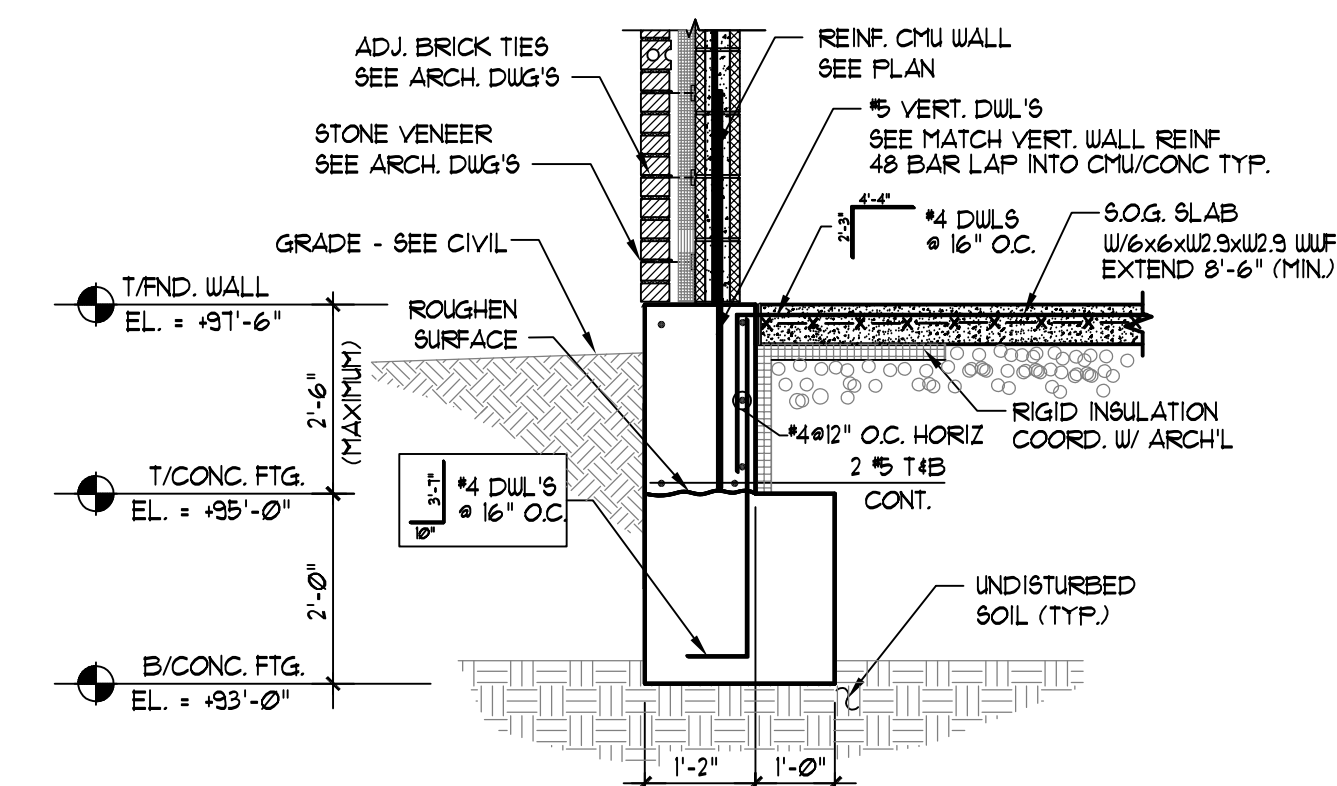
8 SECTION AT VESTIBULE
1/2" = 1'-0"



9 DETAIL @ GARAGE DOORS
1/2" = 1'-0"



10 SECTION
1/2" = 1'-0"



11 PROPERTY LINE FOOTING @ WEST LINE
1/2" = 1'-0"

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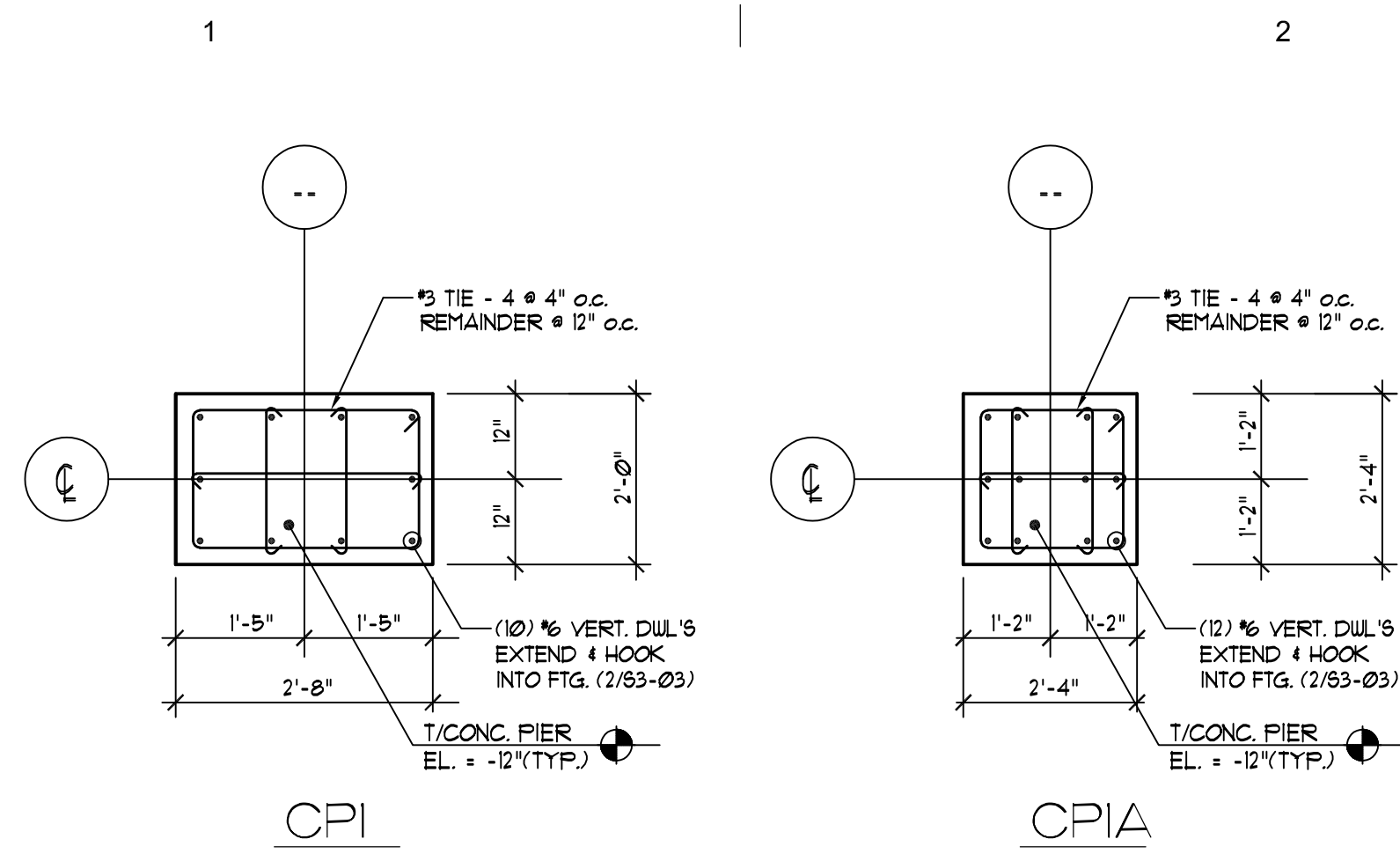
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FOUNDATION
SECTIONS
& DETAILS

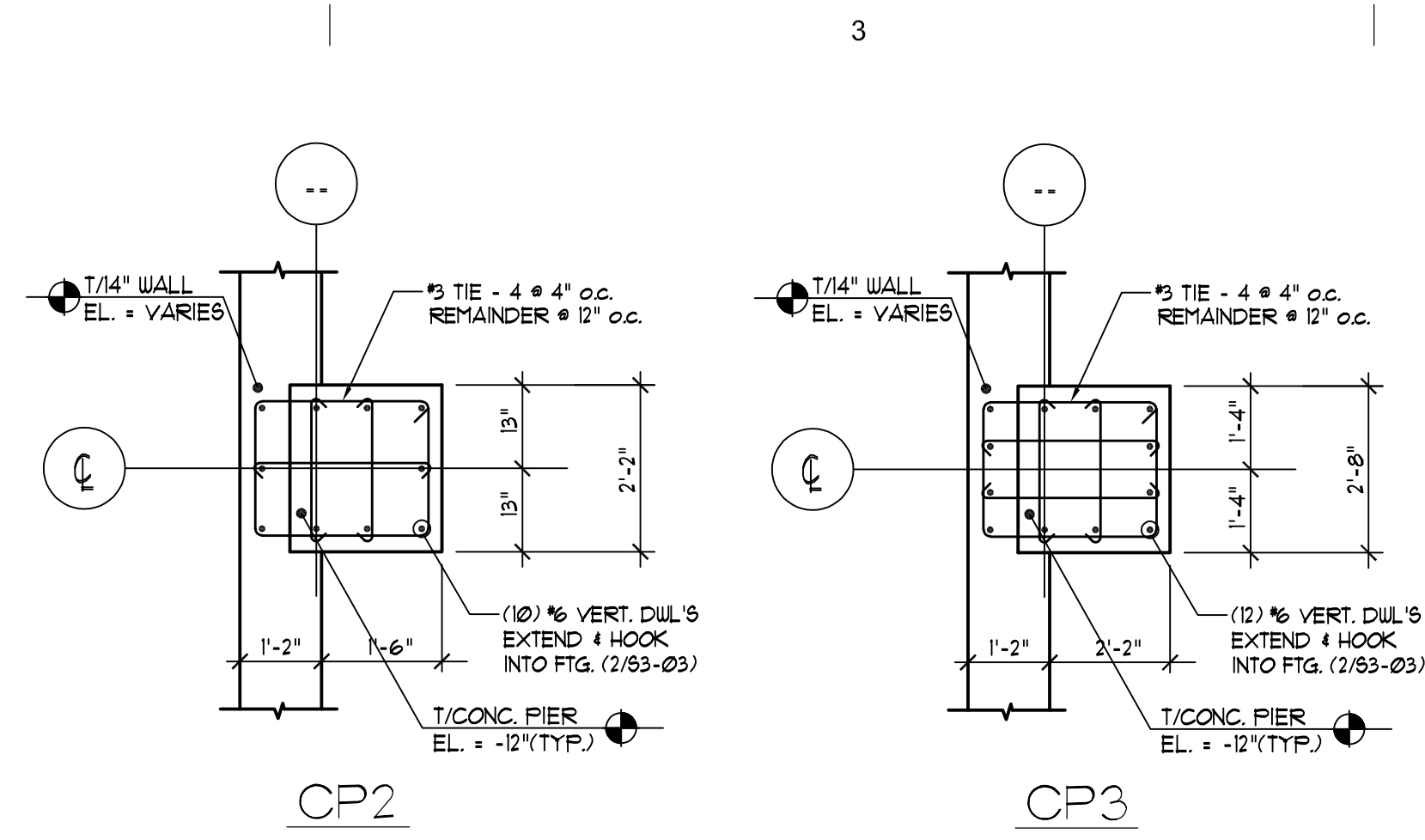
S3-01

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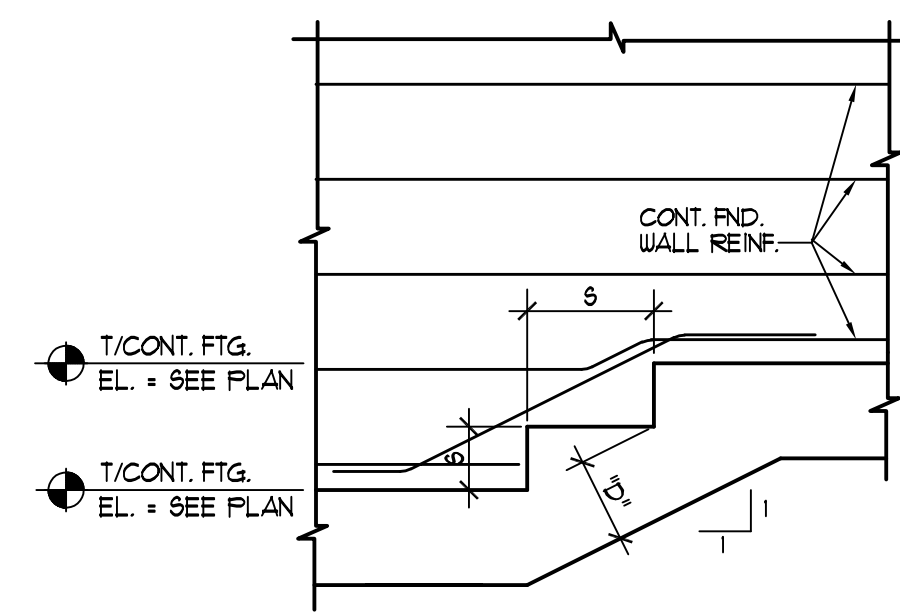
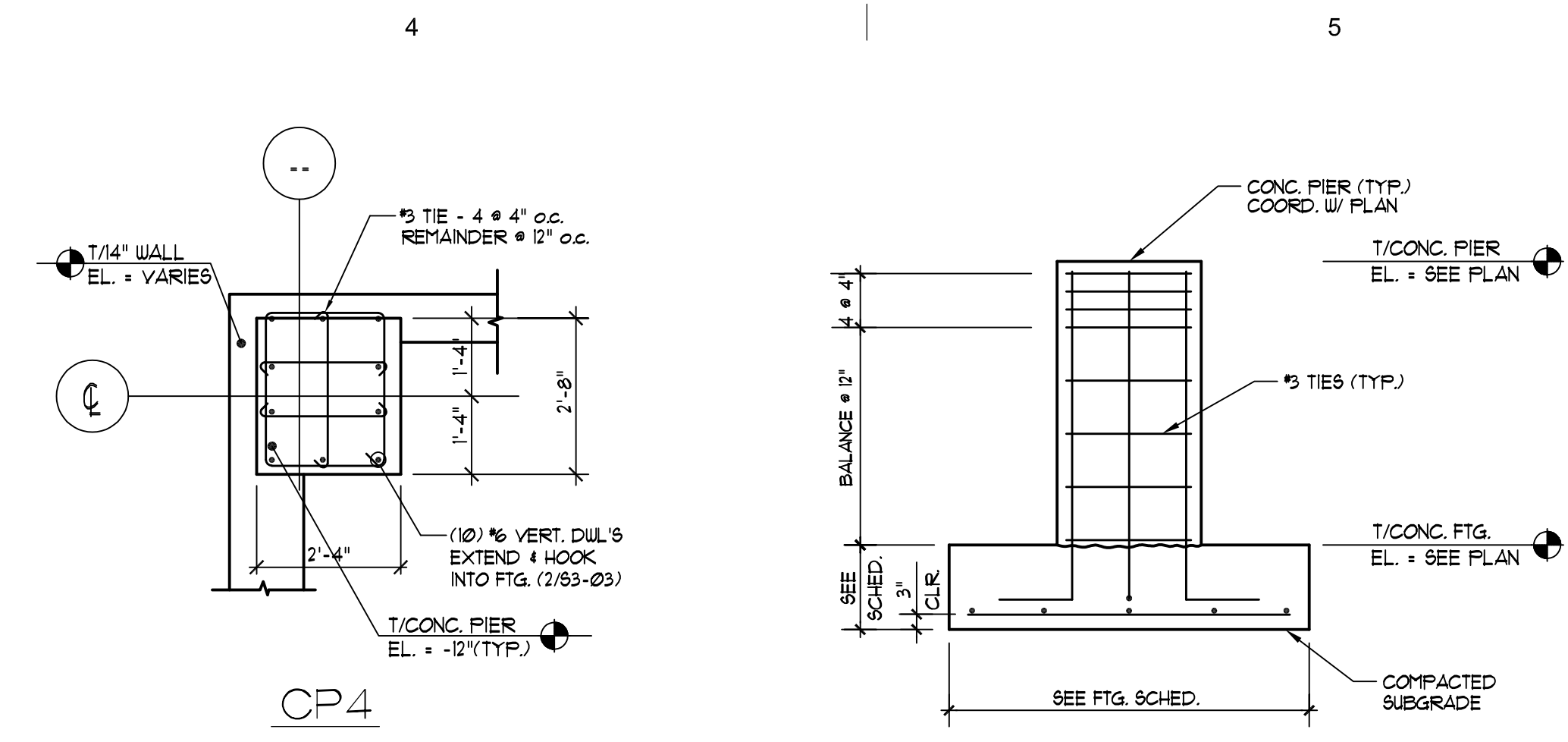
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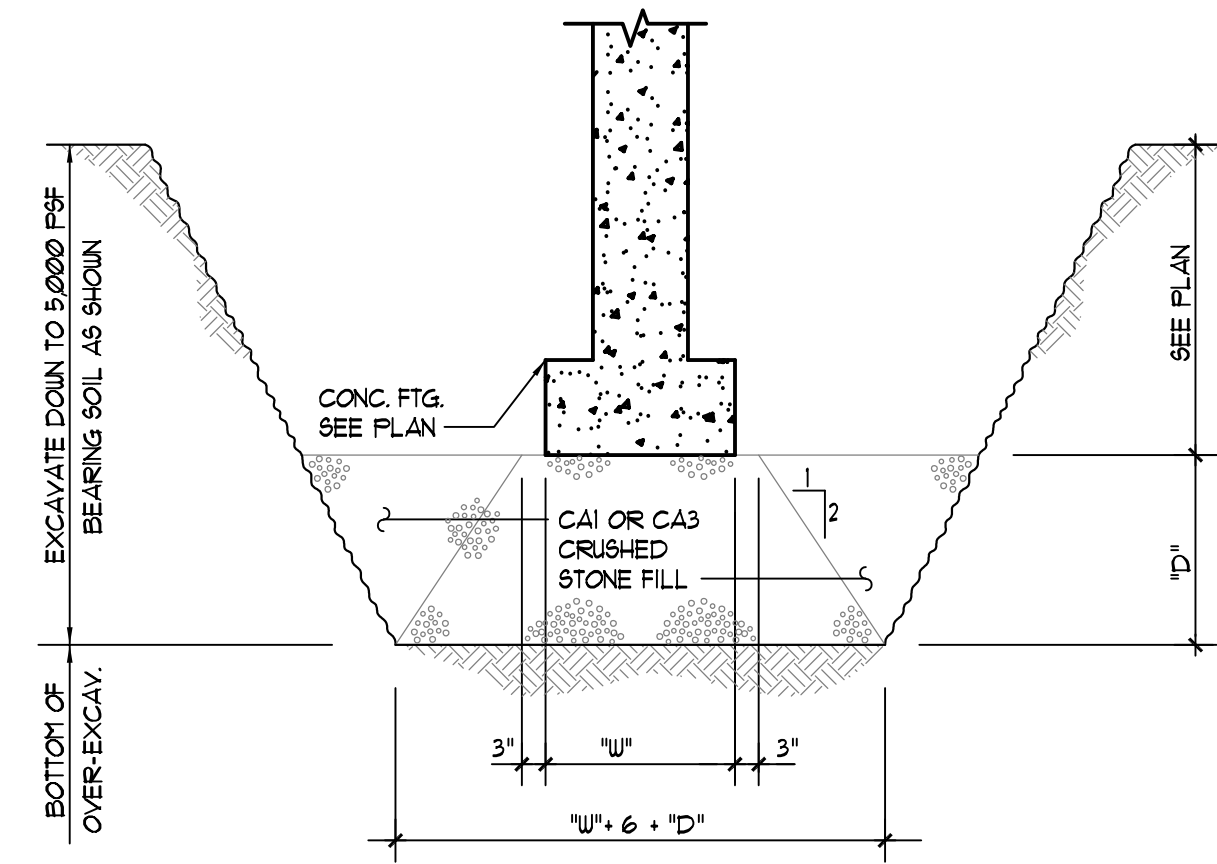
1 TYPICAL CONCRETE PIER DETAILS
1/2" = 1'-0"



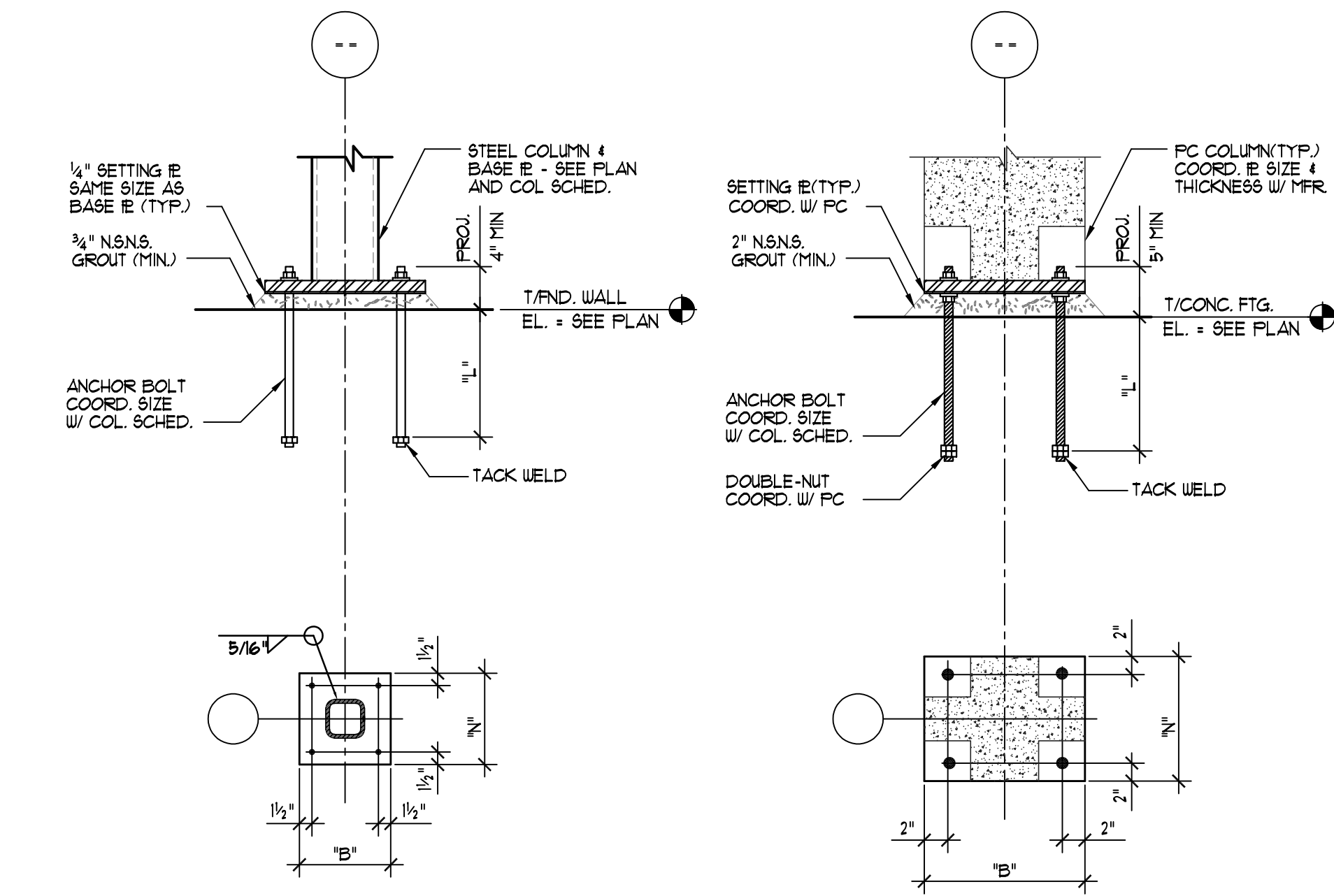
2 TYPICAL PIER DETAIL
1/2" = 1'-0"



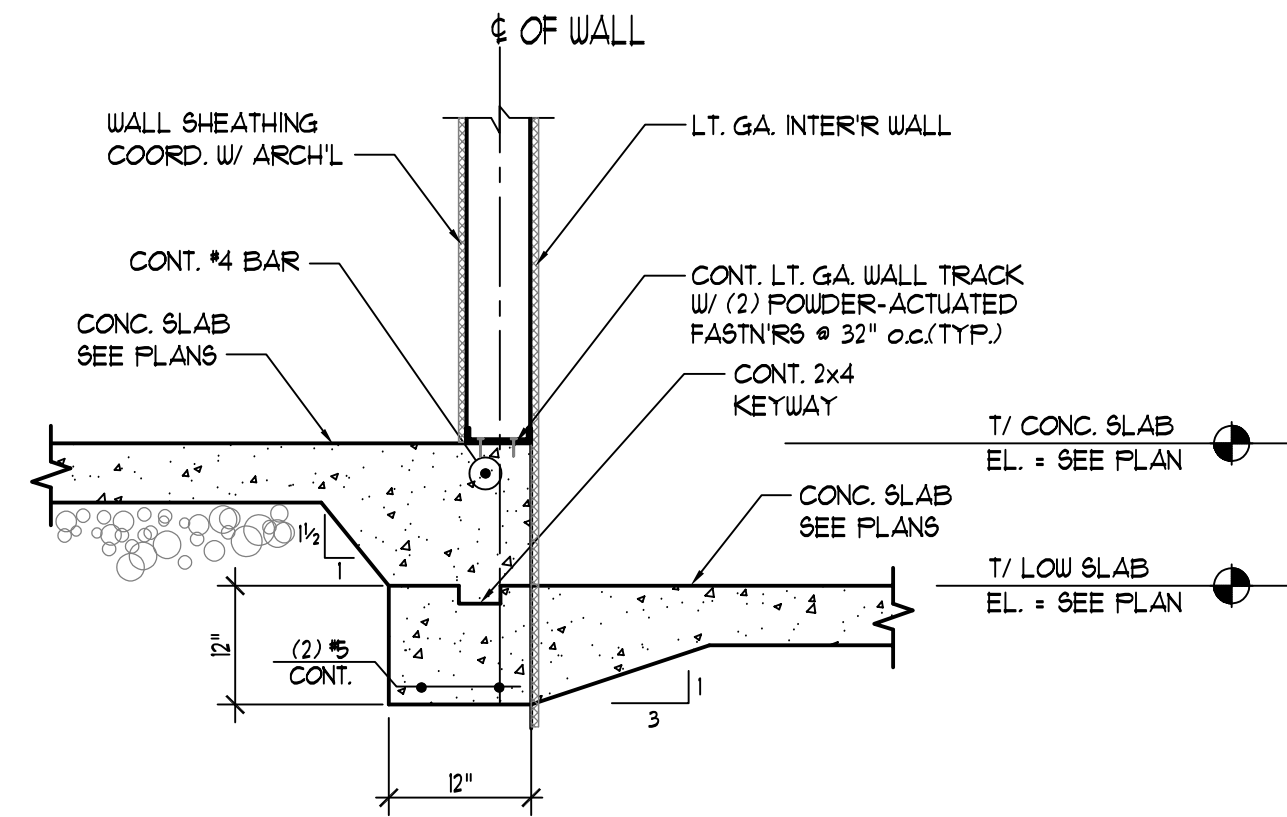
3 STEPPED FTG. DETAIL
1/2" = 1'-0"



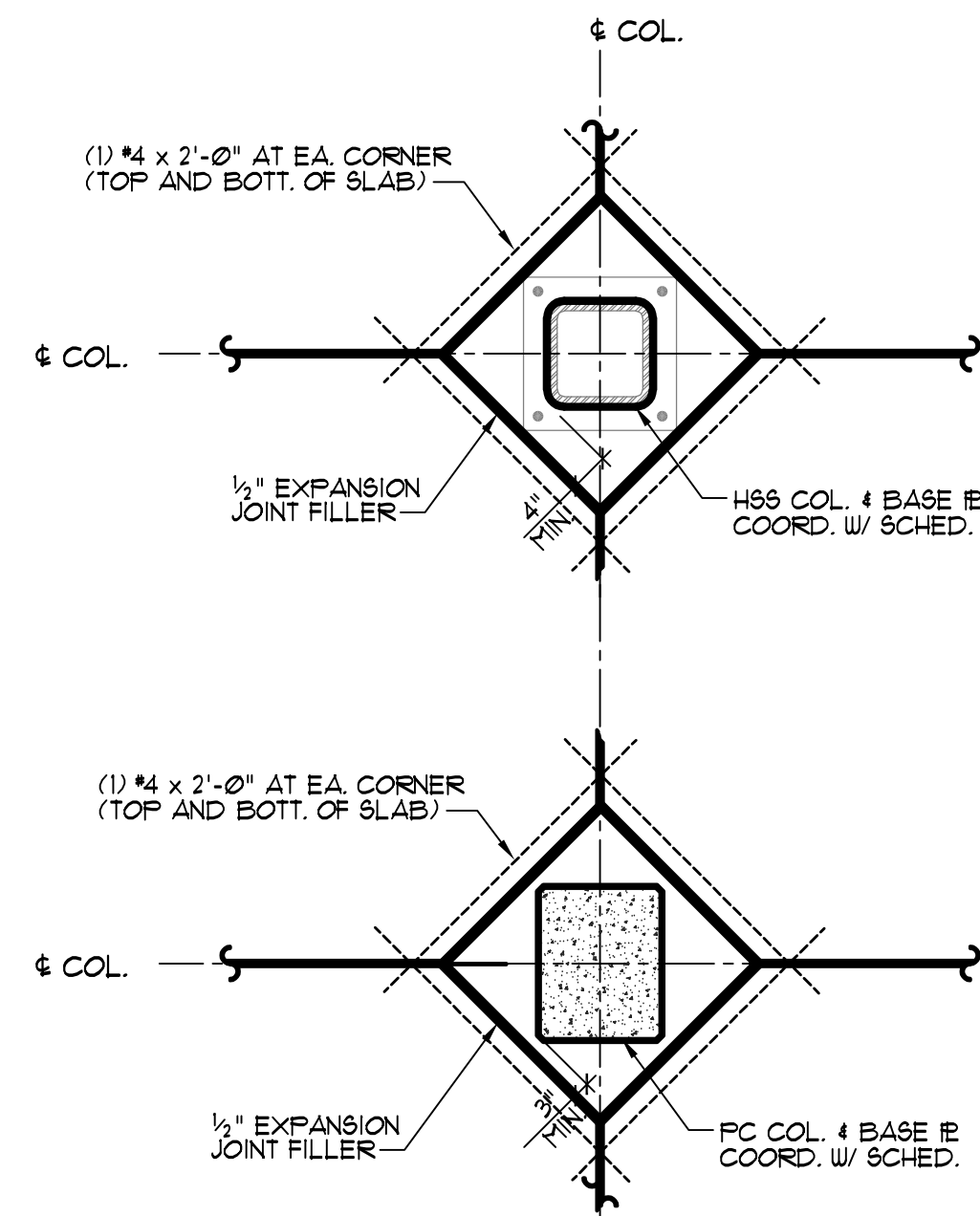
4 TYP. OVER-EXCAVATION DTL.
1/2" = 1'-0"



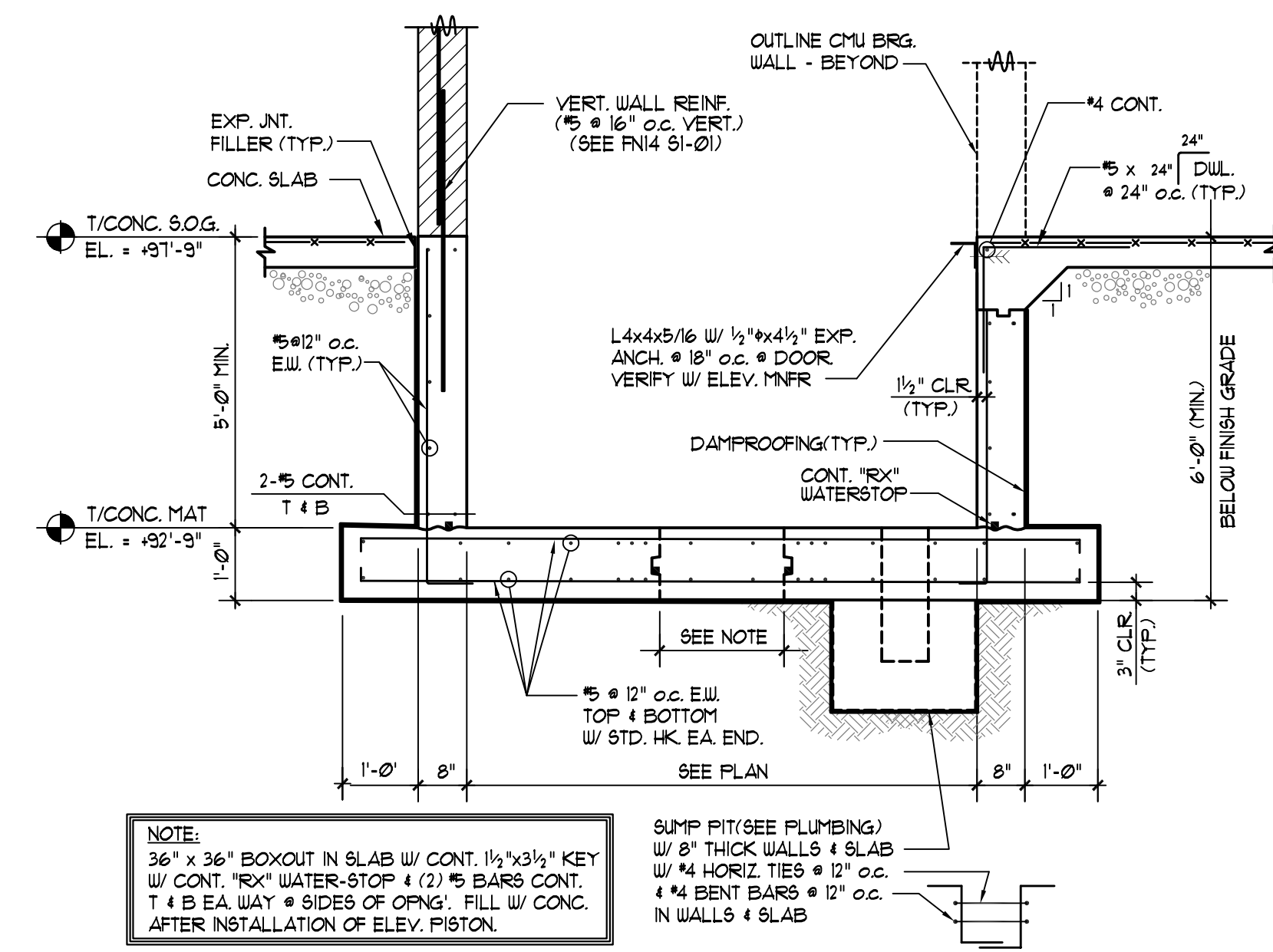
5 TYP. HSS/PC COLUMN BASE PLATE DETAILS
1/2" = 1'-0"



6 SECTION THRU SLAB DROP (RETAIL)
3/4" = 1'-0"



7 INTERIOR COL'N ISOLATION JT.
1/2" = 1'-0"



8 SECTION THRU ELEVATOR PIT
1/2" = 1'-0"

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-	Issue for Design Progress Review	2015/01/09
1	Issue for Design Development	2014/11/12



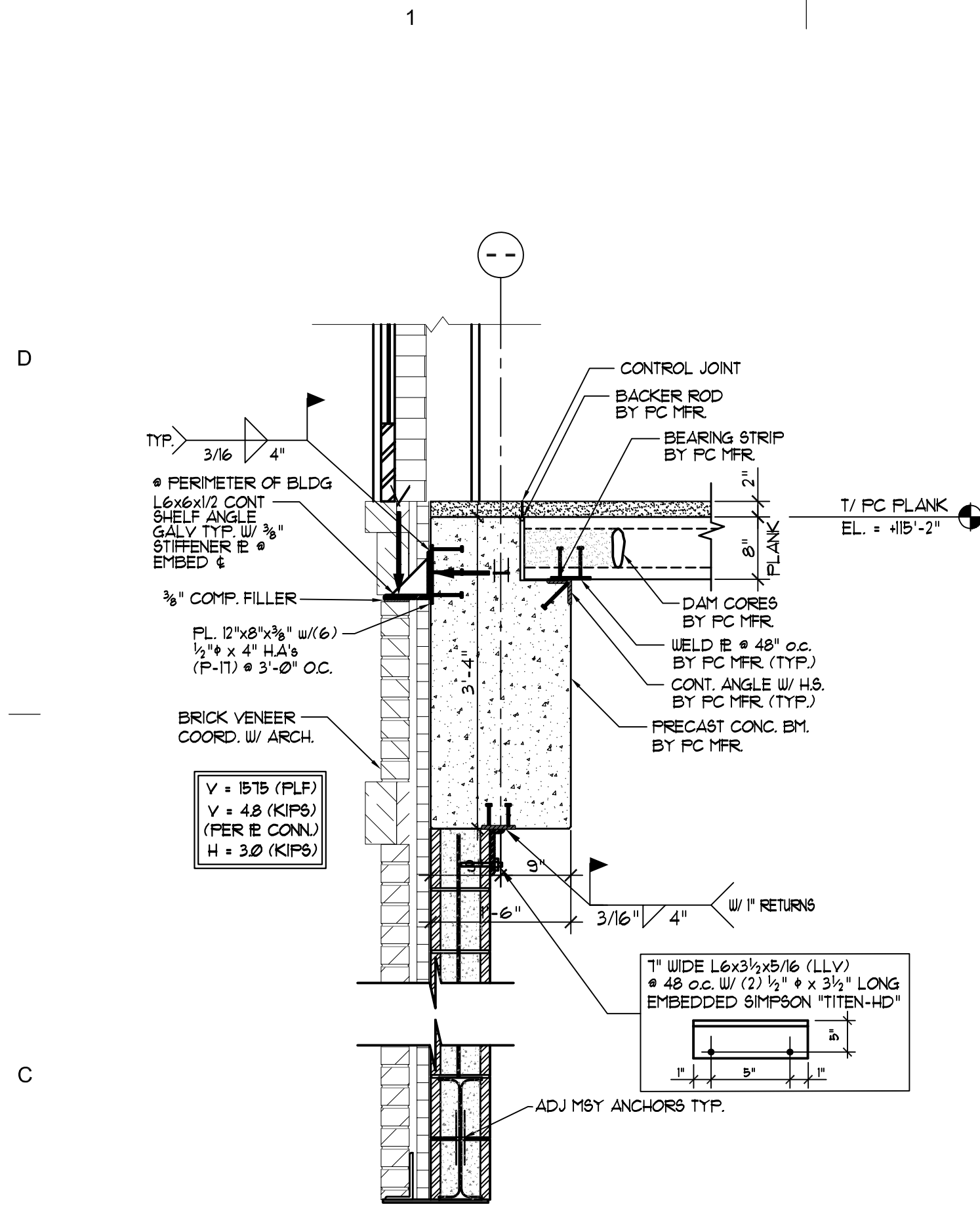
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FOUNDATION
SECTIONS
& DETAILS

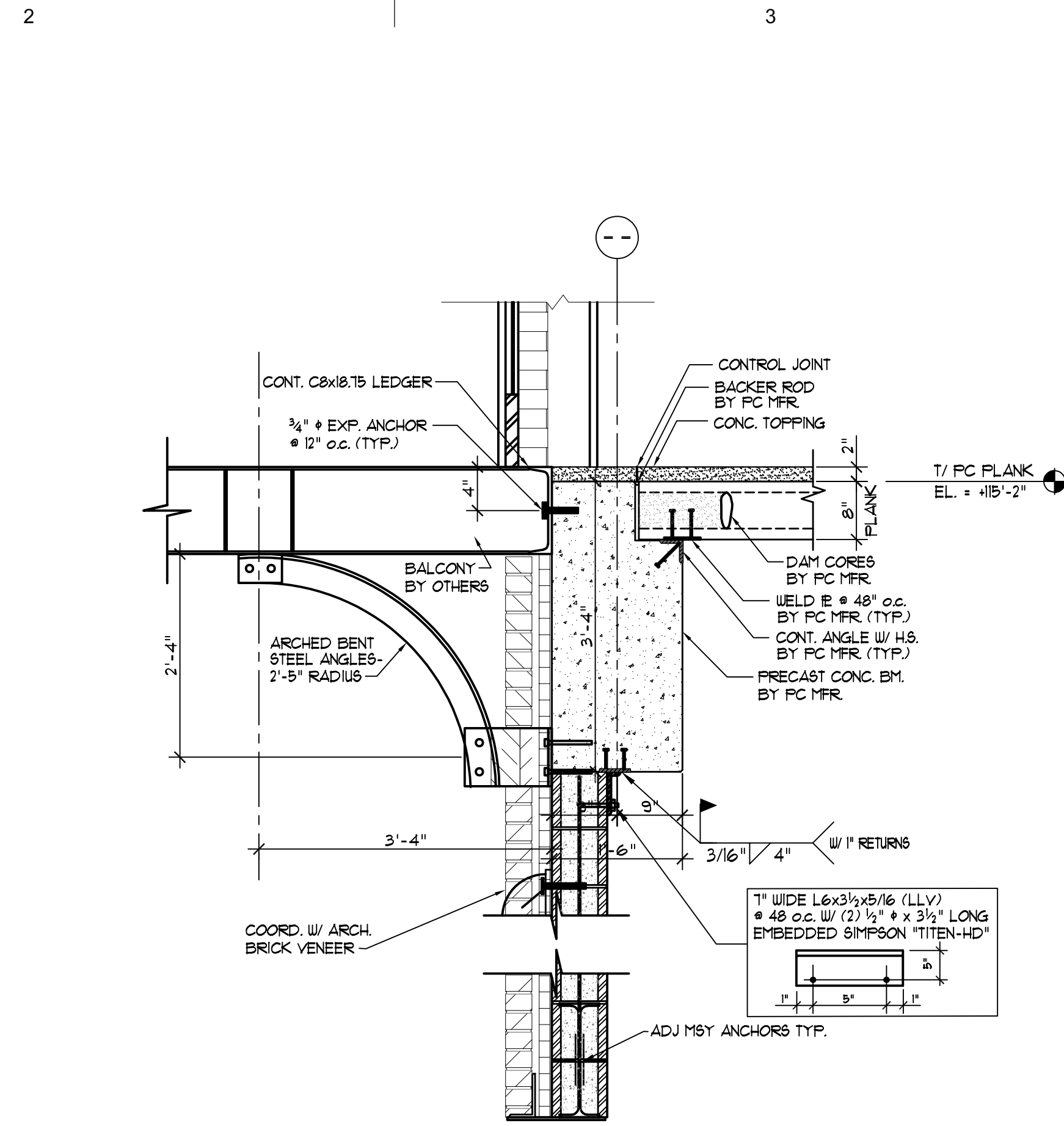
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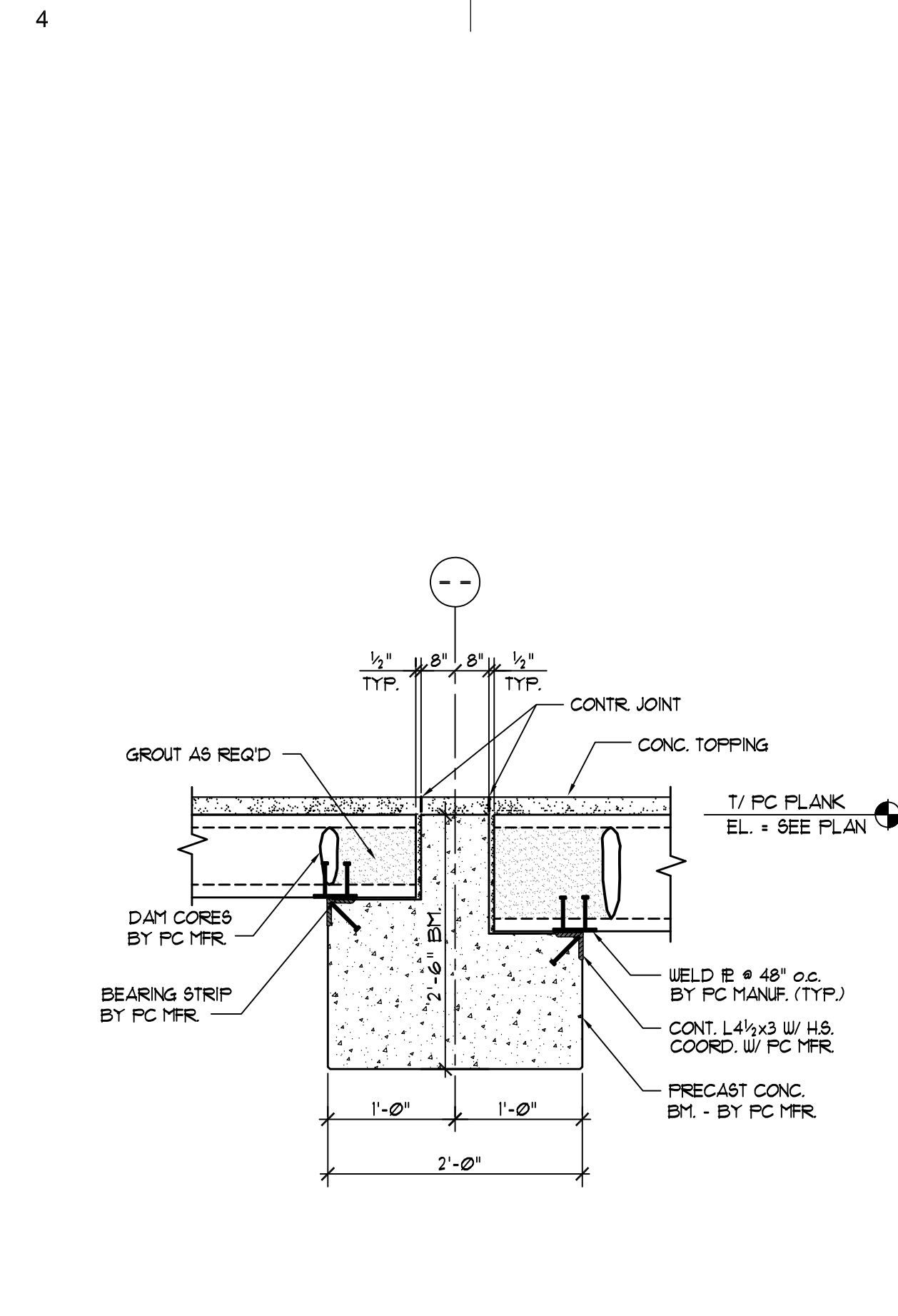
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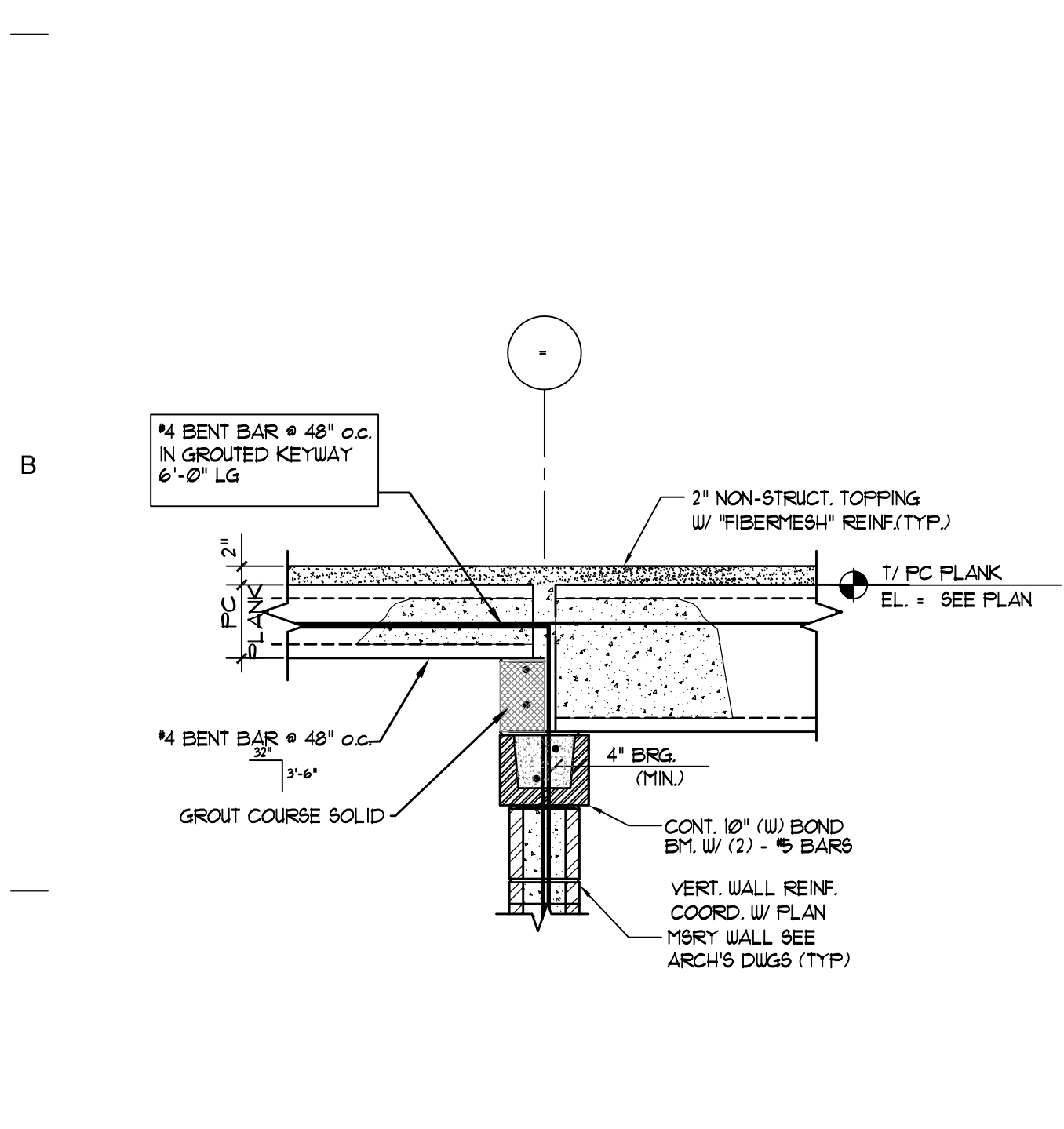
1 PC PLANK BRG. ON PC BEAM
3/4"-1'-0"



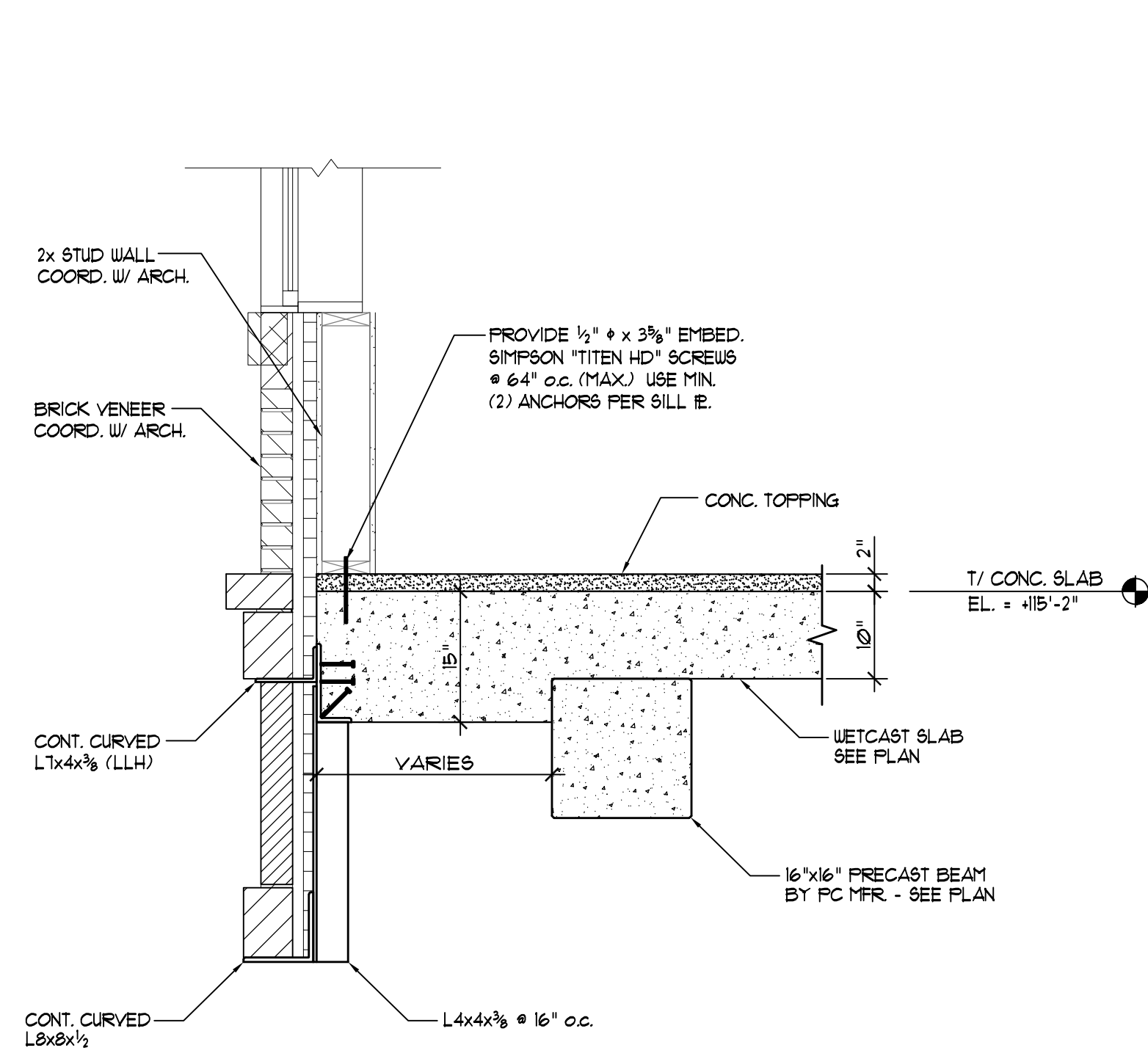
1A PC PLANK BRG. ON PC BEAM @ BALCONY
3/4"-1'-0"



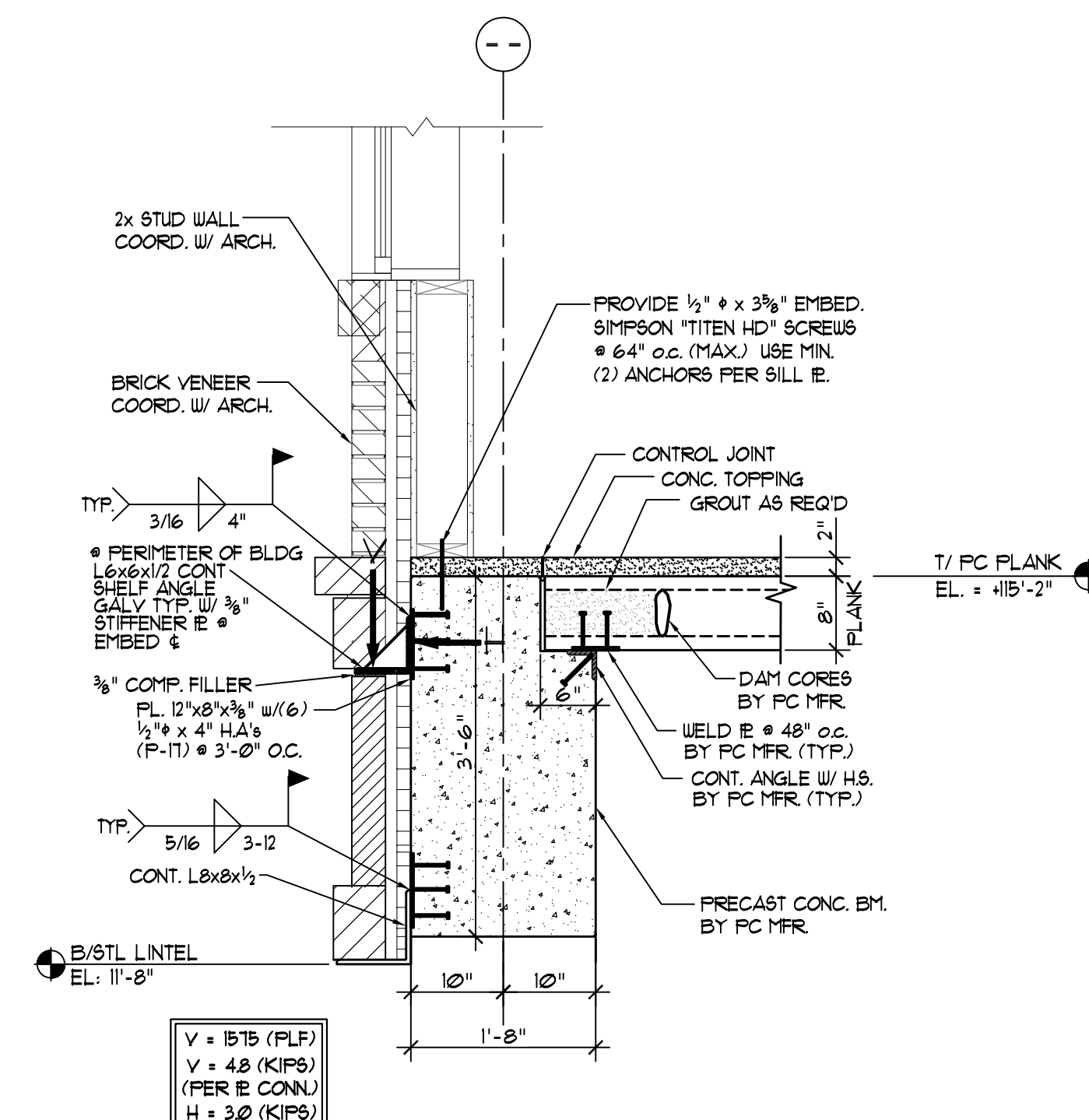
2 PC PLANK BRG ON IVERT-T BM
3/4"-1'-0"



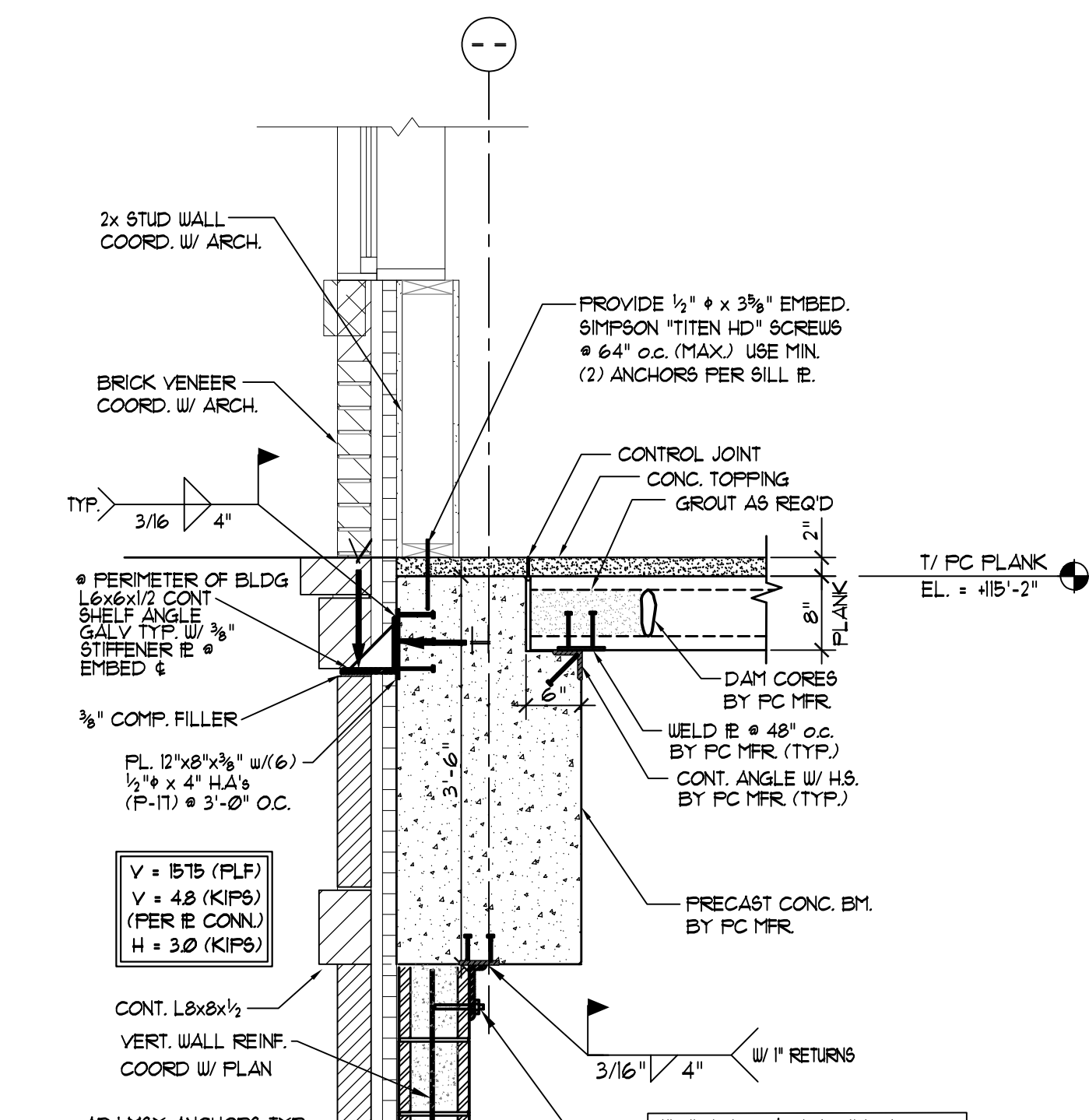
3 PRECAST PLANK BRG @ CMU WALL
3/4"-1'-0"



4 WETCAST SLAB BRG. ON PC BEAM
3/4"-1'-0"



5 PC PLANK BRG. ON PC BEAM
3/4"-1'-0"



6 PC PLANK BRG. @ ENTRY WALL
3/4"-1'-0"

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 t 312-563-9100 f 312-563-1919
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PC PLANK AND
 MASONRY WALL
 SECT'S / DETAILS

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D

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B

A

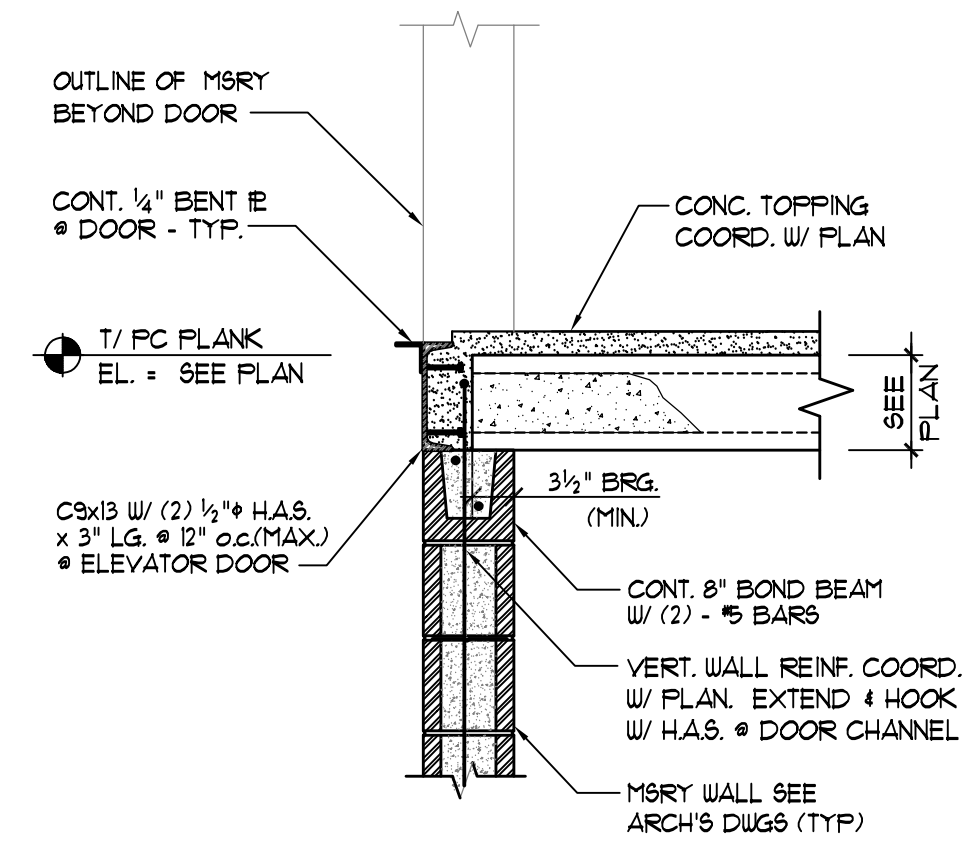
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2

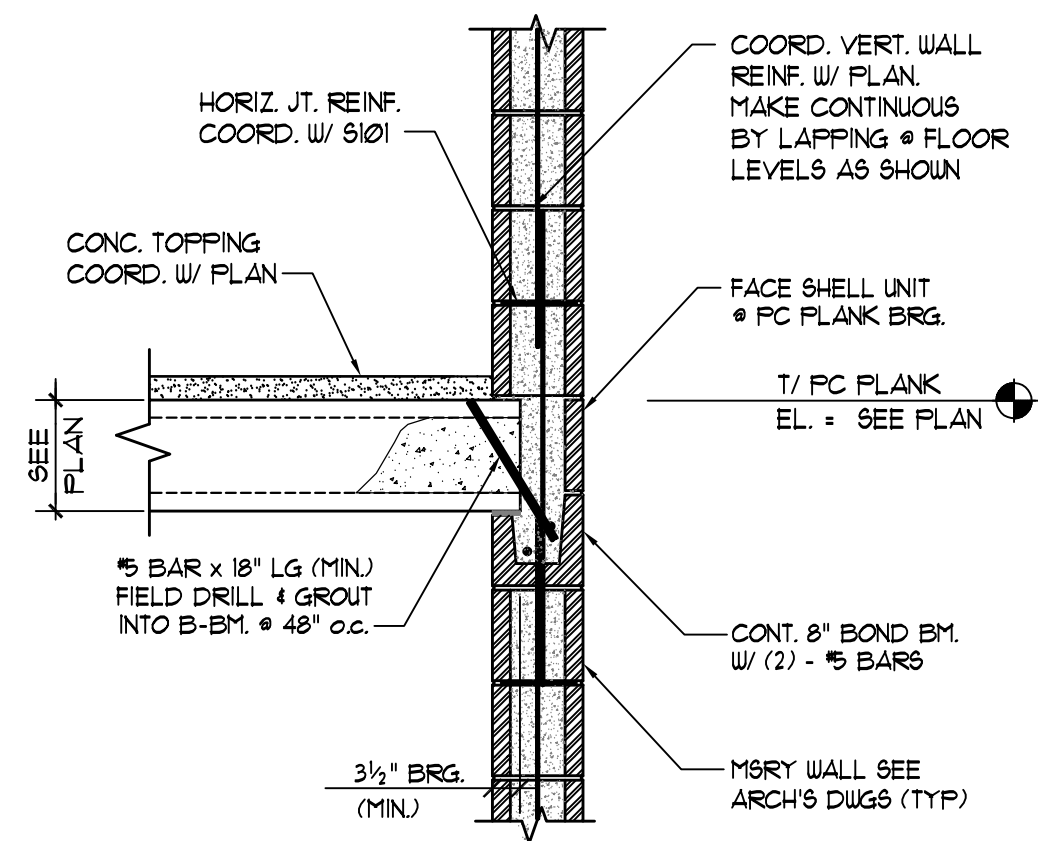
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4

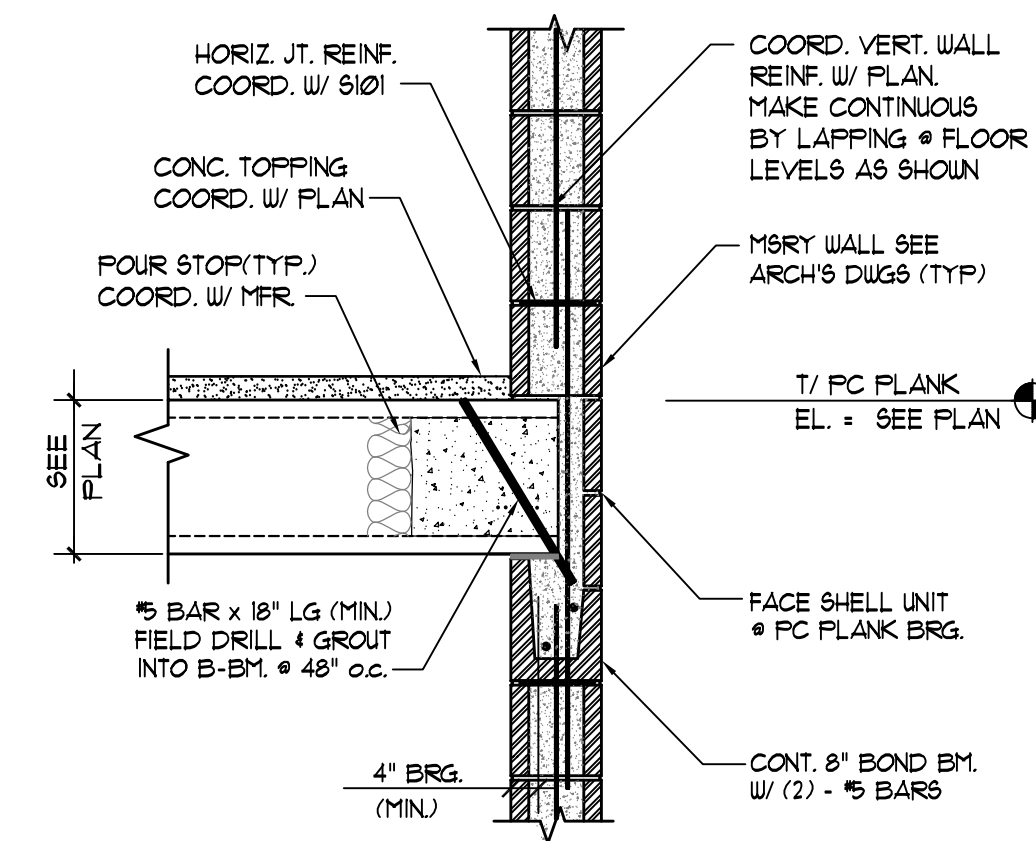
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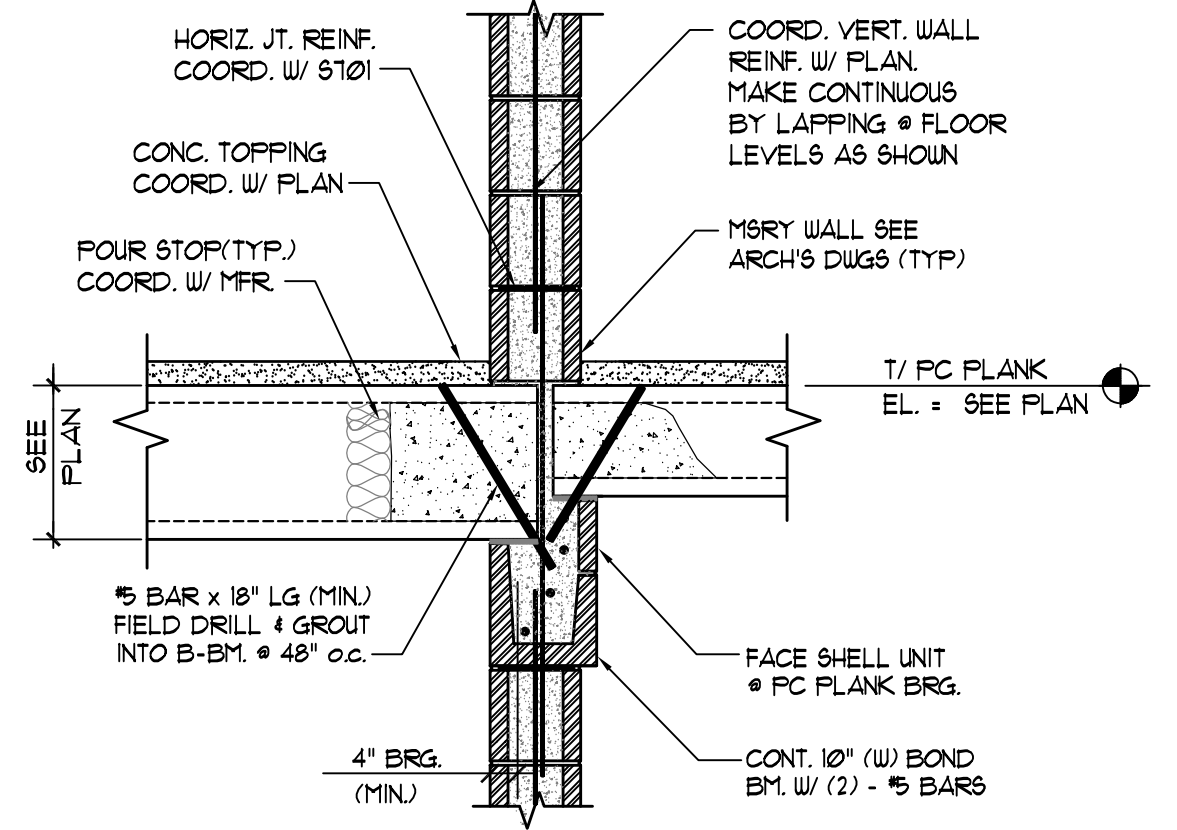
1 PC BEARING @ ELEV. DOOR
1/2"-1'-0"



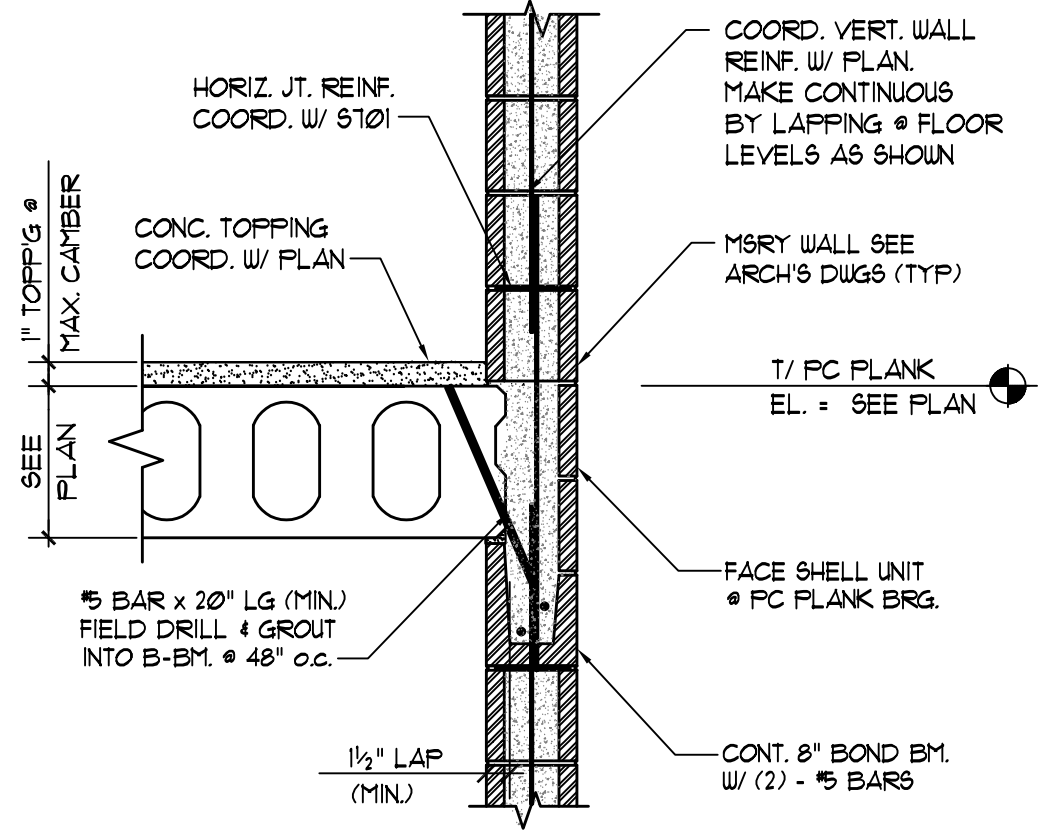
2 8" PC BRG. ON INTER'R MSRY. WALL
3/4"-1'-0"



3 12" PC BRG. ON INTER'R MSRY. WALL
3/4"-1'-0"



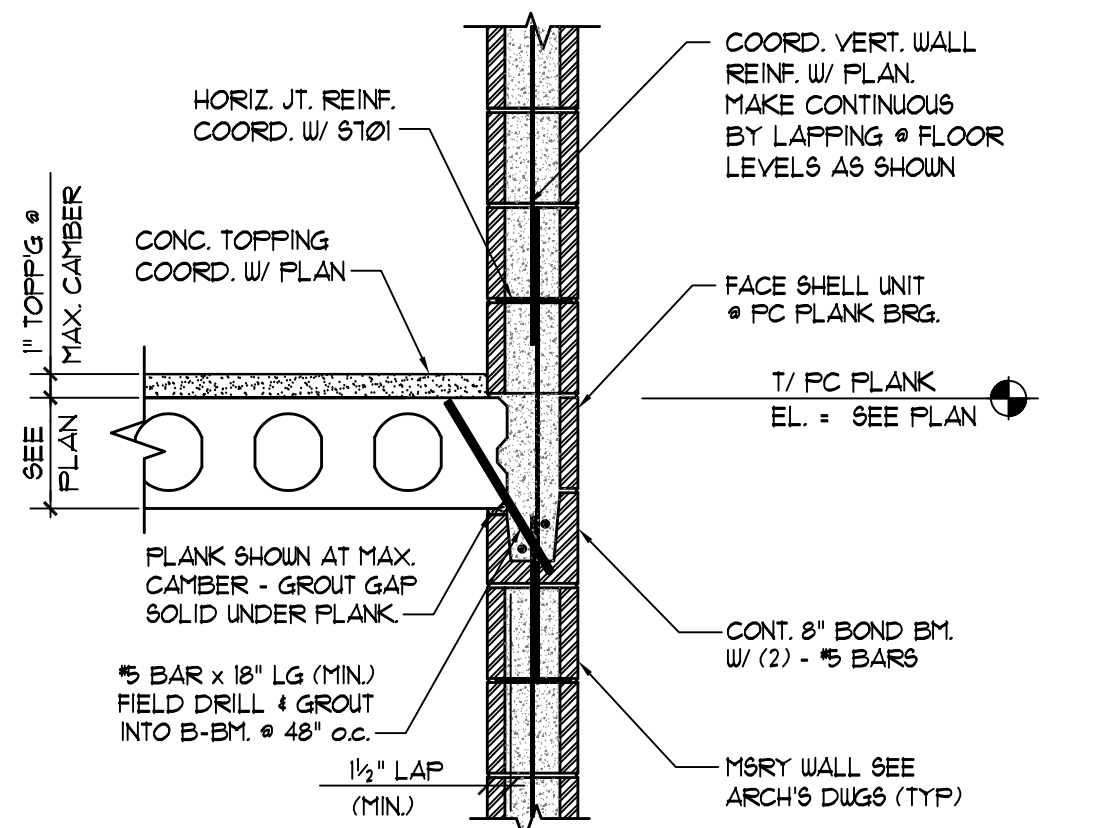
4 DBL' PC BRG. @ INTER'R MSRY. WALL
3/4"-1'-0"



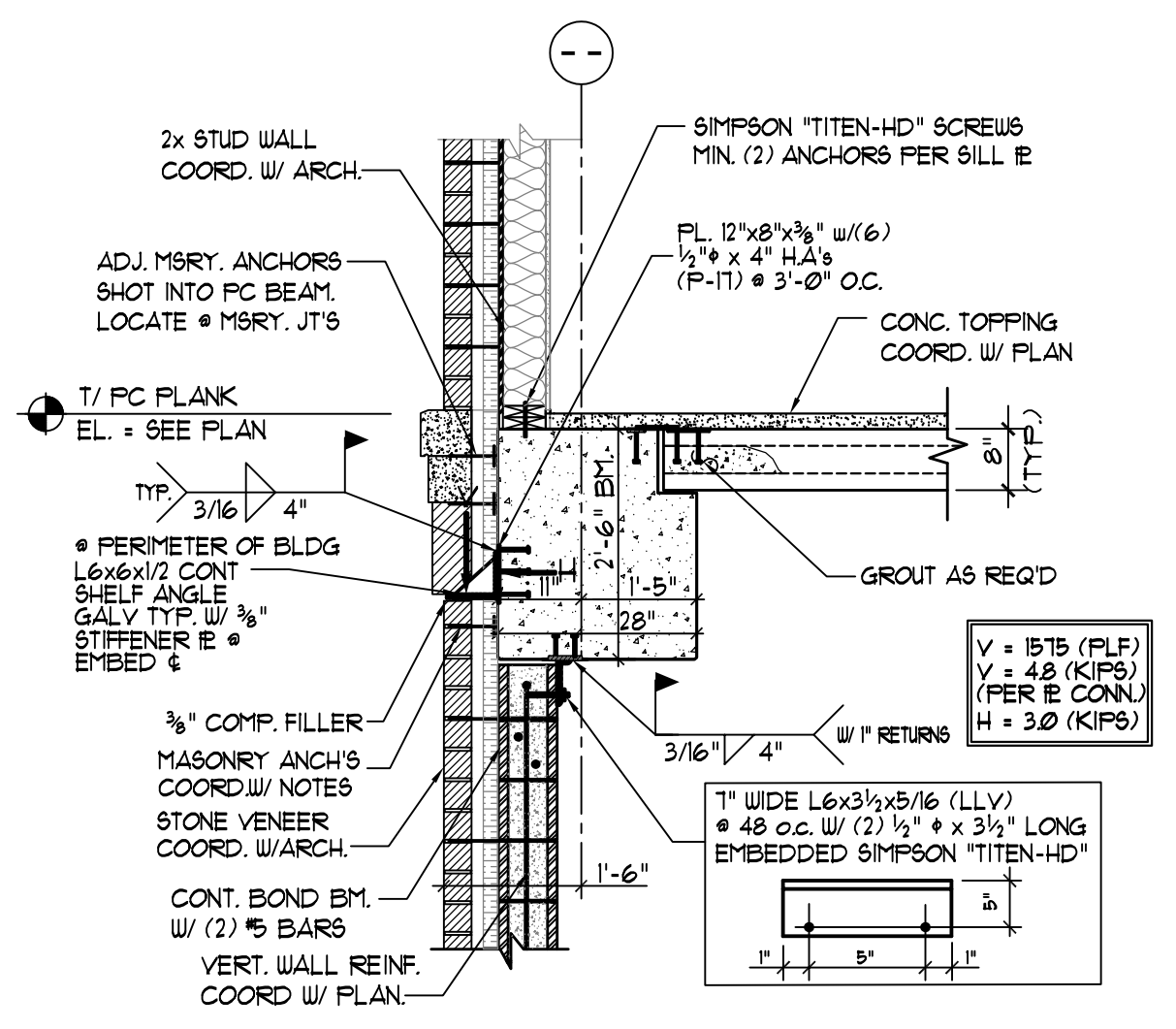
5 12" PC PLANK // TO STAIR MSRY. WALL
3/4"-1'-0"

NOT USED

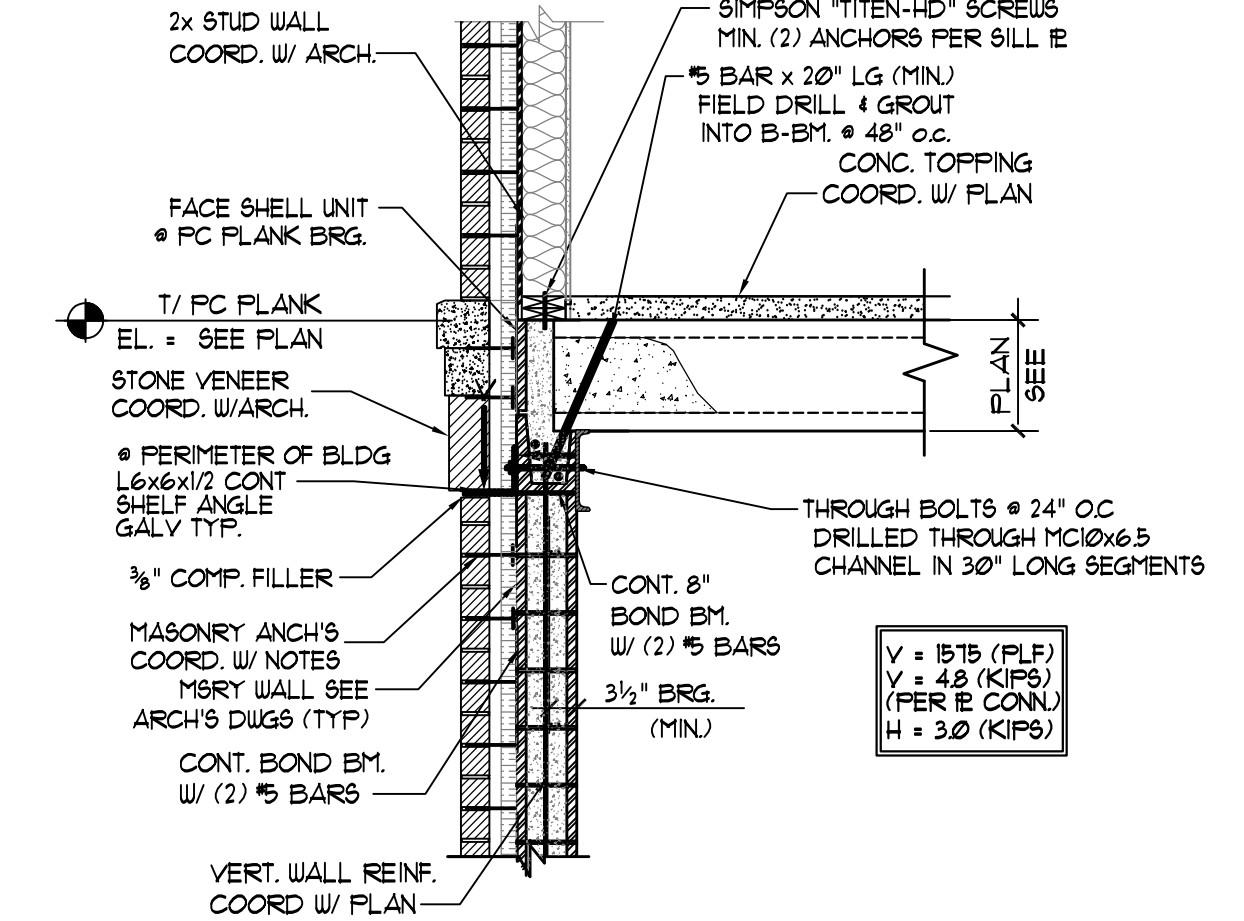
6 DETAIL
3/4"-1'-0"



7 PC DOWELS @ CMU WALL (TYP.)
3/4"-1'-0"



8 8" PC BRG. ON EXTER'R BM.
3/4"-1'-0"



9 PRECAST BRG AT EXTERIOR WALL
3/4"-1'-0"

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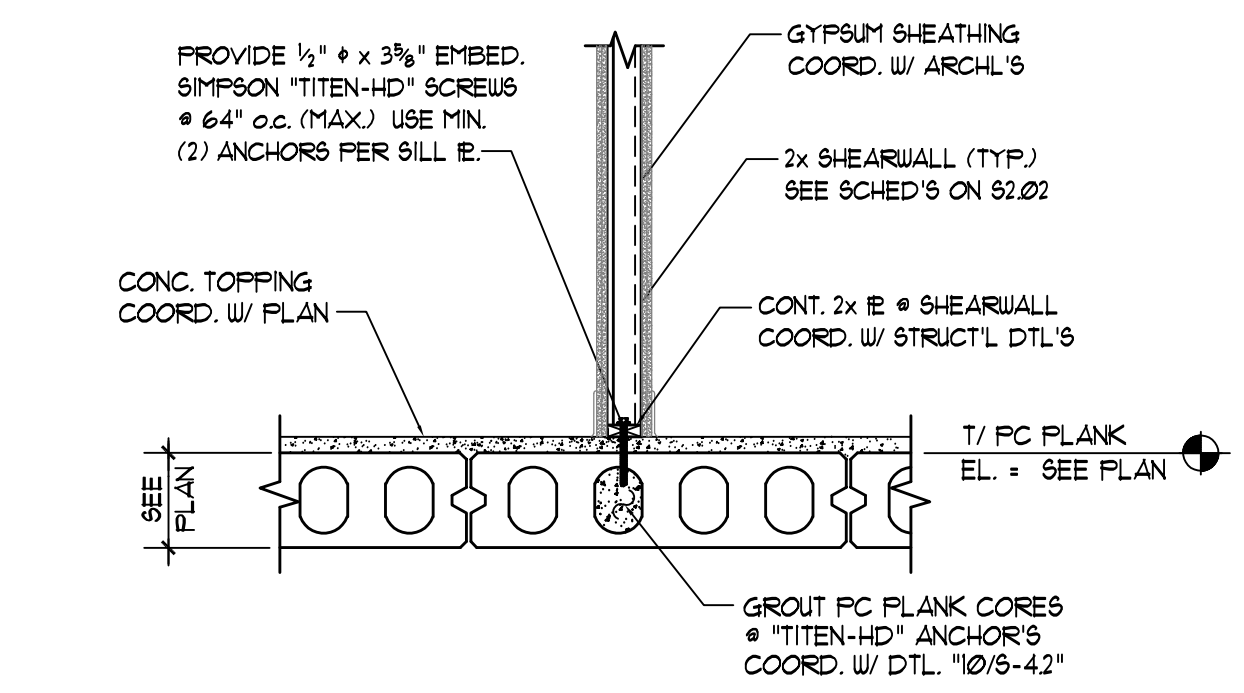
PC PLANK AND
 MASONRY WALL
 SECTS / DETAILS

S4-02

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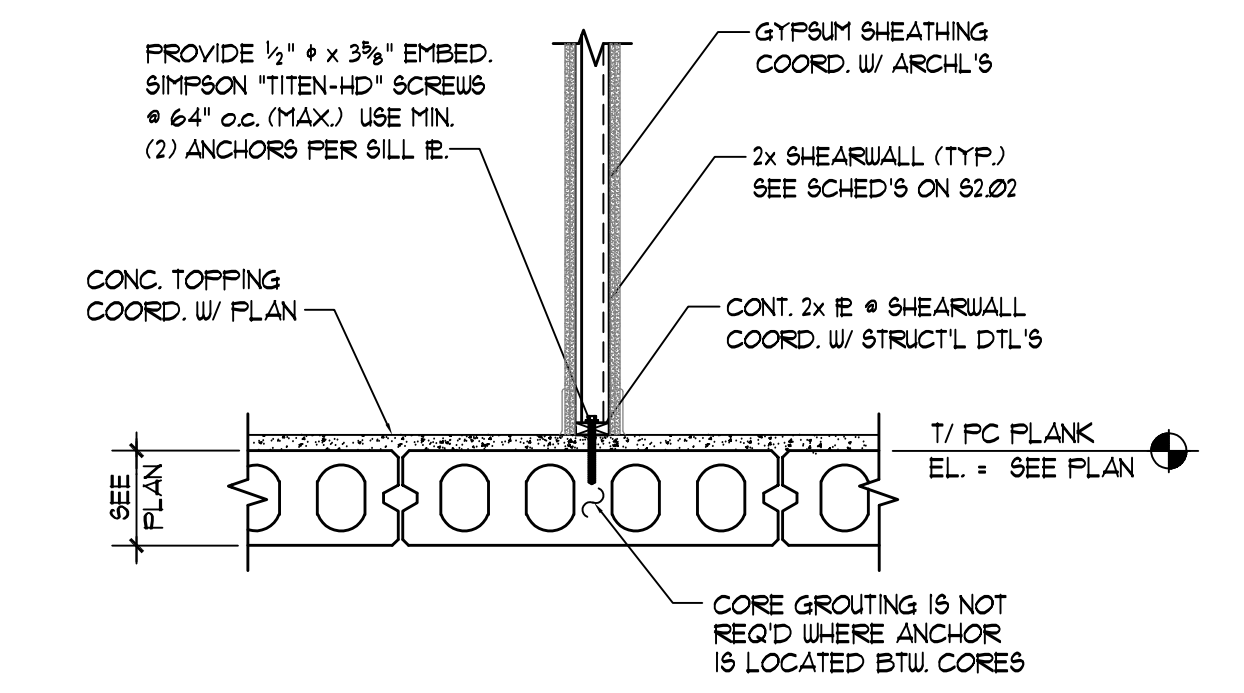
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1



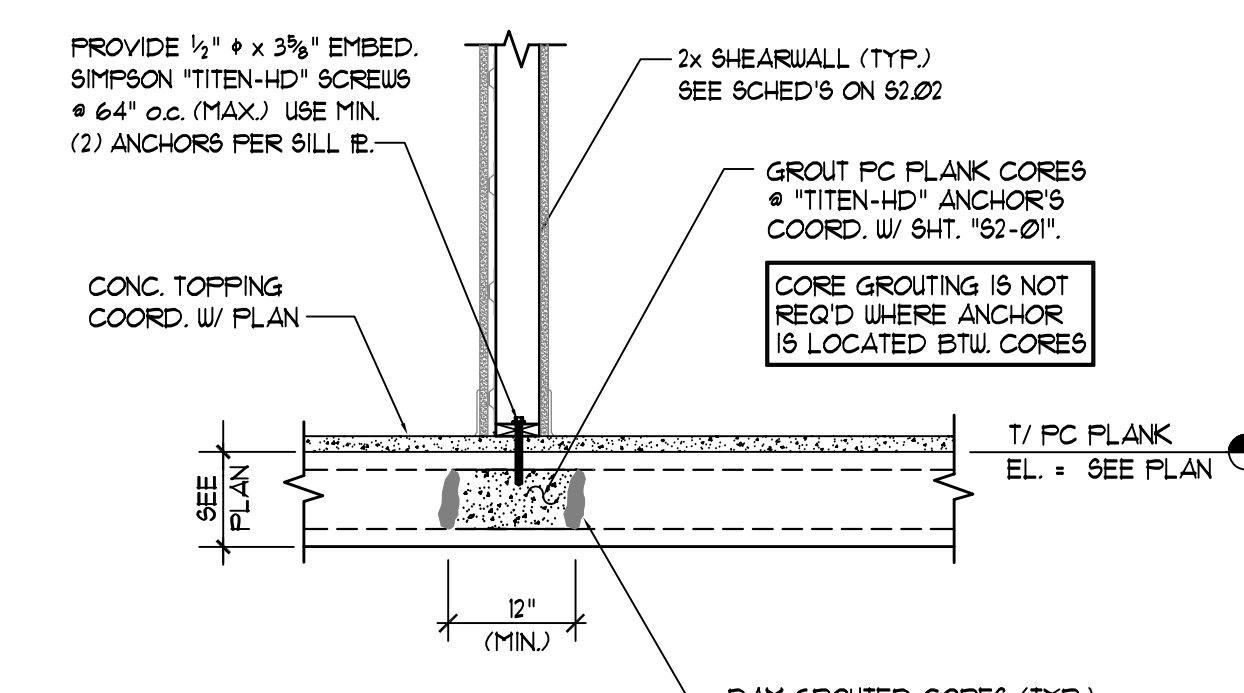
1 WALL ABOVE CORE SHEARWALL // TO PC PLANK
1/2'-0"

3



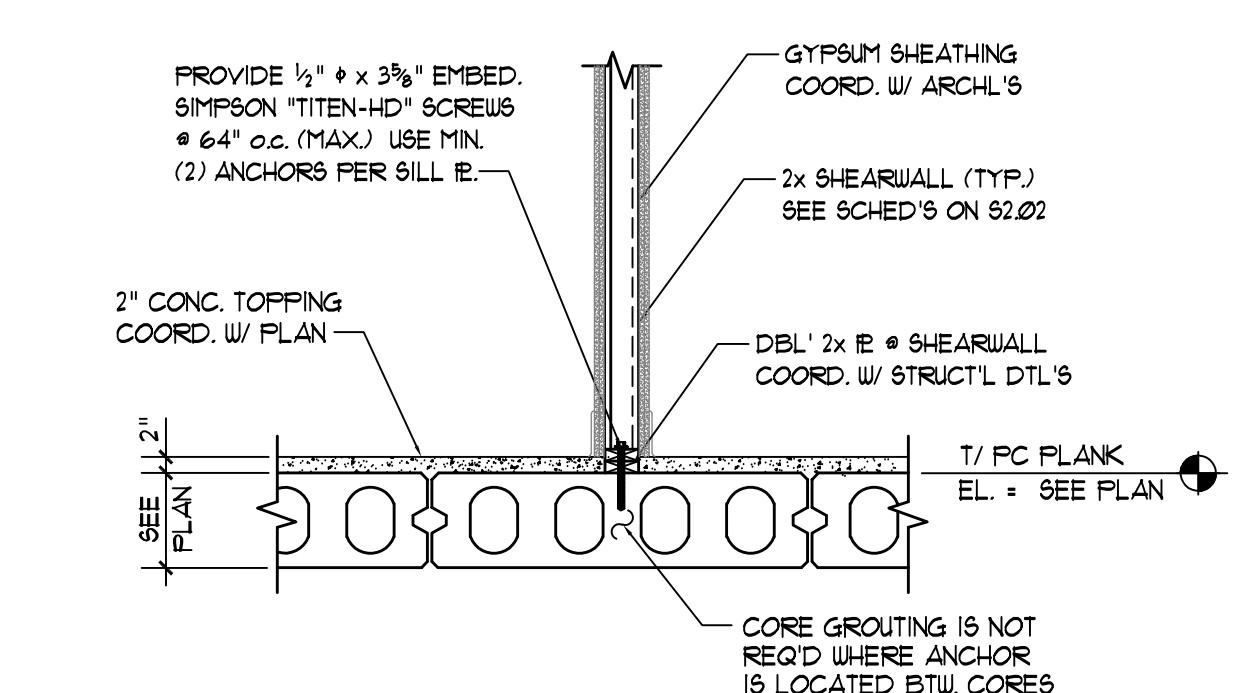
3 WALL ABOVE SOLID SLAB SHEARWALL // TO PC PLANK
1/2'-0"

4



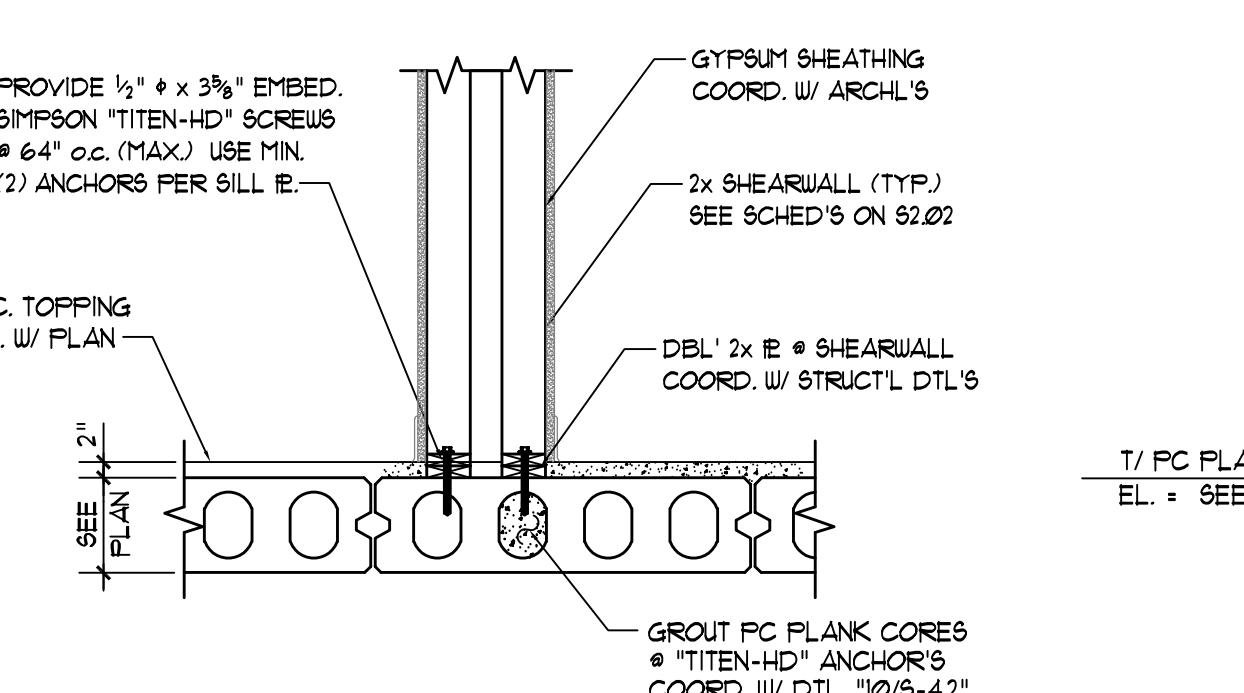
4 SHEARWALL PERP. TO PC PLANK
1/2'-0"

2



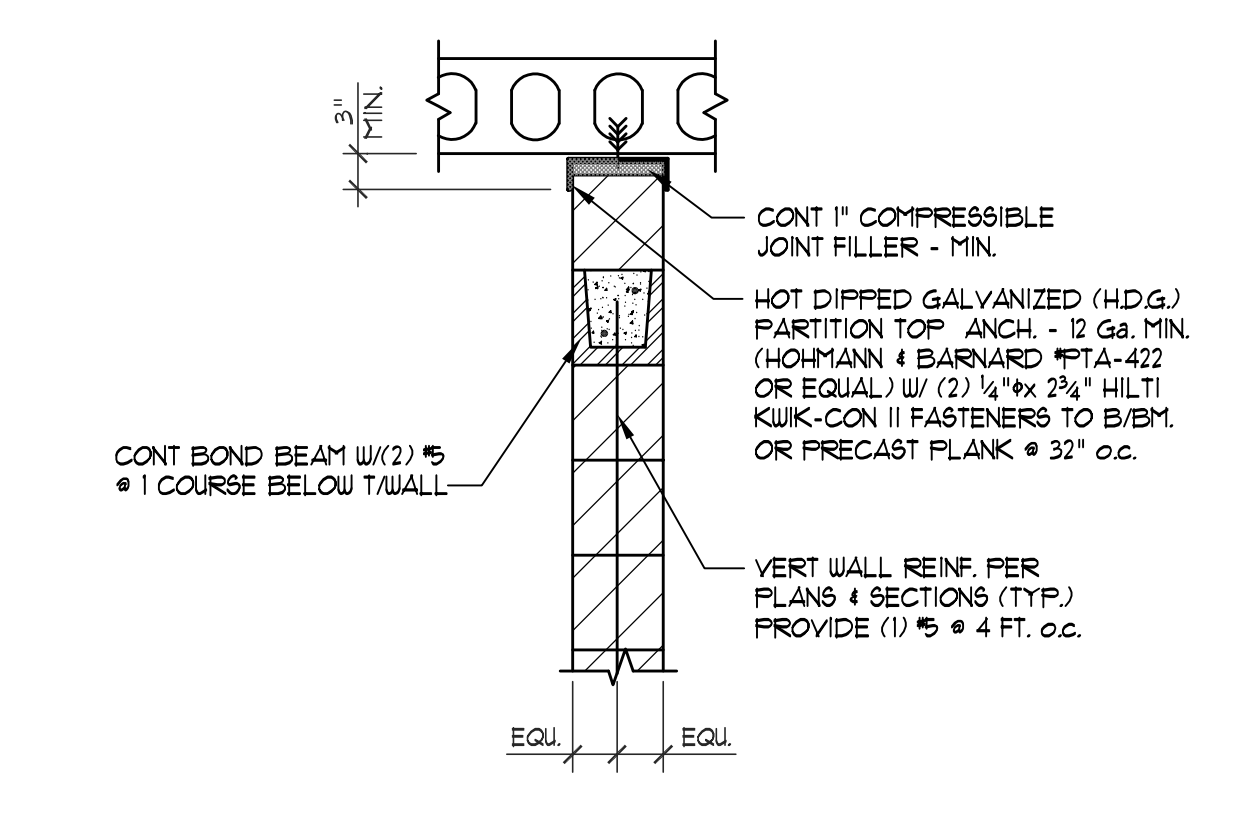
2 WALL ABOVE SOLID SLAB SHEARWALL // TO PC PLANK
1/2'-0"

5



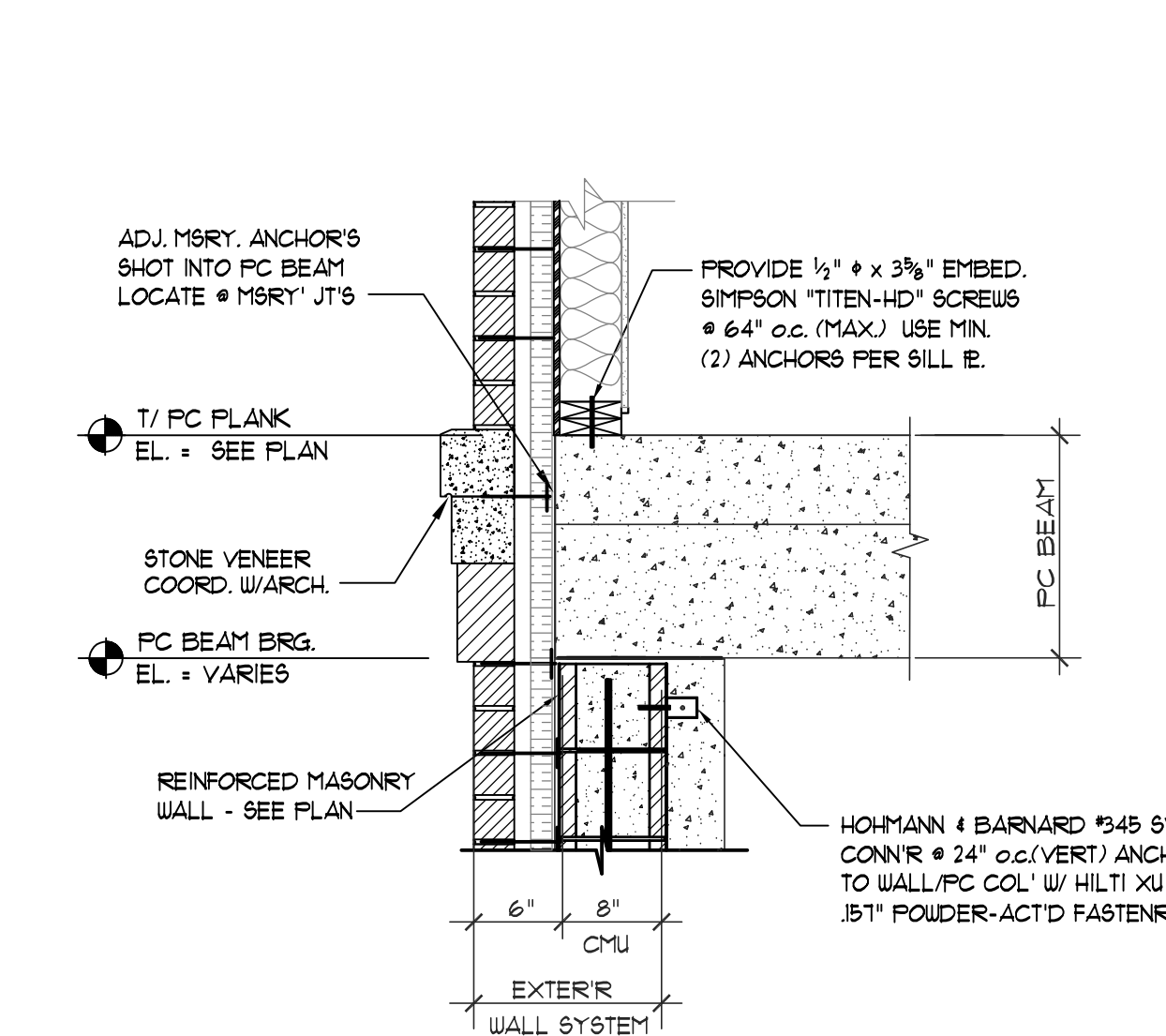
5 WALL ABOVE CORE SHEARWALL // TO PC PLANK
1/2'-0"

6



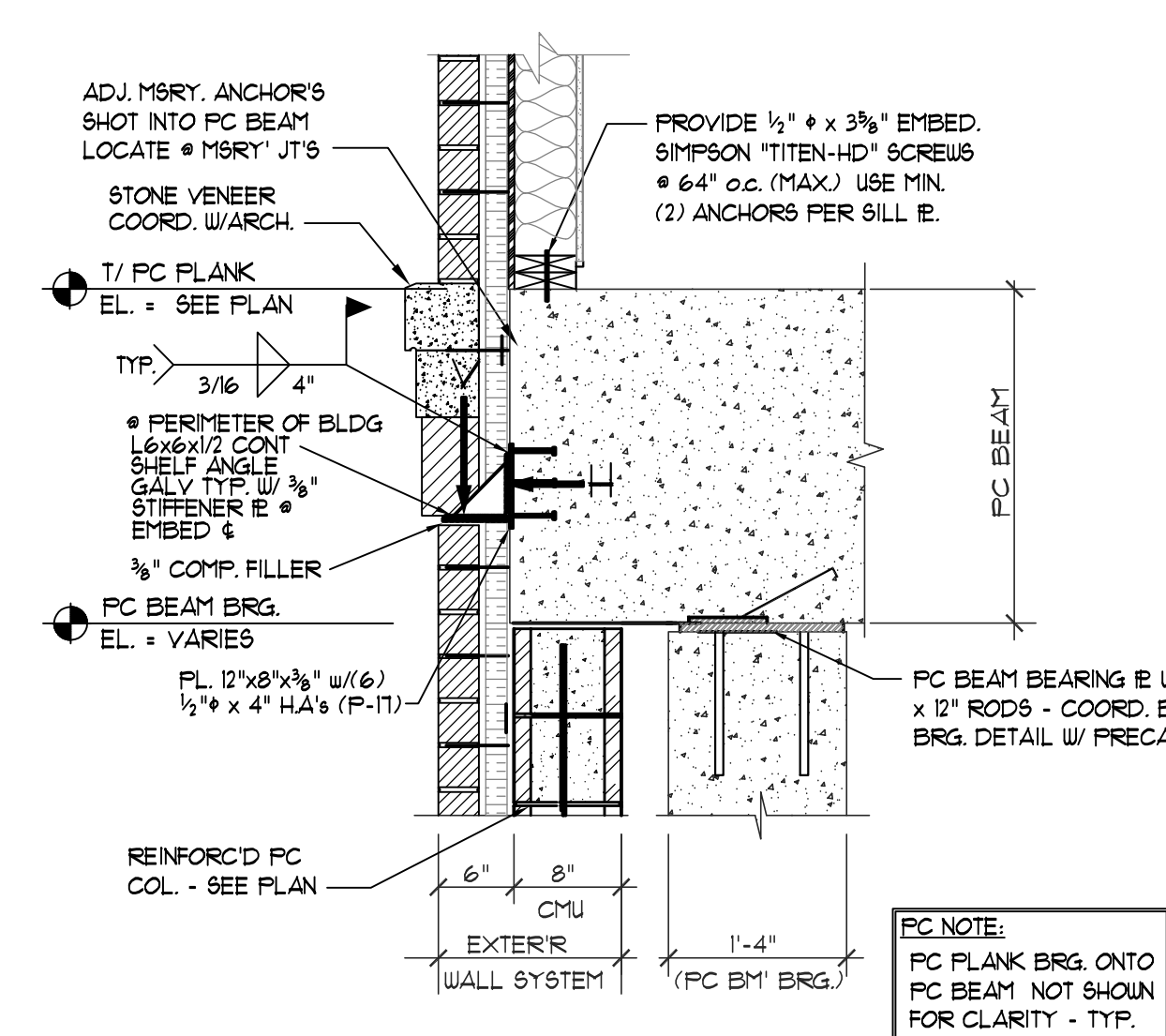
6 T/INTERIOR MSRY. PARTITION WALL @ B/PRECAST PLANK
3/4'-0"

3



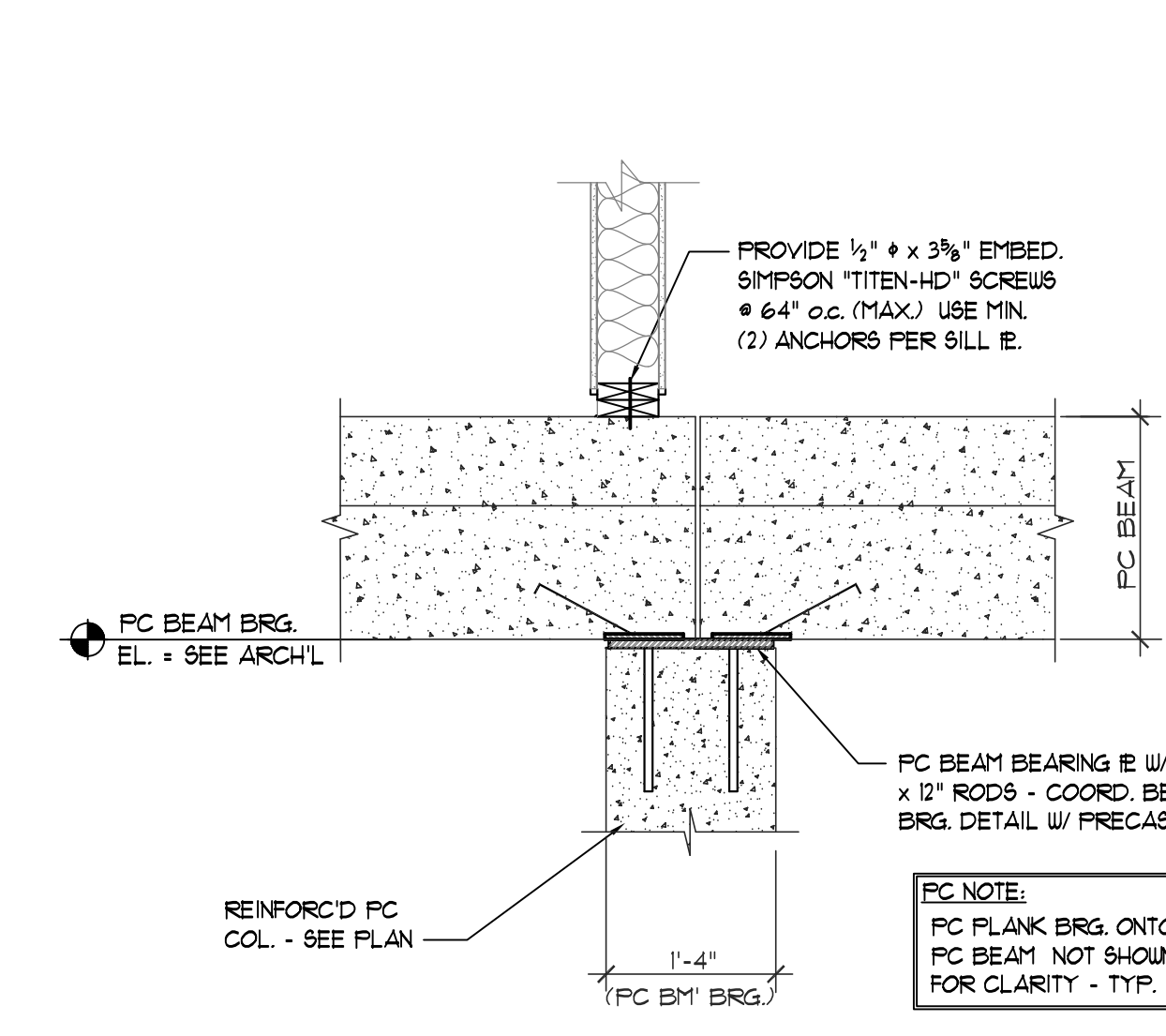
7 EXTER'R WALL BRACING @ PC COL'N
3/4'-0"

8



8 PC BM BEARING @ COL'N
3/4'-0"

9



9 DBL' PC BM BEARING @ COL'N
3/4'-0"

1

2

3

4

5

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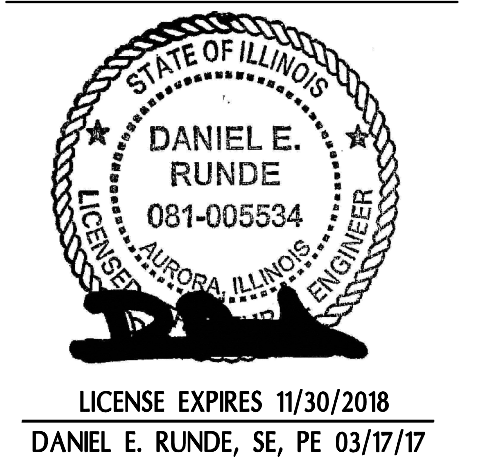
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PC PLANK AND
 COLUMN BRG
 SECT'S / DTL'S

S4-03

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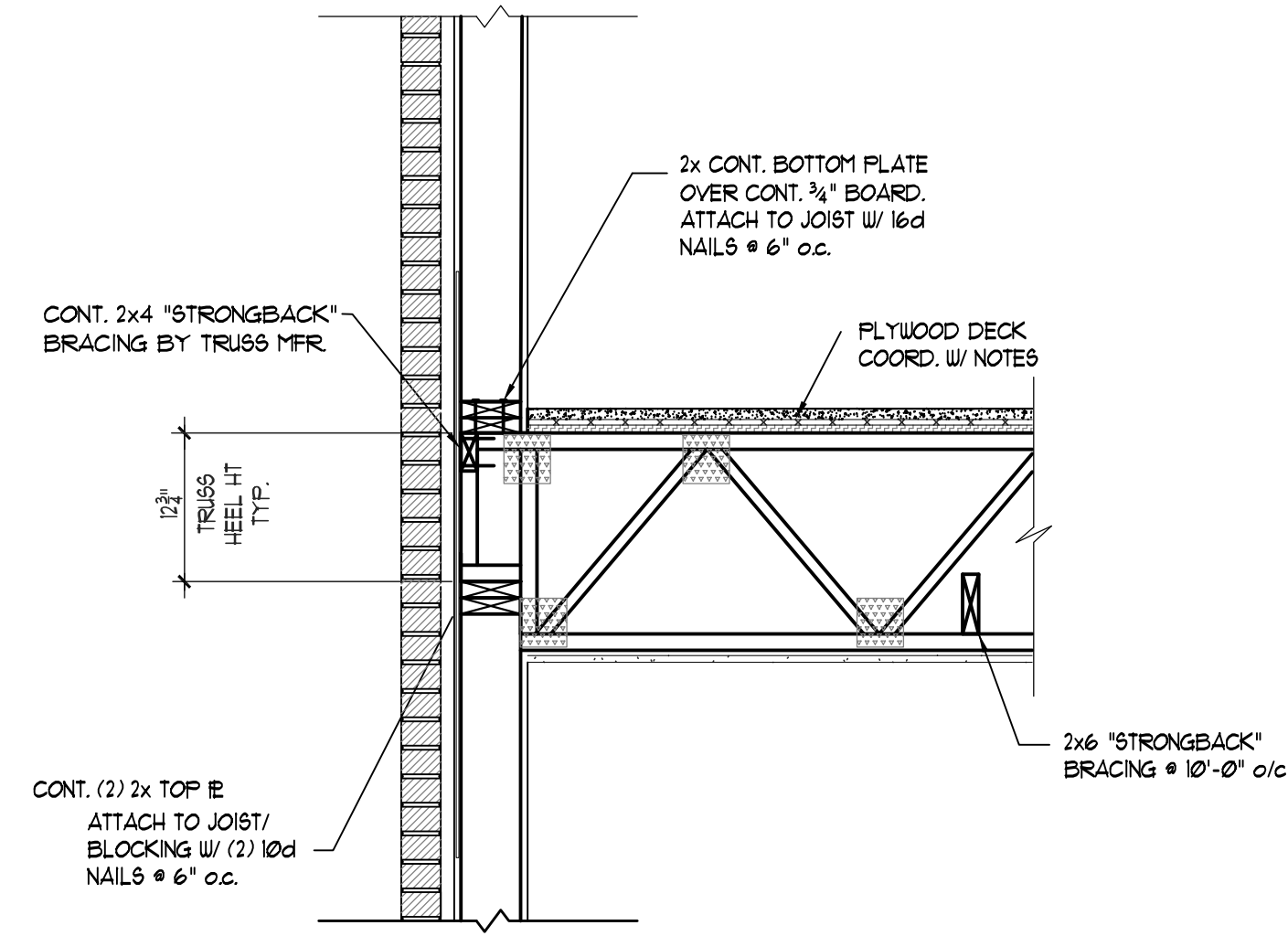
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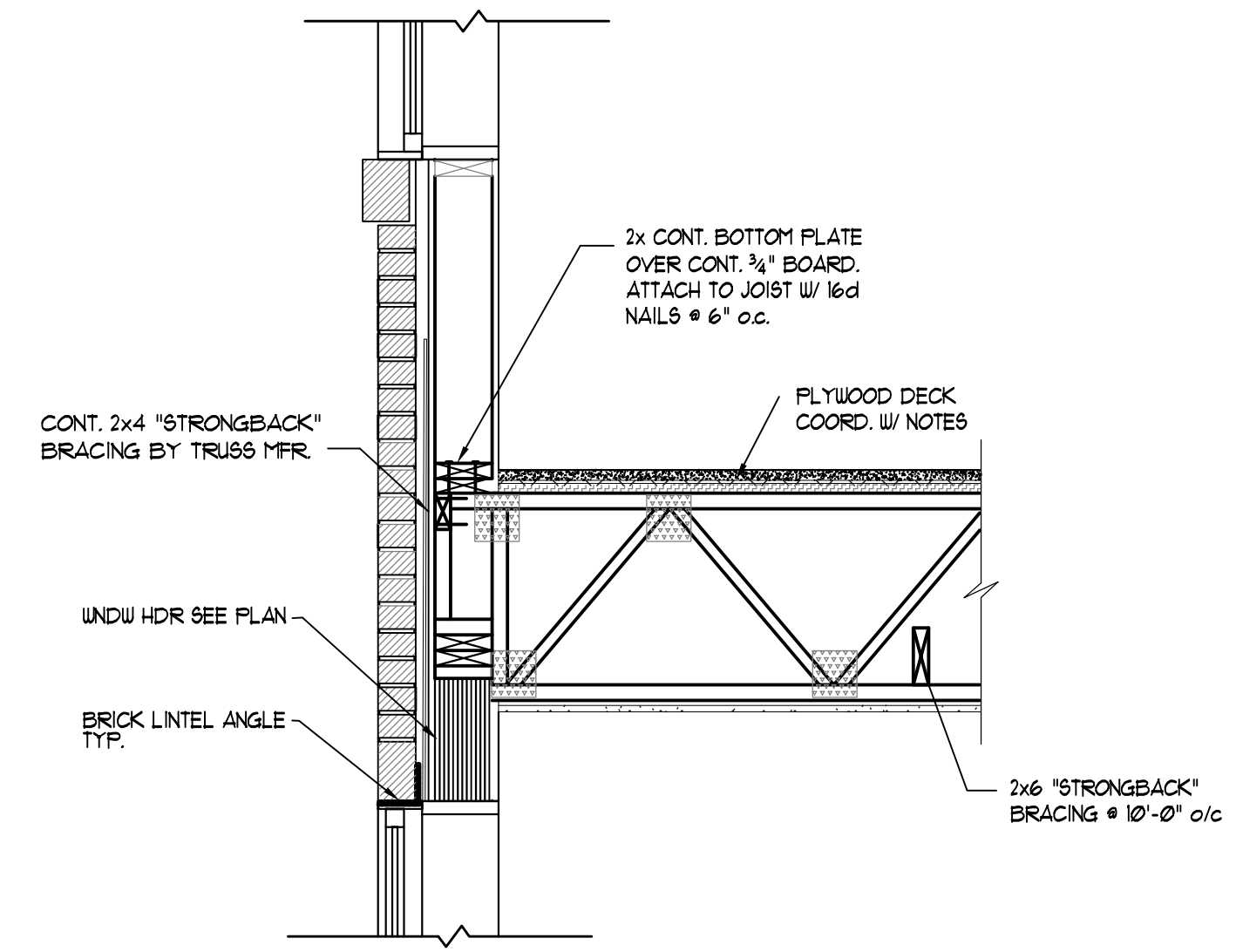
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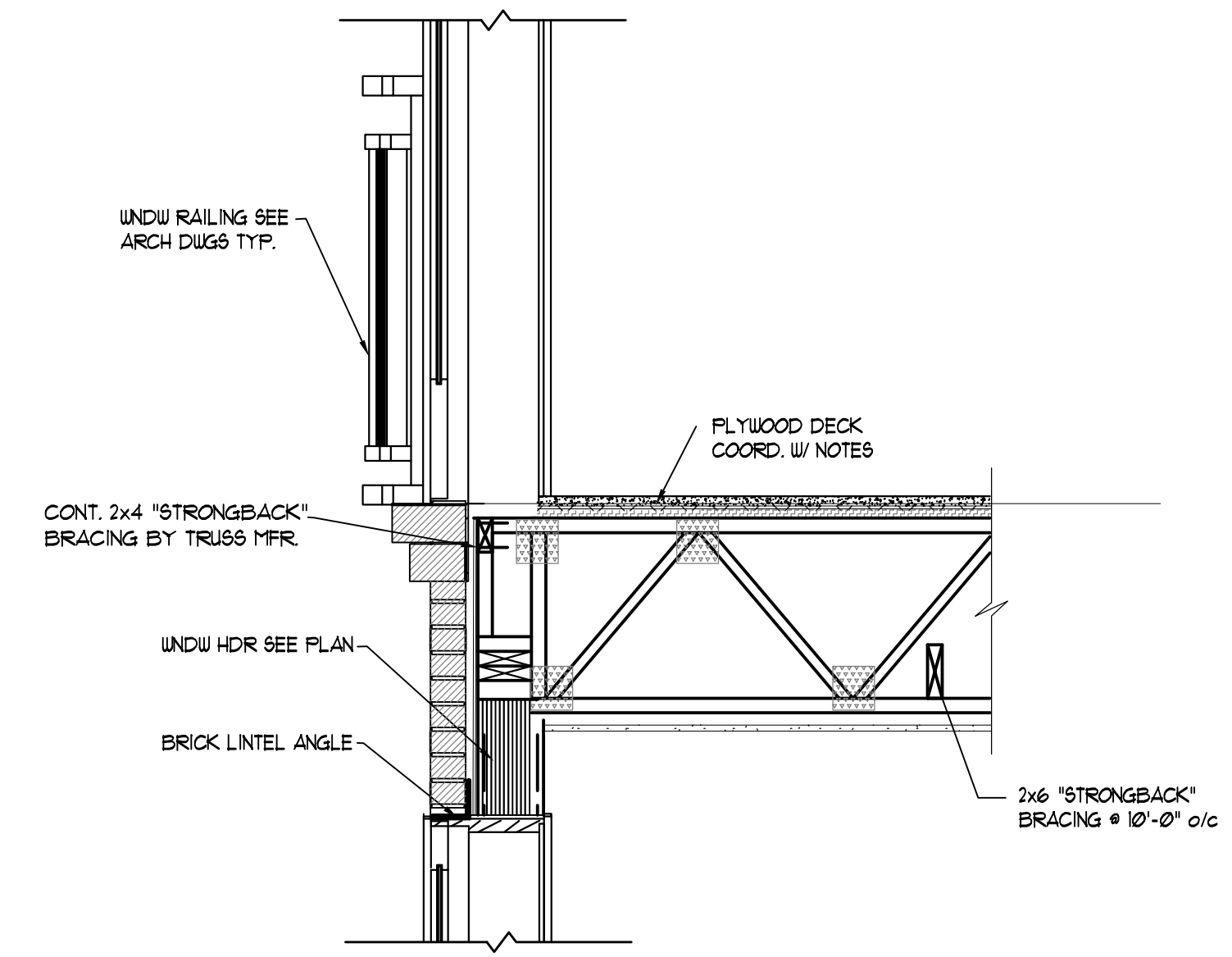
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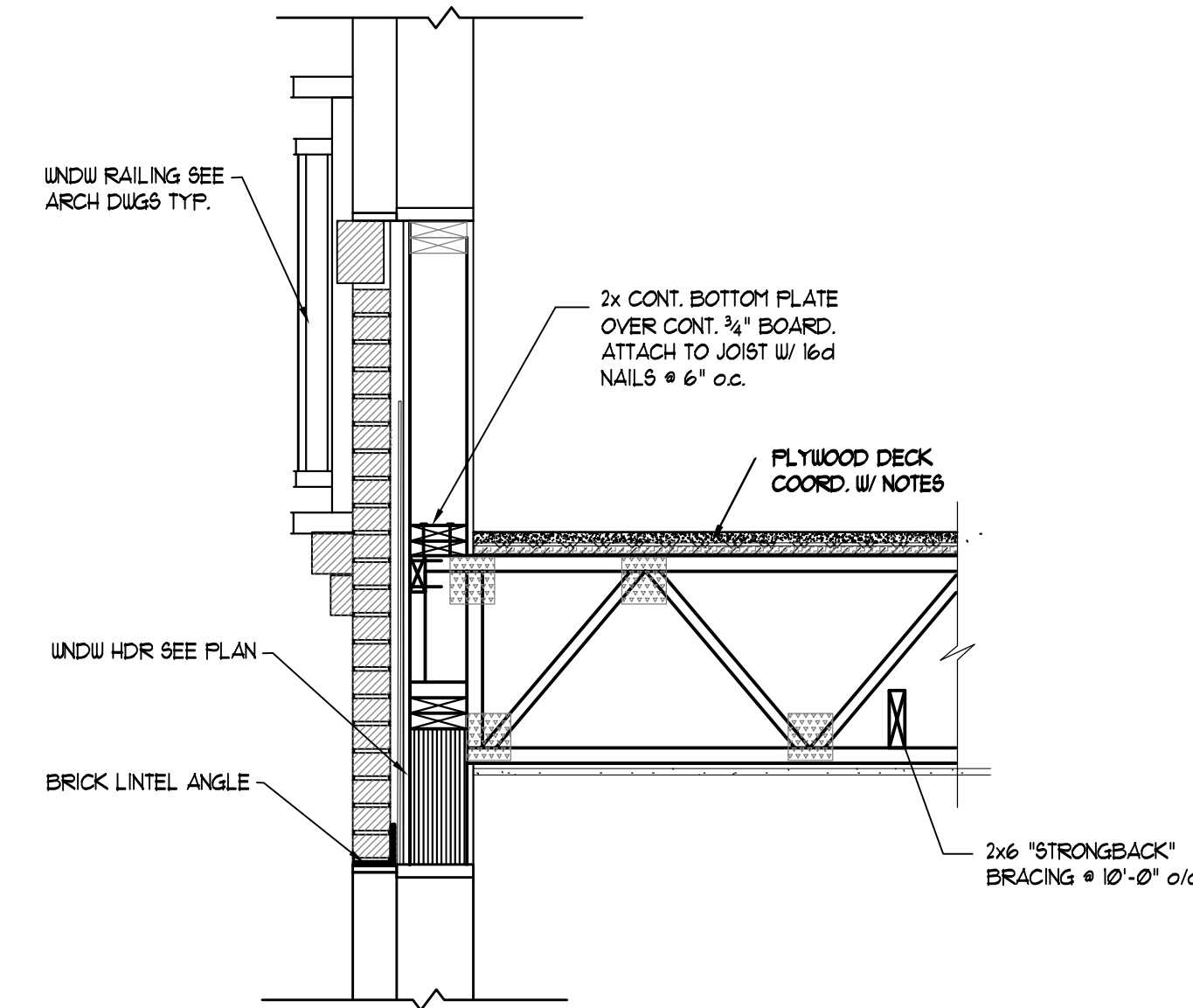
1 TRUSS BRG @ EXTERIOR WALLS
3/4" = 1'-0"



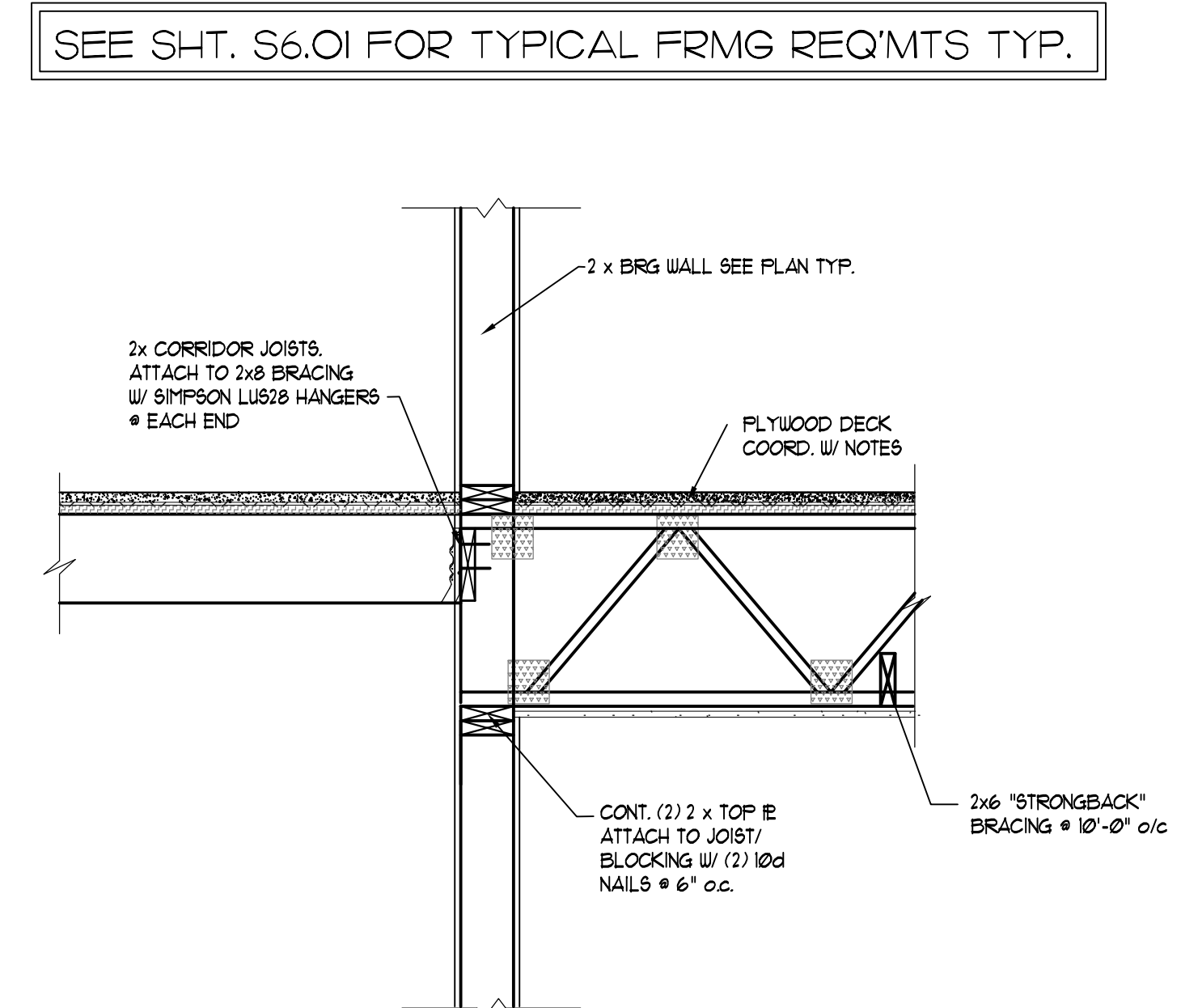
2 SECTION AT WNDW
3/4" = 1'-0"



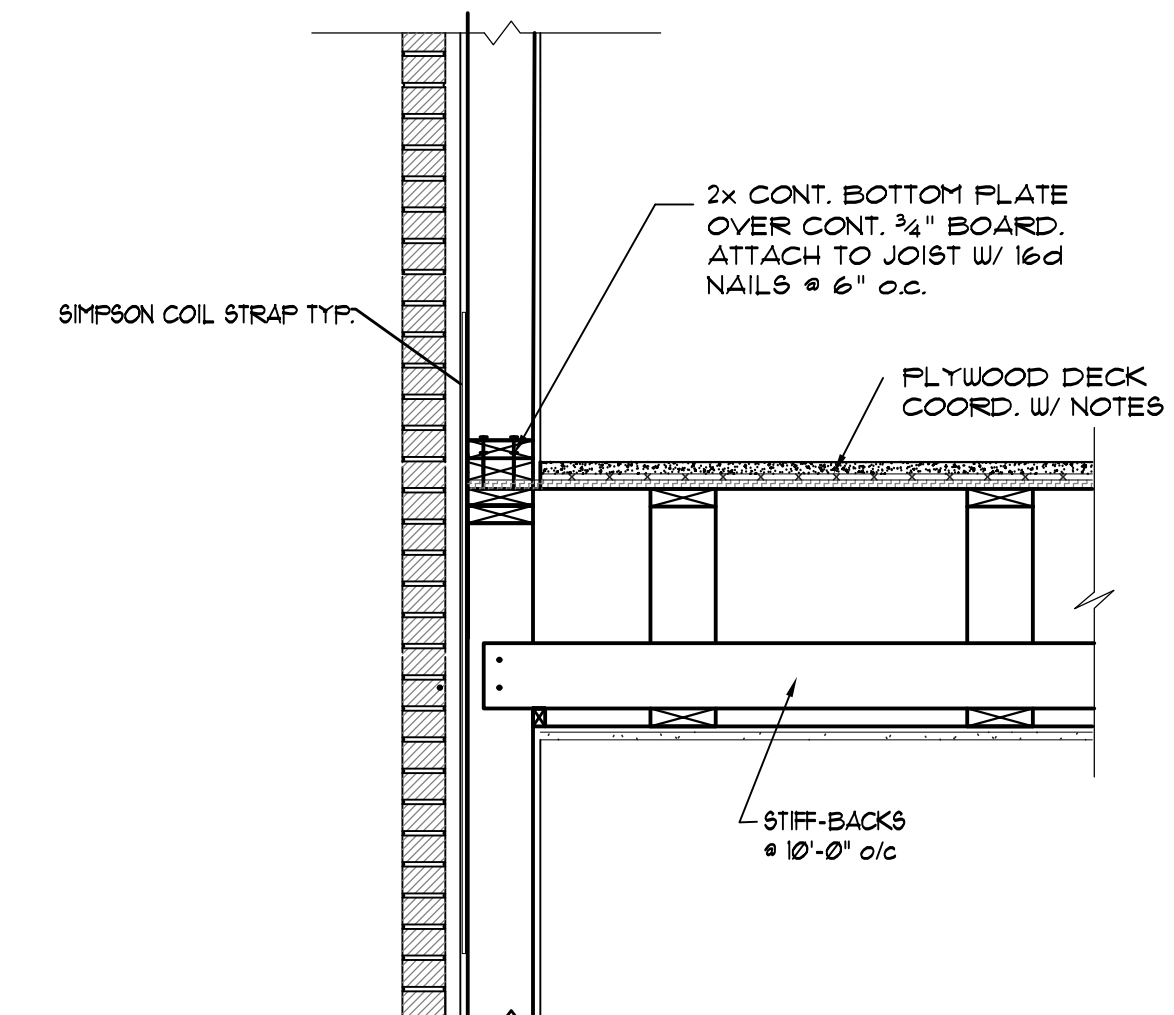
3 SECTION AT WNDW/DR RAILING
3/4" = 1'-0"



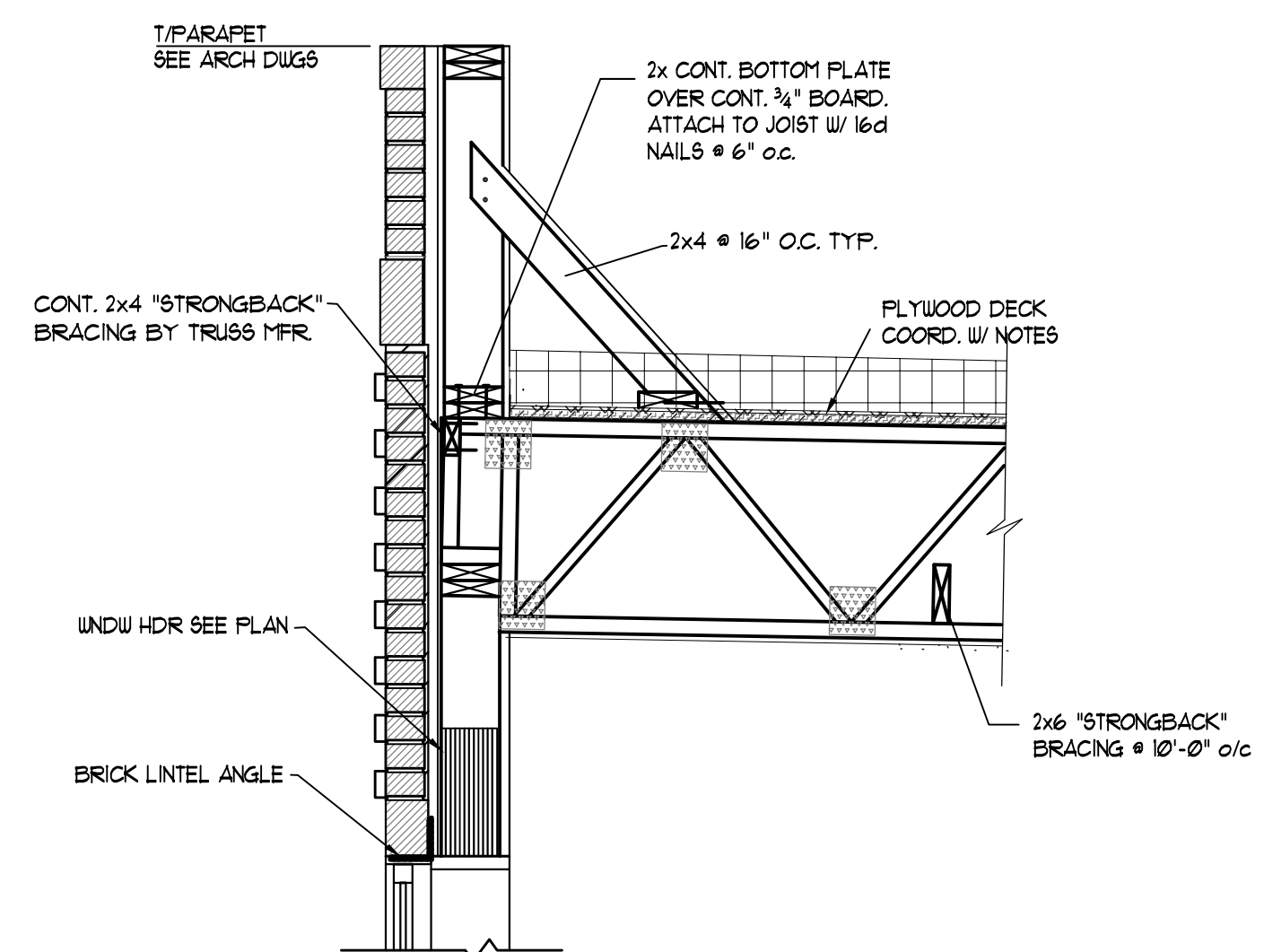
4 SECTION AT WNDW RAILING
3/4" = 1'-0"



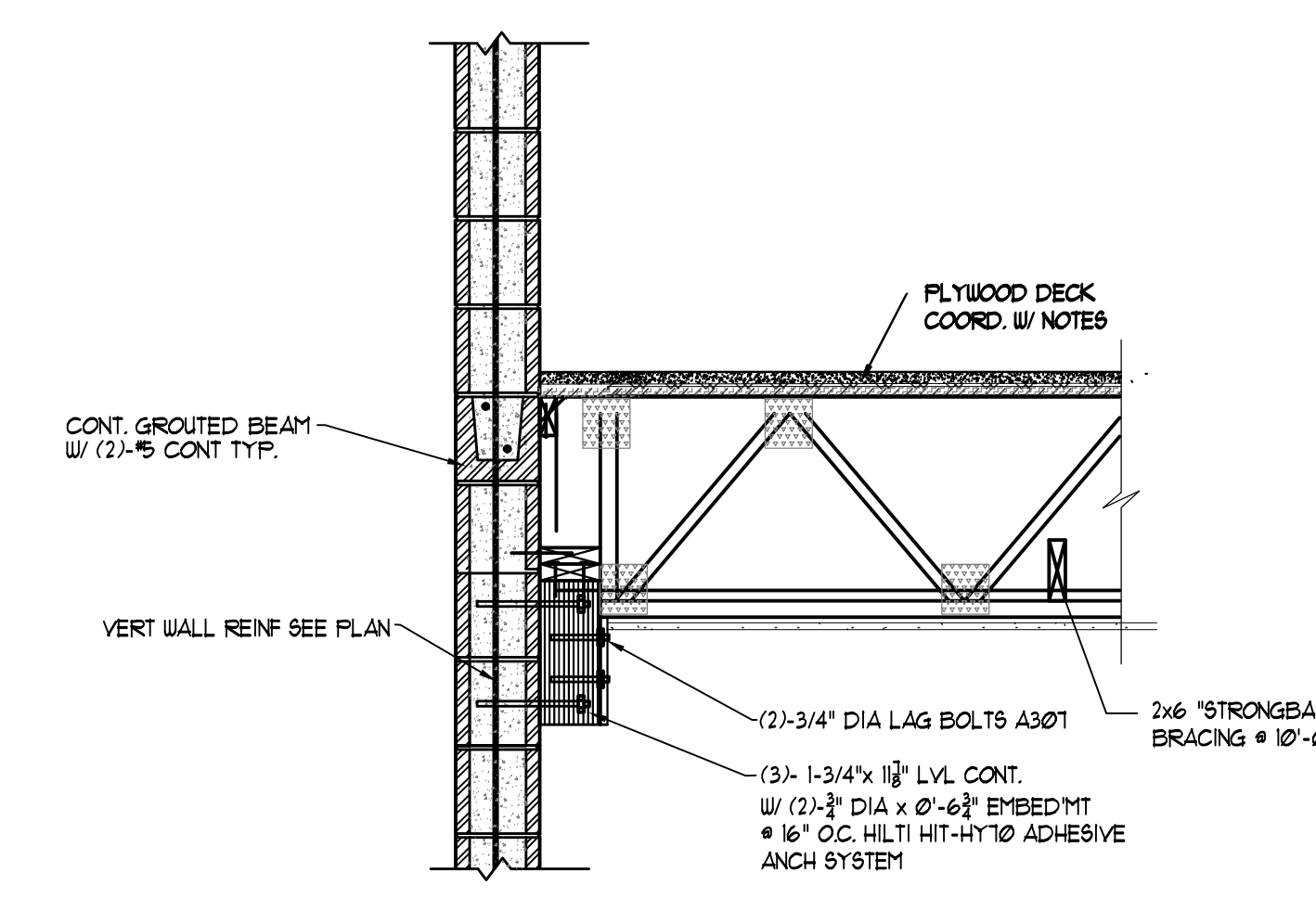
5 SECTION AT INTERIOR BRG WALL
3/4" = 1'-0"



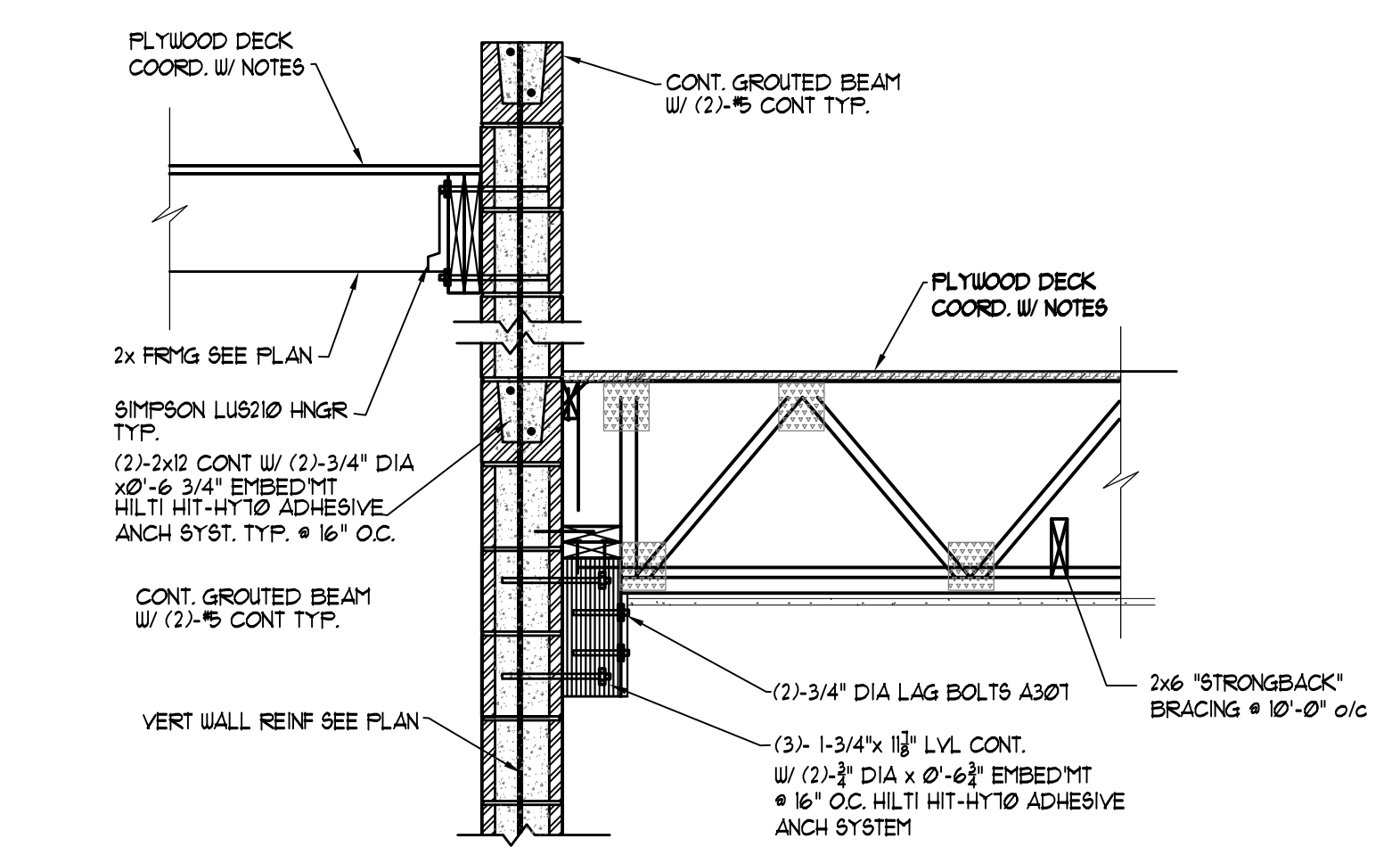
6 TRUSS // TO 2X WALLS
3/4" = 1'-0"



7 ROOF TRUSS BRG AT EXTERIOR WALL
3/4" = 1'-0"



8 FLR TRUSS BRG AT INTERIOR MSY WALL
3/4" = 1'-0"



9 FLR TRUSS AT INTERIOR MSY WALL
3/4" = 1'-0"

SEE SHT. S6.01 FOR TYPICAL FRMG REQ'MTS TYP.

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 f 312-563-1919
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TRUSS FRAMING SECT'S / DETAILS

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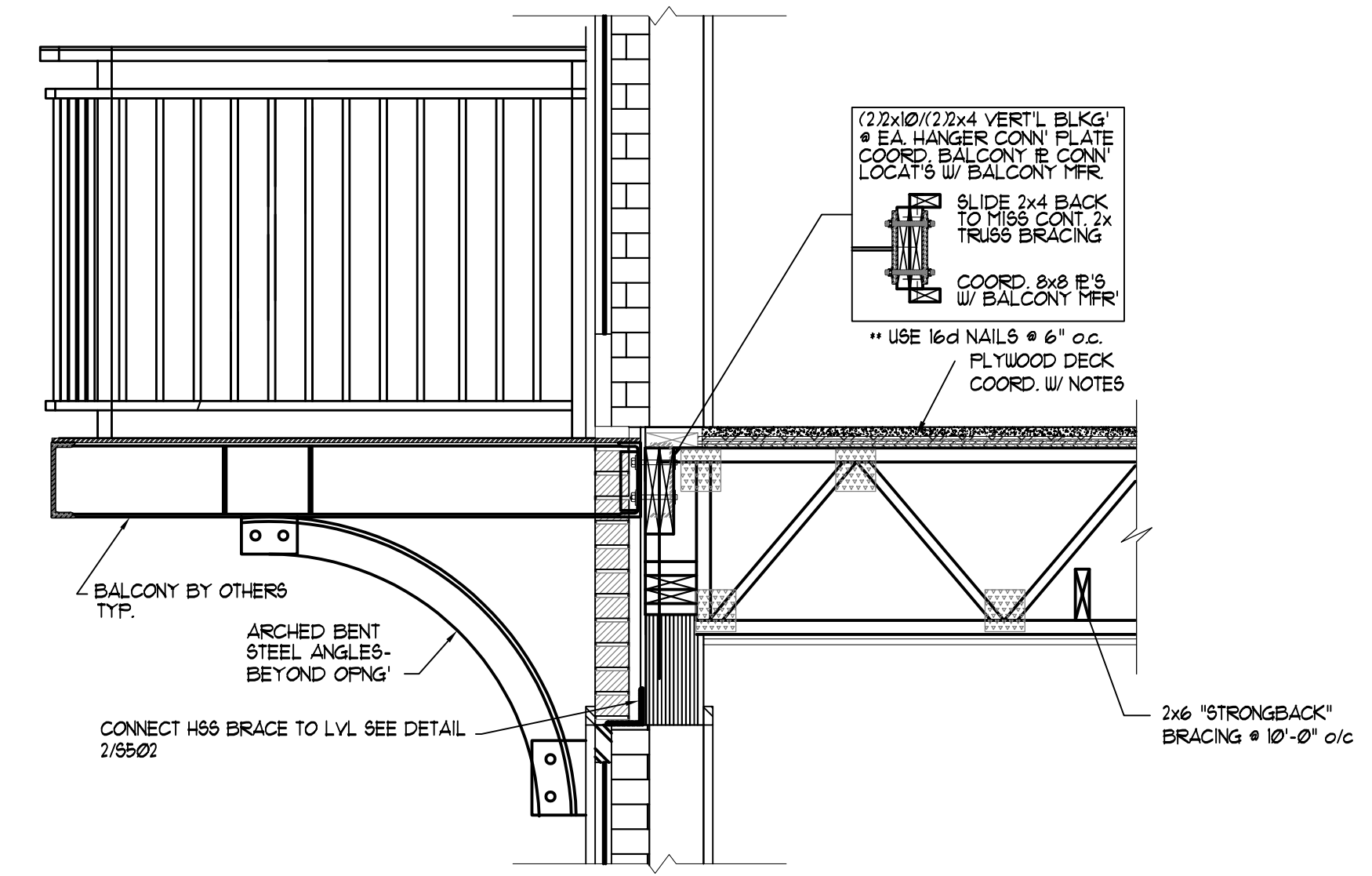
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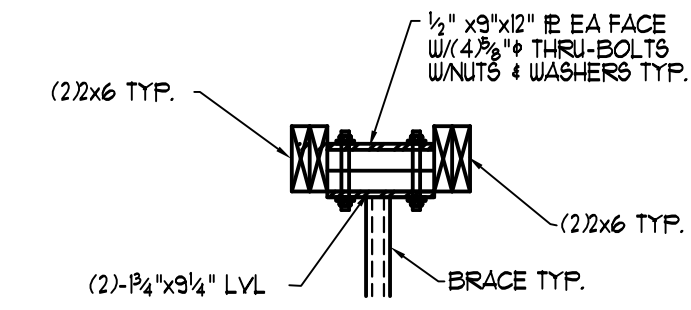
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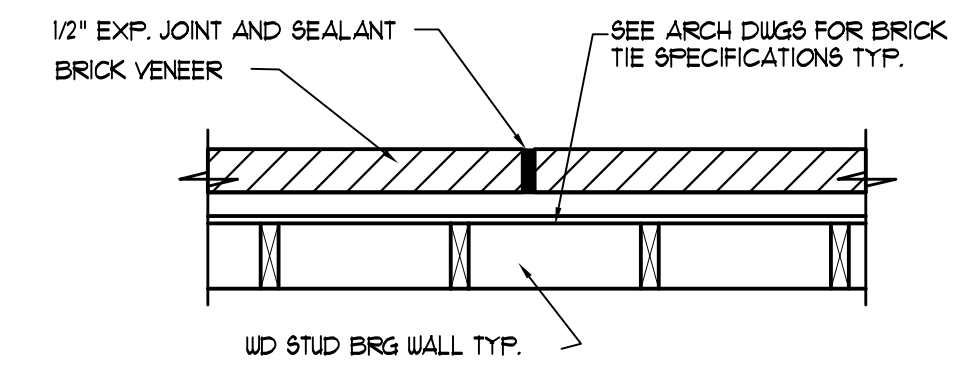


1 BALCONY DETAIL
3/4" = 1'-0"



ARCHED ANGLE CONN TO POSTS

2 BALCONY CONN DETAILS
3/4" = 1'-0"



NOTE:
COORD. LOCATION OF BLDG.
EXP. JOINTS W/ ARCH. DUG'S.

3 TYP. EXT. BRICK CONTROL JOINT
NO SCALE

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 www.fitzgeraldassociates.net

CONSULTANT:
STRUCTURAL CONSULTANT
 Runde Engineering
 39 W. New York Street
 Aurora, IL 60506-4120
 (ph) 630-966-0250
 (fx) 630-966-0255

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 Williams Avenue
 Highland Park, IL
 60035

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 Suite 200
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-	Issue for Permit/ Bid Submittal	2017/03/24
-	Issue for Design Progress Review	2015/01/09
1	Issue for Design Development	2014/11/12
#	DESCRIPTION	DATE



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TRUSS FRAMING
 SECT'S / DETAILS

S5-02

1

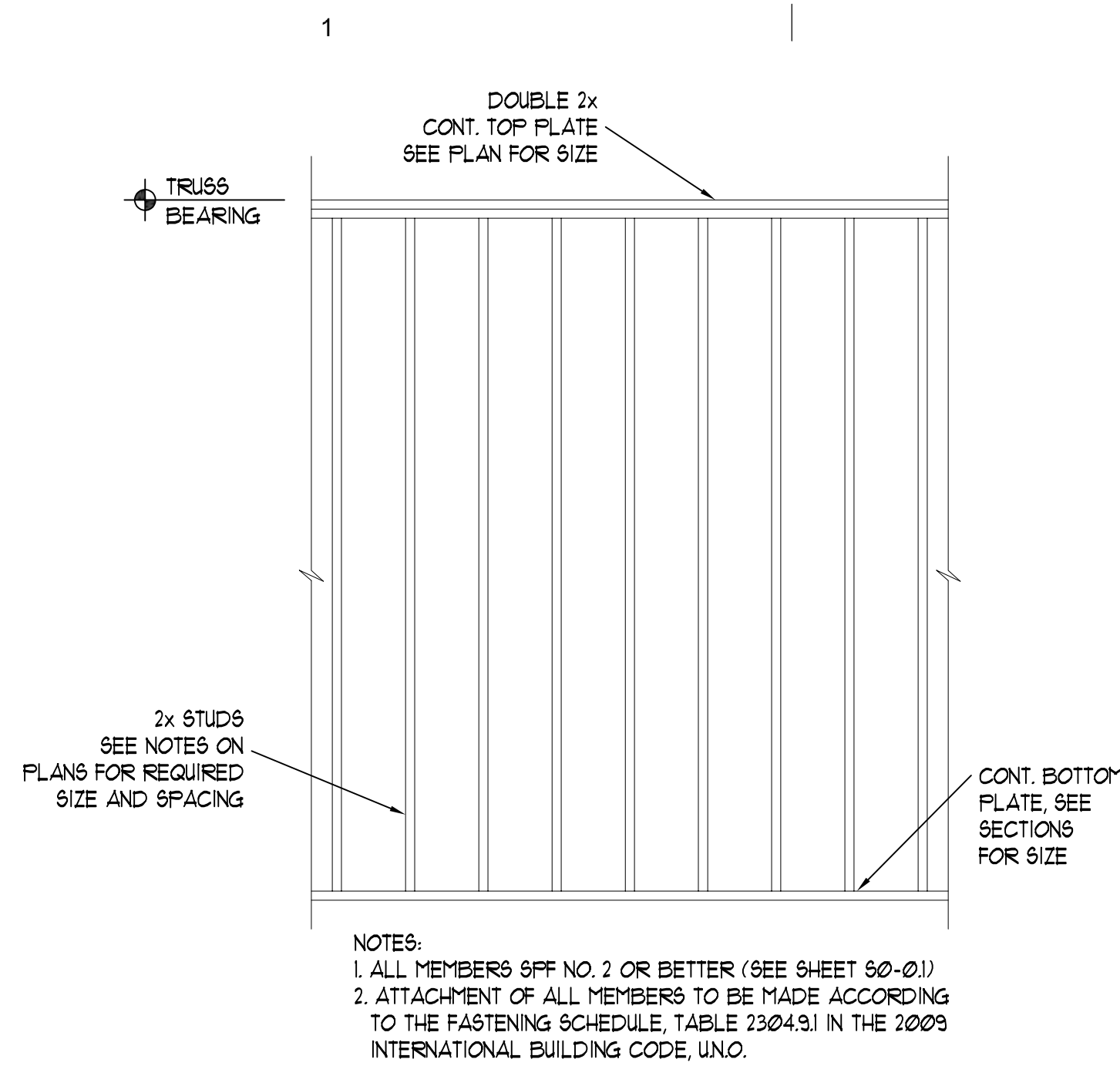
2

3

4

5

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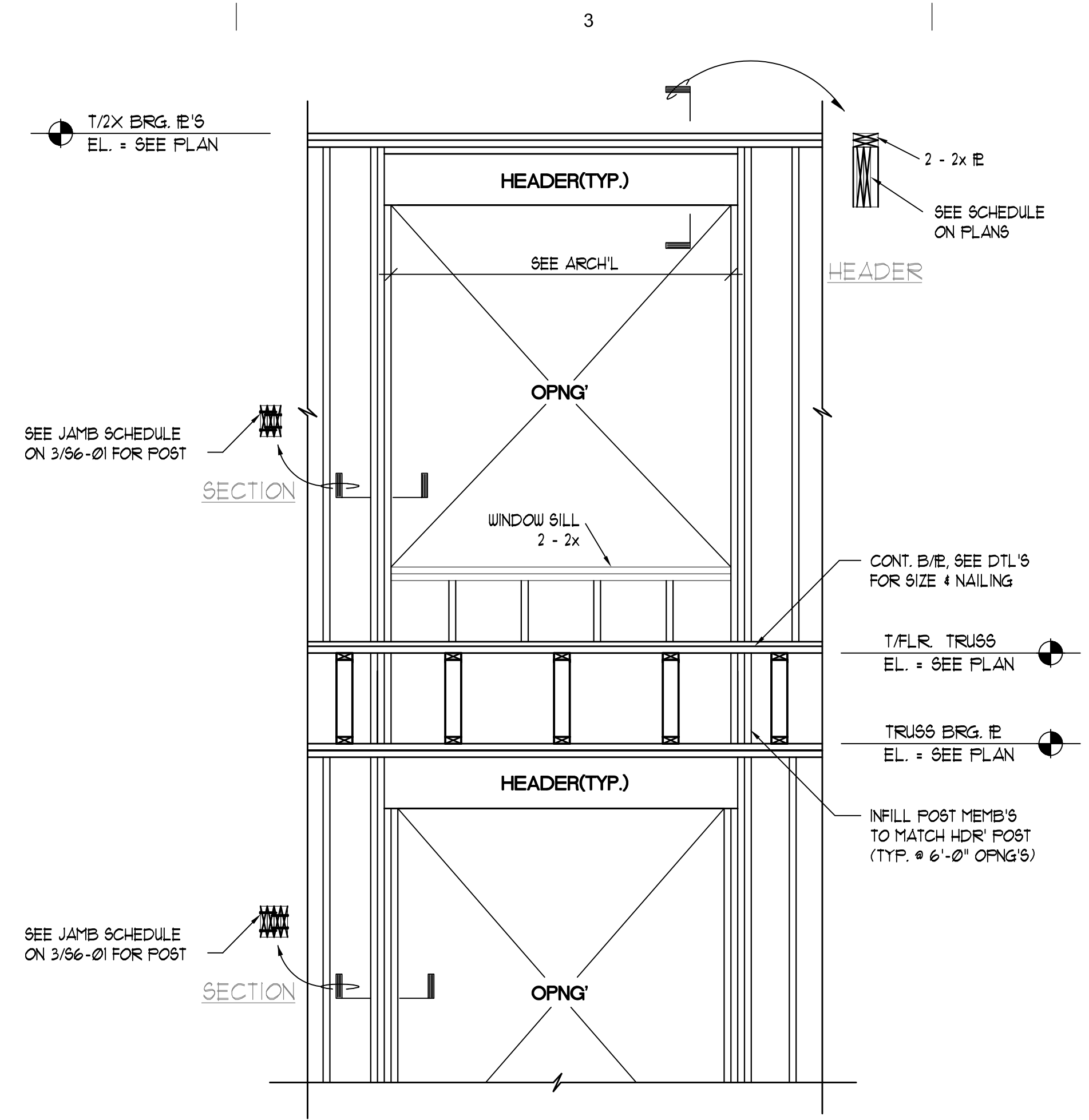


1 TYPICAL LOAD-BEARING WALL
SCALE: NONE

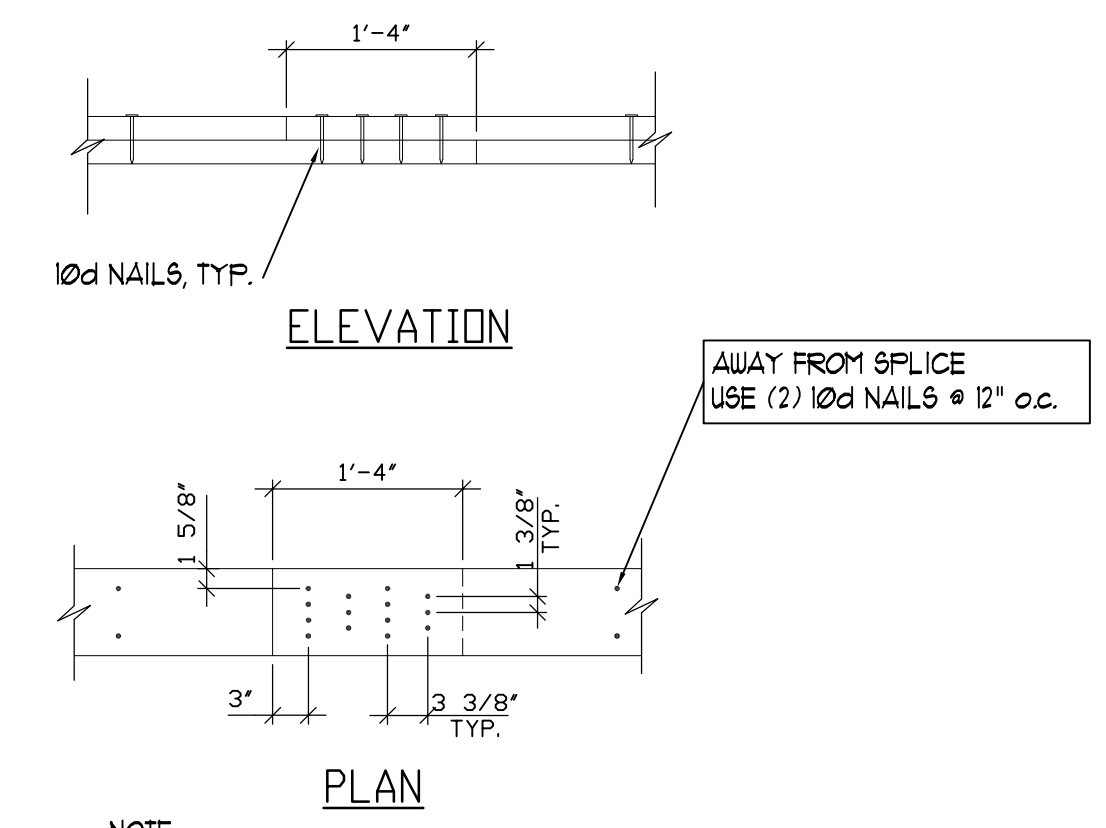
EXTERIOR WALL OPENING JAMB SCHEDULE			
OPENING WIDTH	FLOOR	# OF JACK STUDS	# OF KING STUDS
w < 6'-6"	3rd-Roof	1-2x6	1-2x6
	2nd-3rd	1-2x6	2-2x6
	1st-2nd	2-2x6	2-2x6

INTERIOR WALL OPENING JAMB SCHEDULE			
OPENING WIDTH	FLOOR	# OF JACK STUDS	# OF KING STUDS
6'-0" < w < 9'-0"	3rd-Roof	1-2x6	1-2x6
	2nd-3rd	2-2x6	2-2x6
	1st-2nd	2-2x6	2-2x6
3'-0" < w < 6'-0"	3rd-Roof	1-2x6	1-2x6
	2nd-3rd	1-2x6	2-2x6
	1st-2nd	1-2x6	2-2x6
w < 3'-0"	3rd-Roof	1-2x6	1-2x6
	2nd-3rd	1-2x6	2-2x6
	1st-2nd	1-2x6	2-2x6

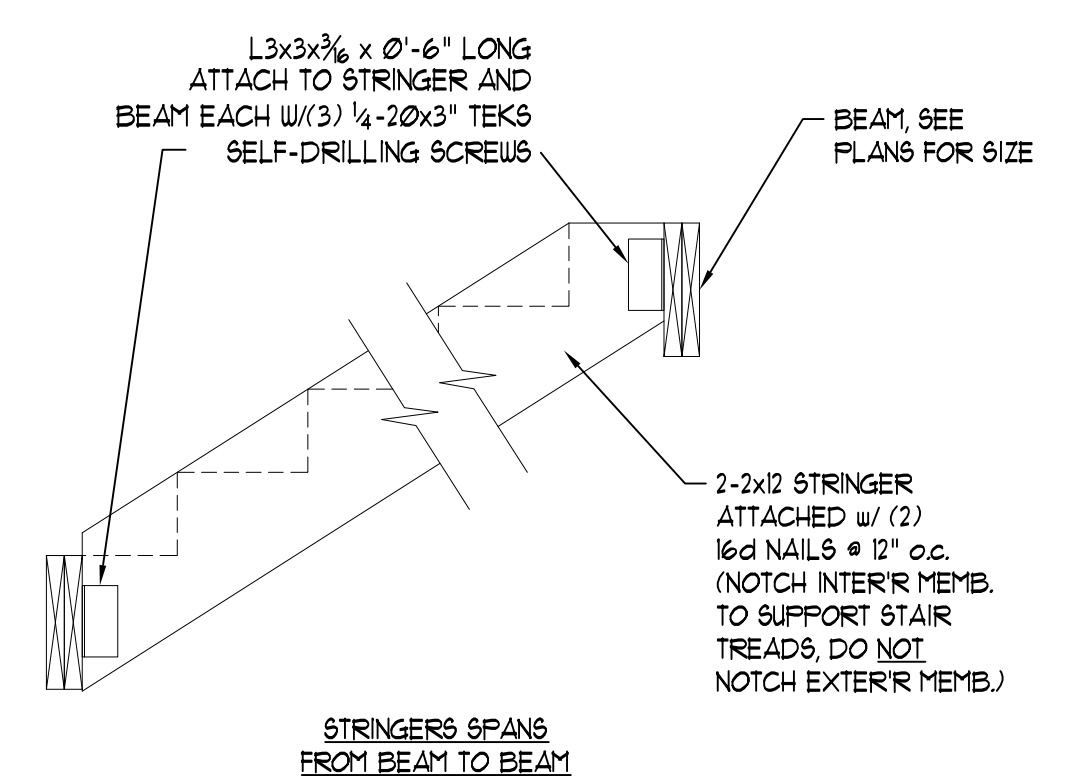
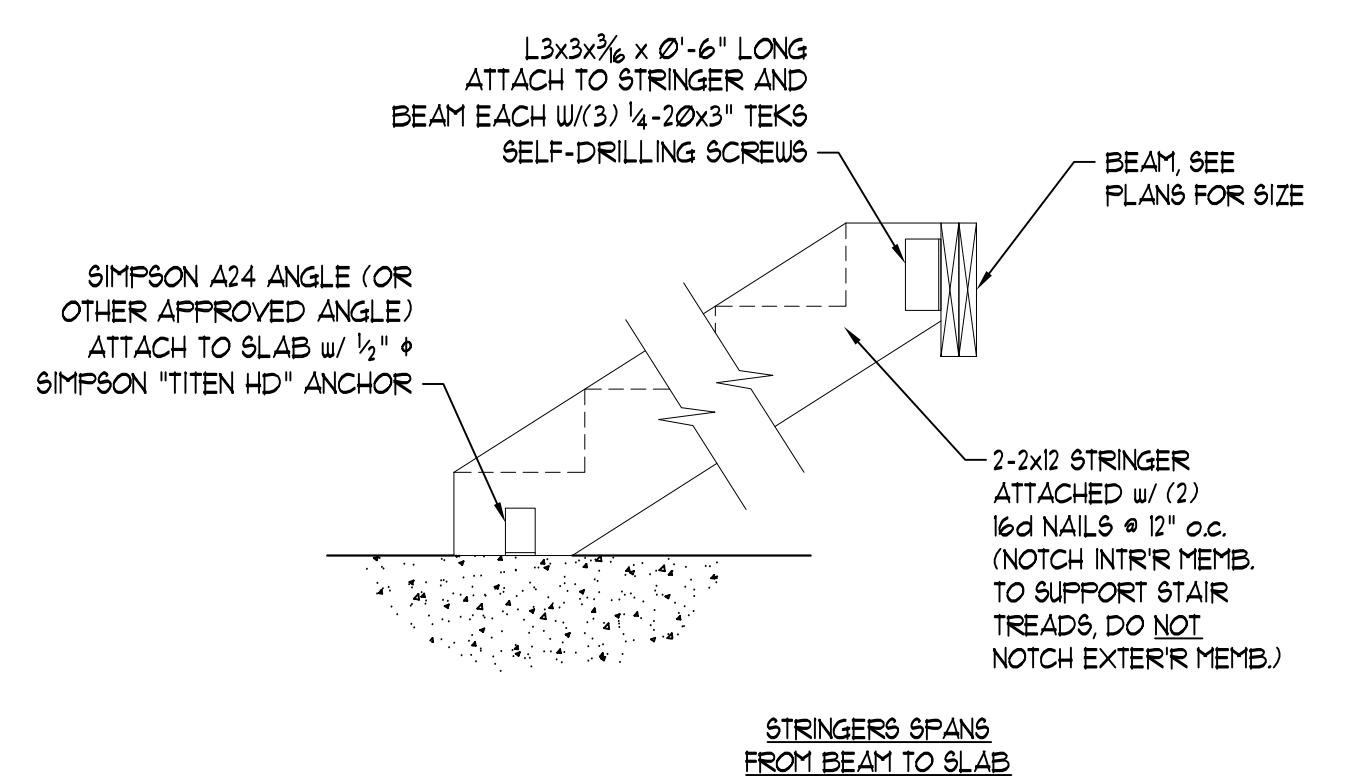
3 JAMB SCHEDULE
SCALE: NONE



2 OPNG'S OF 6'-0" OR MORE IN LOAD-BRG' WALLS
SCALE: NONE



4 TOP/PLATE CONN. & SPLICE
SCALE: NONE



6 TYP. STAIR STRINGER ANCHORAGE DETAIL
SCALE: NONE

FASTENING SCHEDULE		
CONNECTION	FASTENING a, b	LOCATION
Sole plate to joist or blocking	16d at 16" o.c. 3" x Ø131" nail at 8" o.c. 3" 14 gage staple at 12" o.c.	typical face nail
Sole plate to joist or blocking at braced wall panel	3-16d per 16" 3" x Ø131" nail 16" 3" 14 gage staple per 16"	braced wall panels
Top plate to stud	2-16d common 3 - 3" x Ø131" nail 3 - 3" 14 gage staple	end nail
Stud to sole plate	4-8d common 4 - 3" x Ø131" nail 3 - 3" 14 gage staple	toe nail
Double studs	2-16d common 3 - 3" x Ø131" nail 3 - 3" 14 gage staple	end nail
	16d at 24" o.c. 3" x Ø131" nail at 8" o.c. 3" 14 gage staple at 8" o.c.	typical face nail
Double top plates	16d at 16" o.c. 3" x Ø131" nail at 12" o.c. 3" 14 gage staple at 12" o.c.	face nail
	8-16d common 12 - 3" x Ø131" nail 12 - 3" 14 gage staple (**Typical Face Nail)	lap splice
Blocking between joists or rafters top plate	3-8d common 3 - 3" x Ø131" nail 3 - 3" 14 gage staple	toe nail
Rim joist to top plate	8d at 6" (152 mm) o.c. 3" x Ø131" nail at 6" o.c. 3" 14 gage staple at 6" o.c.	toe nail
Top plates, laps and intersextions	2-16d common 3 - 3" x Ø131" nail 3 - 3" 14 gage staple	face nail
Rafter to plate See Section 2308.10.1, Table 2308.10.1	3-8d common 3 - 3" x Ø131" nail 3 - 3" 14 gage staple	toenail
1" diagonal brace to each stud and plate	2-8d common 2 - 3" x Ø131" nail 2 - 3" 14 gage staple	face nail
Built-up corner studs	16d common 3" x Ø131" nail 3" 14 gage staple	24" o.c. 16" o.c. 16" o.c.
Built-up girder and beams	2Ød common 32" o.c. 3" x Ø131" nail 24" o.c. 3" 14 gage staple 24" o.c. 2-2Ød common 3 - 3" x Ø131" nail 3 - 3" 14 gage staple	face nail at top and bottom staggered on opposite sides
Ledger strip	3-16d common 4 - 3" x Ø131" nail 4 - 3" 14 gage staple	face nail

NOTES:
 a. Common or box nails are permitted to be used except where otherwise noted.
 b. Staples shall have a min. crown width of 7/16 inch.
 c. See sections for fastening notes not shown in this table.

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 t 312-563-9100
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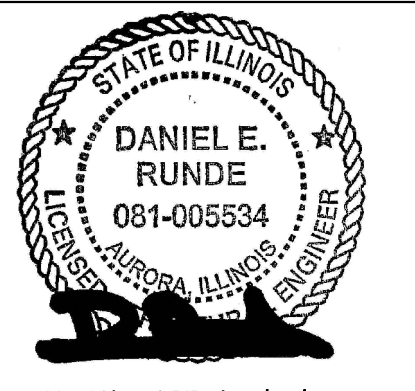
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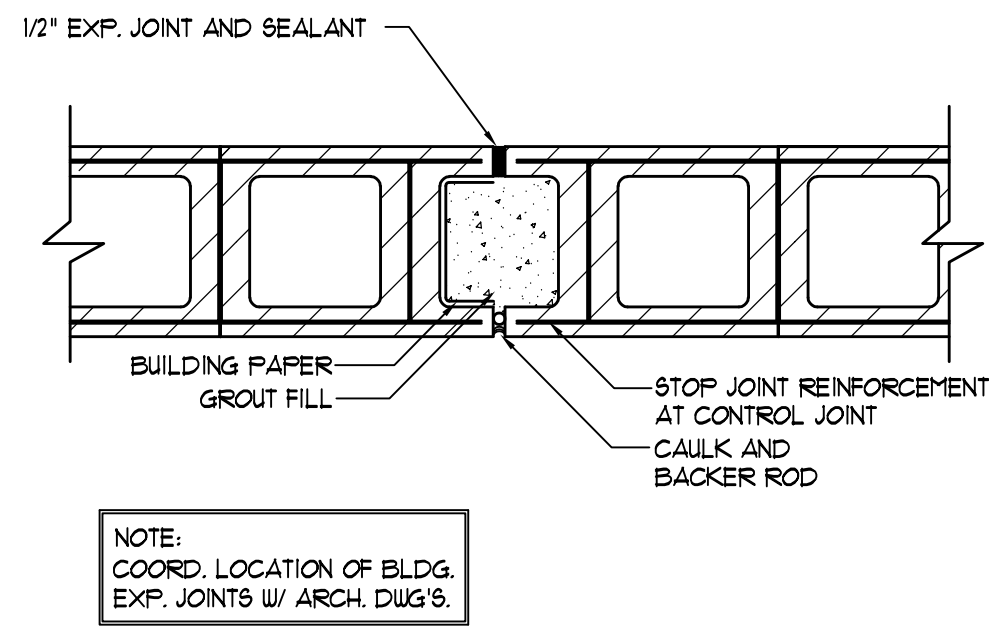
WOOD FRAMING
 SECT'S / DTL'S &
 NAILING
 SCHEDULE

S6-01

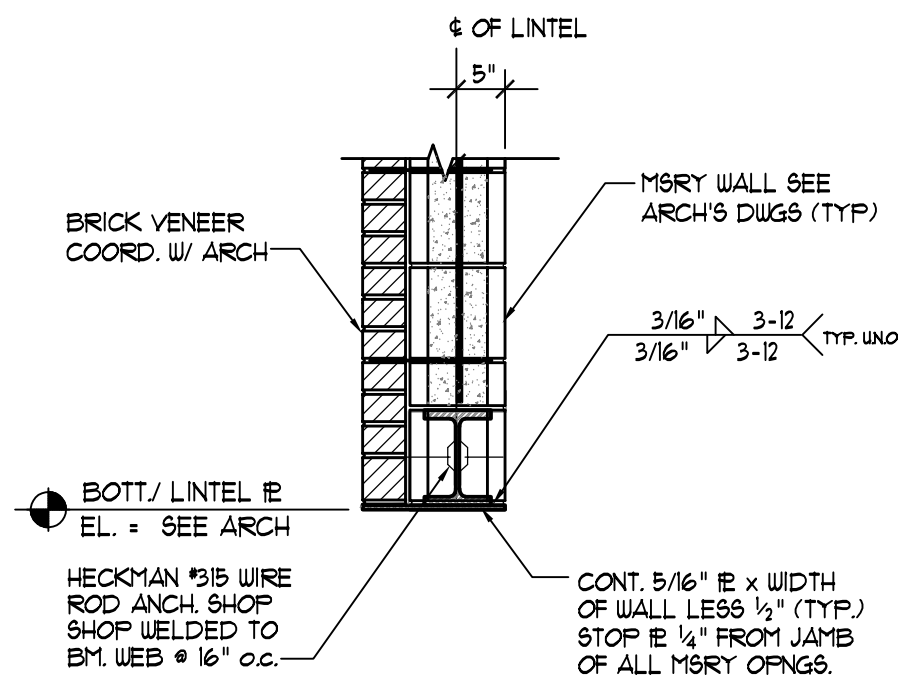
03/27/2017 2:00:00 PM Plan Set "FOR PERMIT & BIDDING" - Submittal

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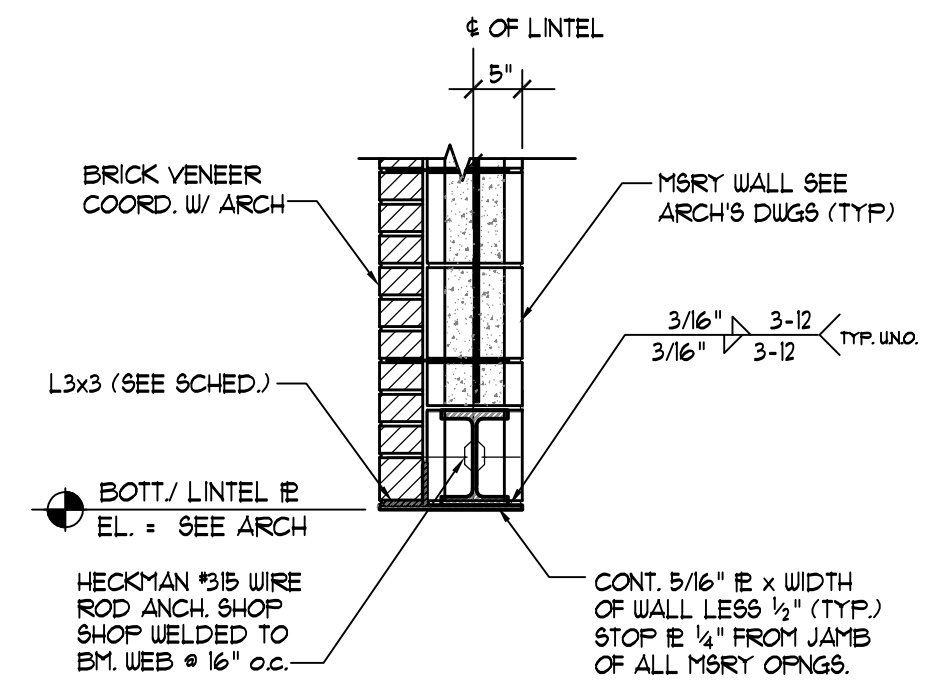
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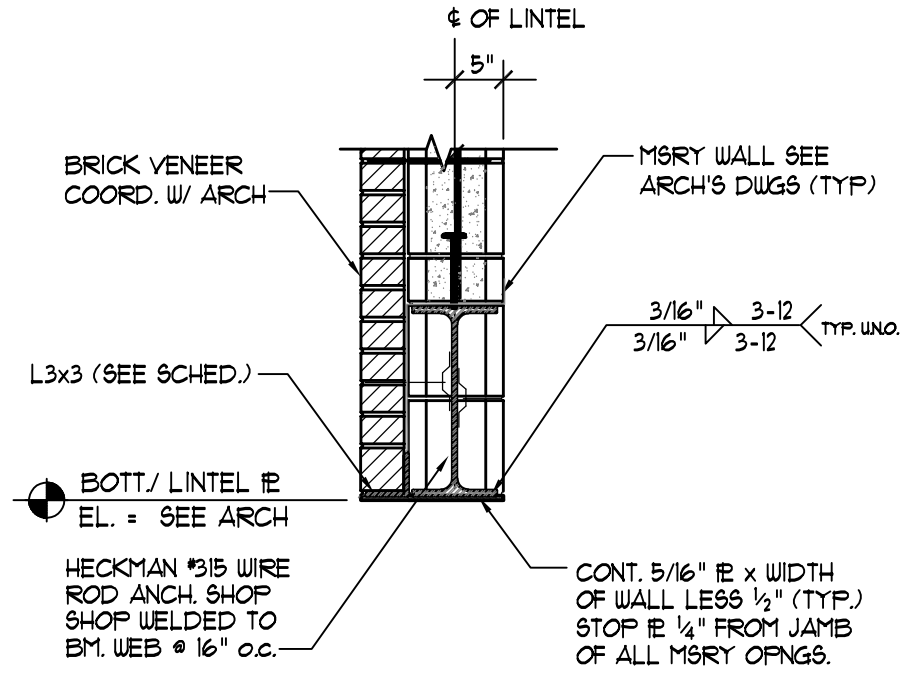
1 TYP. EXT. EXPANSION JOINT
NO SCALE



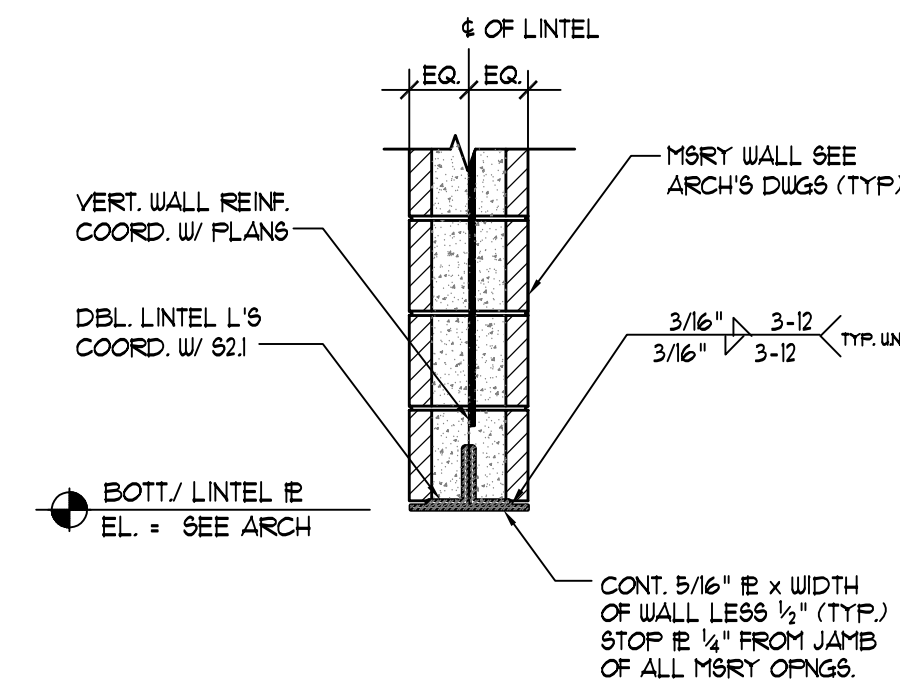
2 WS LINTEL DETAIL
3/4"-1'-0"



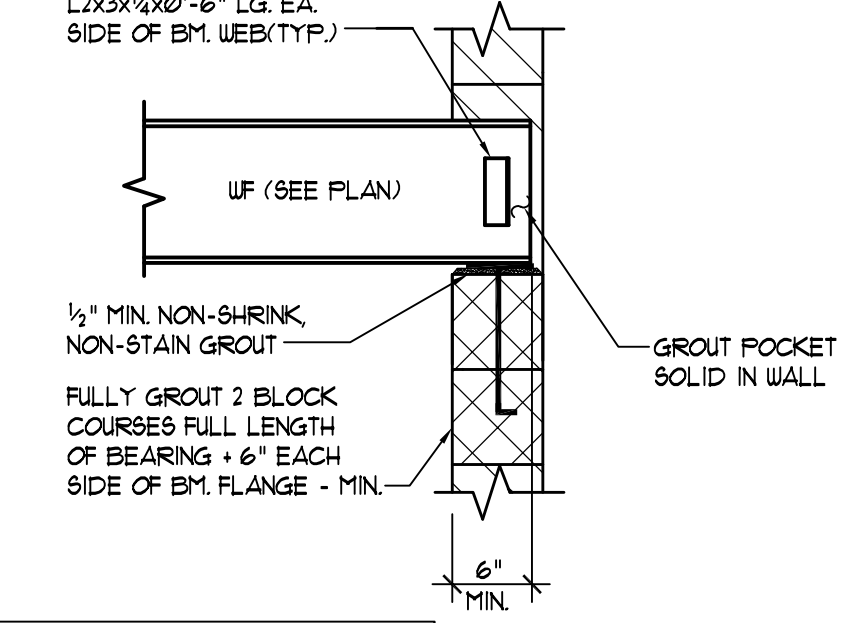
3 WS LINTEL DETAIL
3/4"-1'-0"



4 W16 LINTEL DETAIL
3/4"-1'-0"

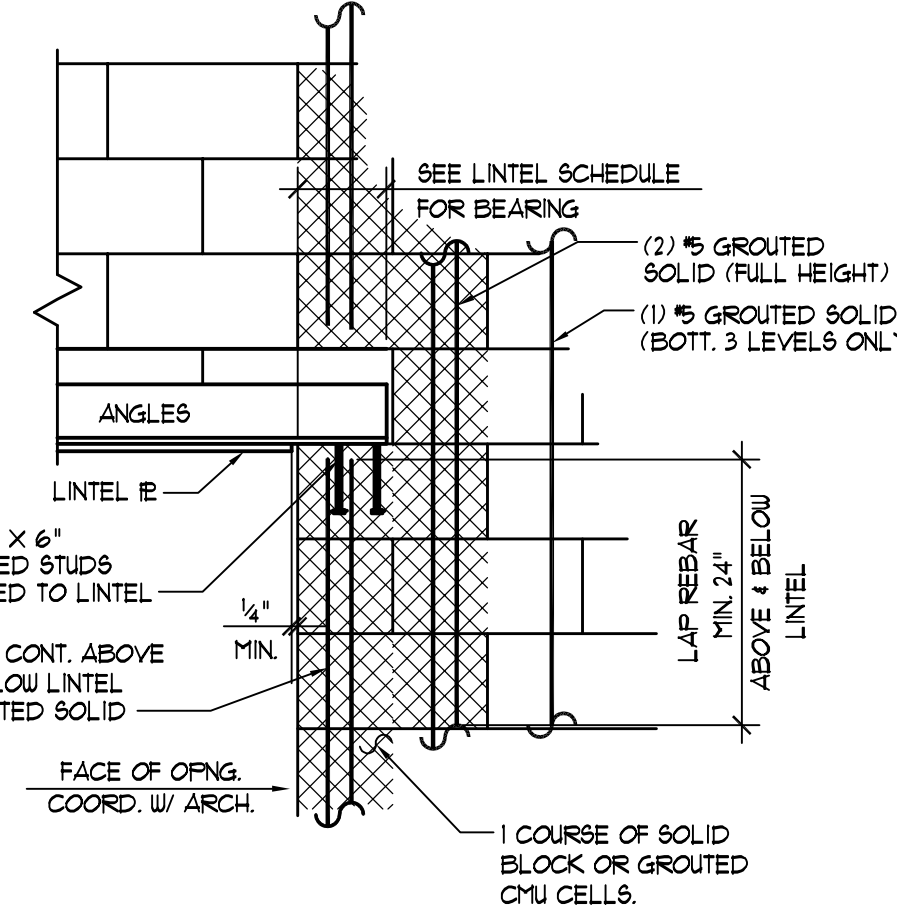


5 DBL. ANGLE DETAIL
3/4"-1'-0"

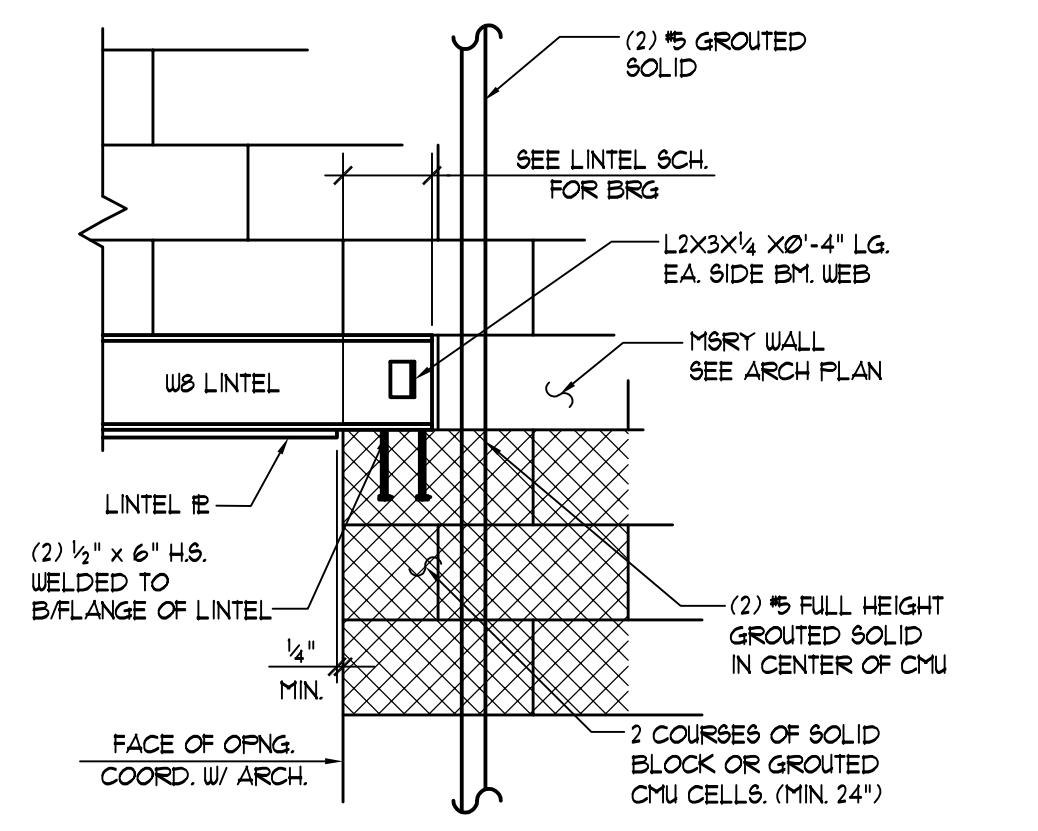


6 BEAM BEARING @ MASONRY
3/4" - 1'-0"

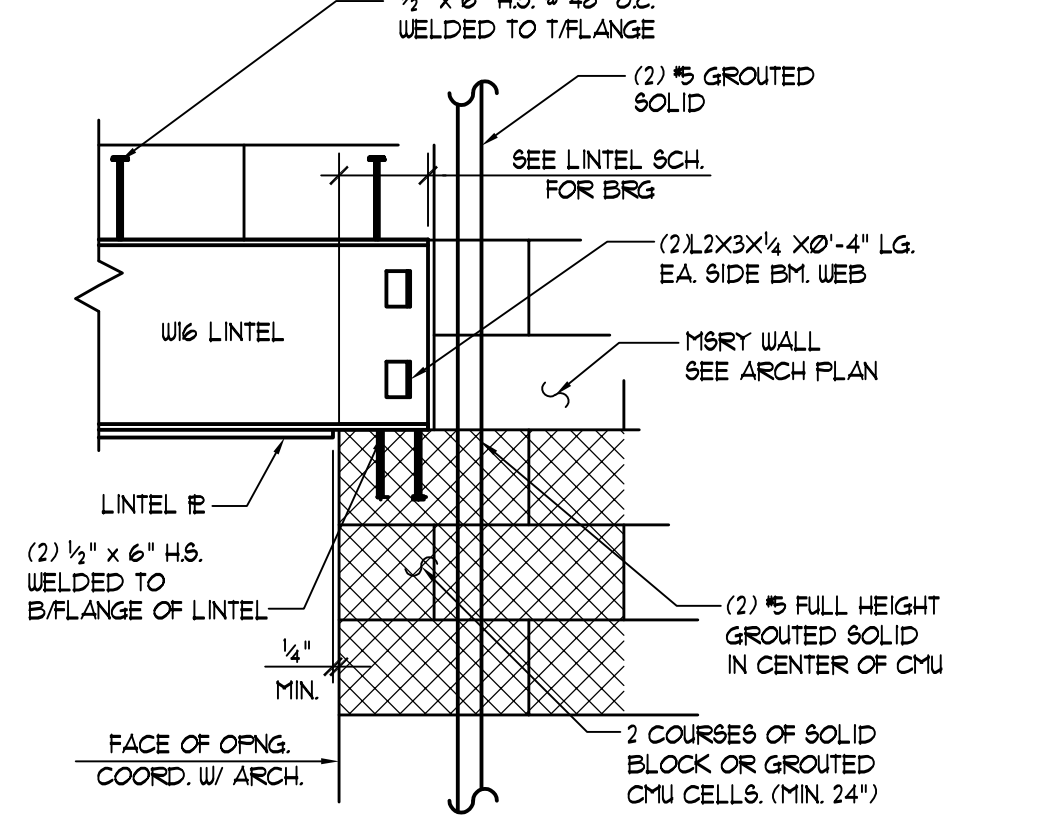
"BERG. P. NOTE:"
UNO. - USE 6"x1/2"x1/4" @ 10" IE WITH
(2) 1/2" x 12" HOOKED ANCHOR RODS
• ALL BM. BERG. ONTO CMU WALLS.



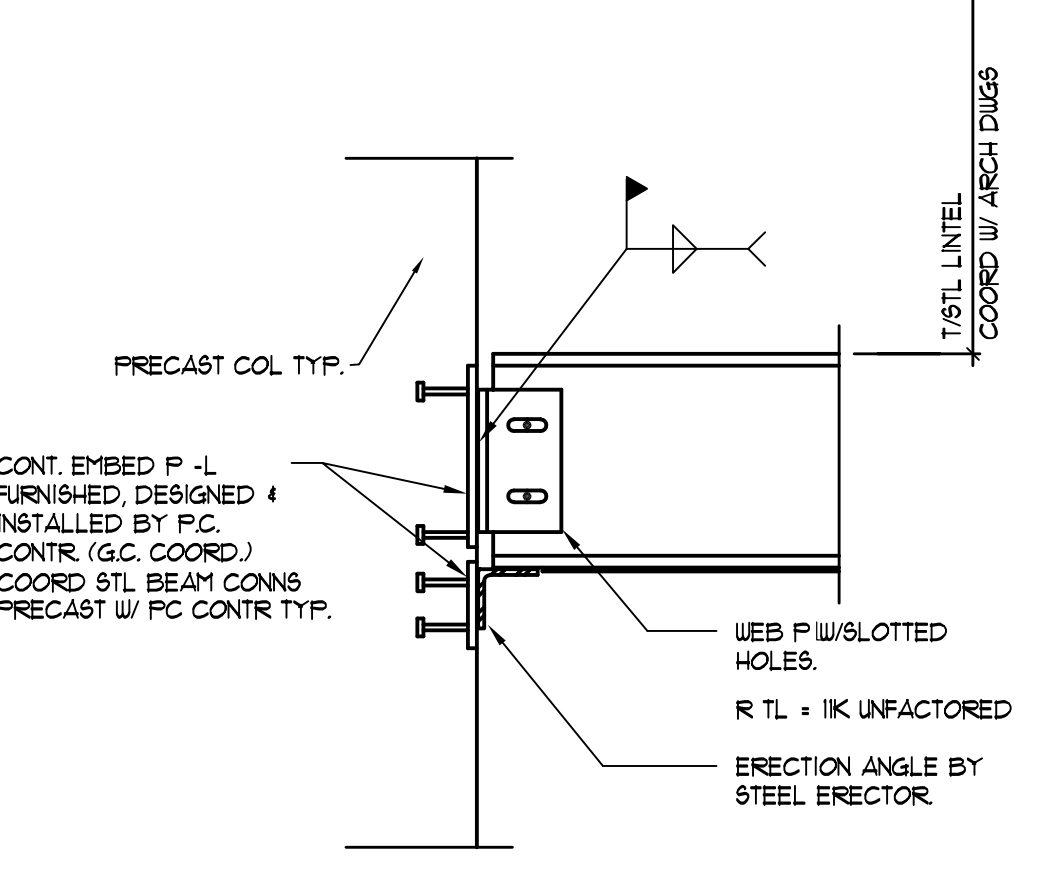
7 LINTEL BEARING DETAIL
3/4"-1'-0"



8 W-BM LINTEL BEARING DETAIL
3/4"-1'-0"



9 W16 LINTEL BEARING DETAIL
3/4"-1'-0"



10 TYP. LINTEL CONN TO P.C. COL
3/4"-1'-0"

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912 W. Lake St. Chicago, Illinois
t 312-563-9100
f 312-563-1919
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CONSULTANT:
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Runde Engineering
39 W. New York Street
Aurora, IL 60506-4120
(ph) 630-966-0250
(fx) 630-966-0255

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515-555 Roger
Williams Avenue
Highland Park, IL
60035

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WALL LINTEL
DETAILS AND
MASONRY INFO'

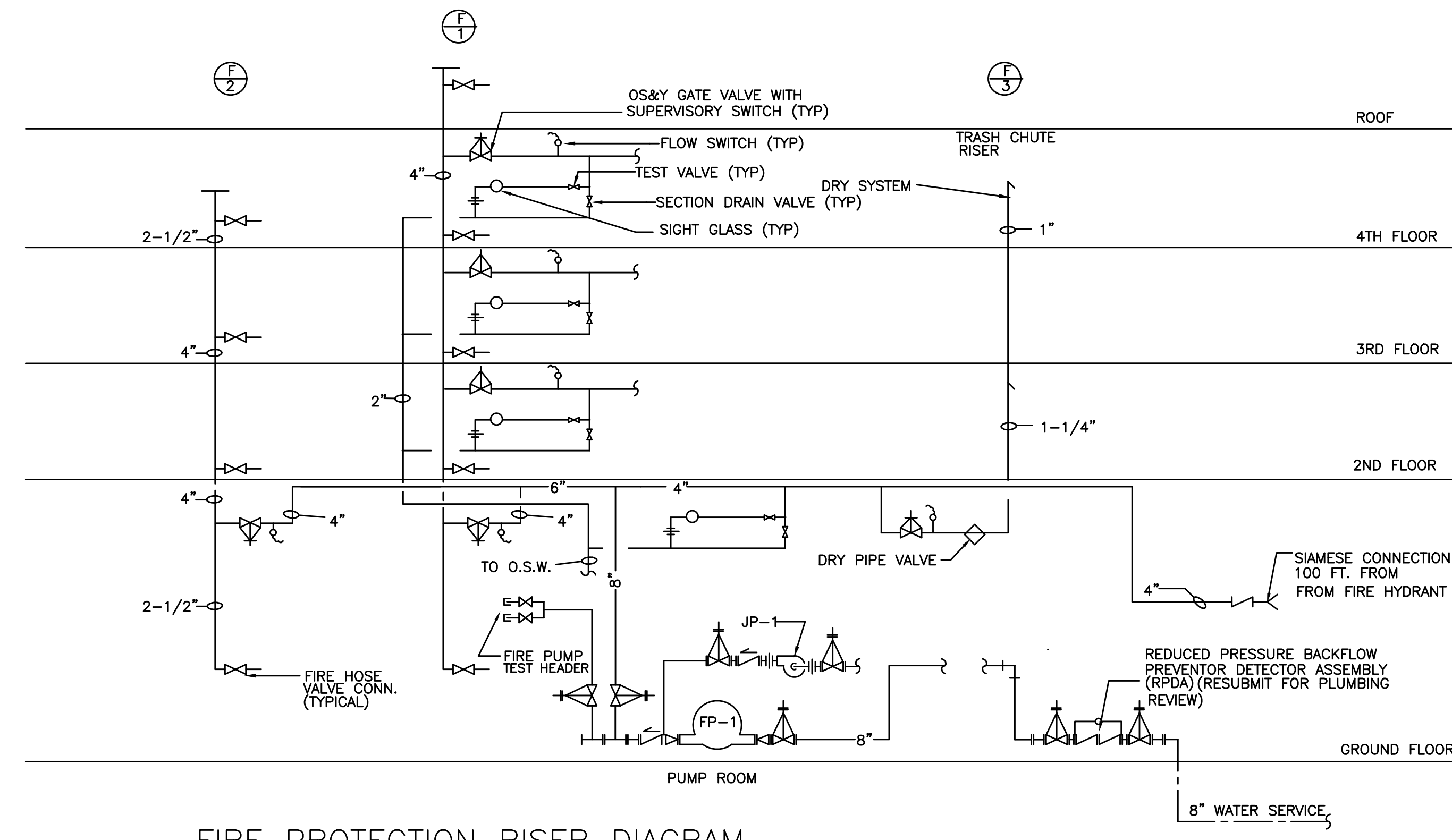
S7-01

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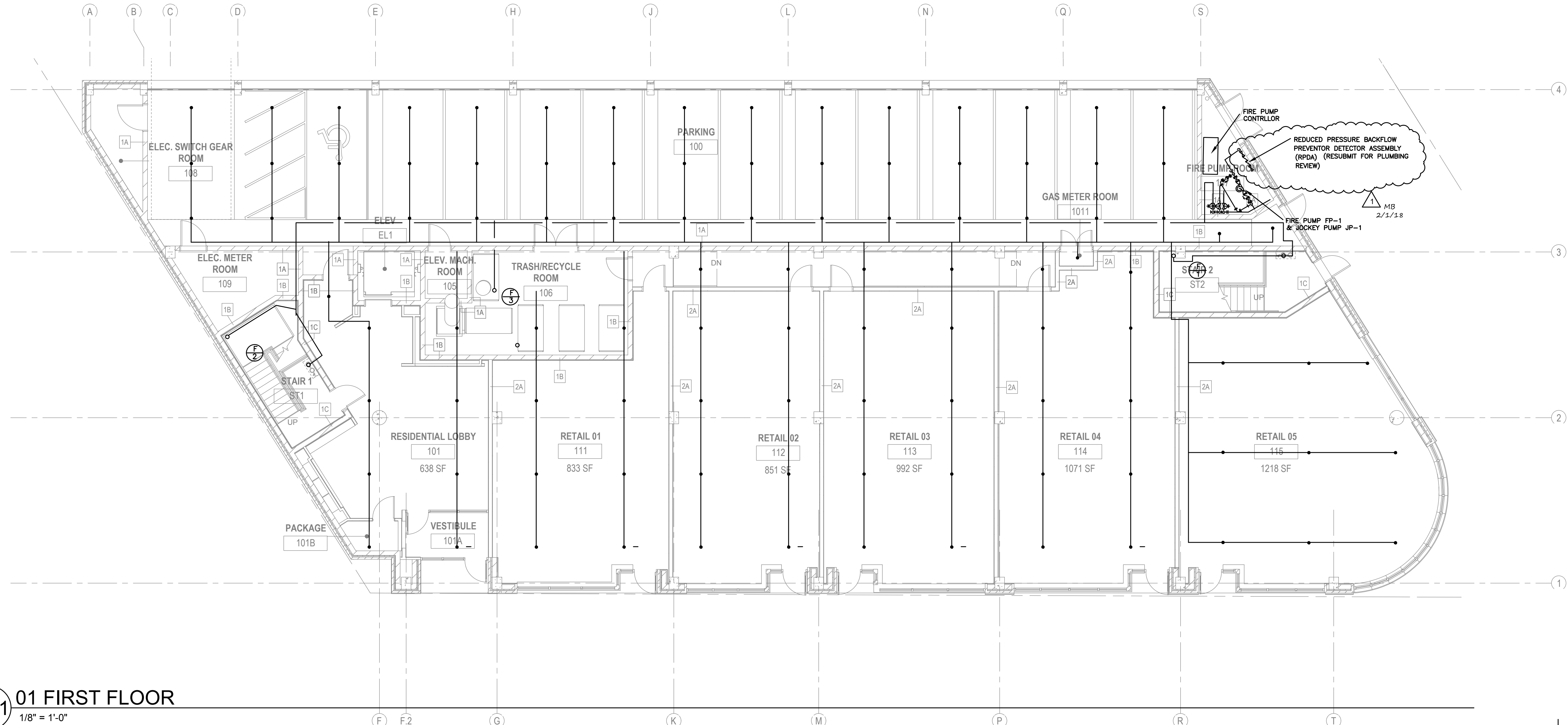
SPRINKLER NOTE
 ENTIRE BUILDING SHALL BE SPRINKLERED IN ACCORDANCE WITH NFPA 13.
 PROVIDE CLEANLINE HEADS IN ALL DRYWALL CEILINGS AND RECESSED PENDANT TYPE IN 2x2/2x4 LAY-IN CEILINGS. PROVIDE UPRIGHT PENDANT HEADS IN ALL UNFINISHED SPACES.
 PROVIDE SPRINKLERS IN ALL COMBUSTIBLE CONCEALED SPACES CREATED BY FLOOR TRUSSES AS PER NFPA13.8.15.1
 SPRINKLER CONTRACTOR TO COORDINATE ALL GROUND FLOOR SPRINKLER PIPING ROUTING AND SPRINKLER HEAD LOCATIONS WITH ALL TRADES AND ARCHITECT'S REFLECTED CEILING PLAN. (TYPICAL FOR ALL GROUND FLOOR COMMON AREAS)

MB
2/1/18

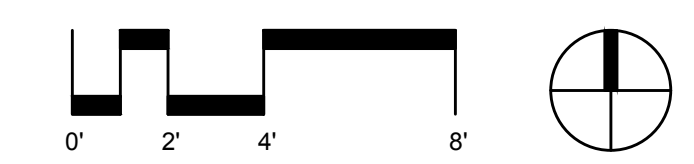
TAG	GPM	HD FT	MOTOR			MANUFACTURER AND MODEL NUMBER	LOCATION	REMARKS
			HP	VOLT	Ø			
FP-1	750	XXX	XX	208	3	1800	MECHANICAL ROOM	FIRE PUMP
JP-1	7.5	XXX	X	208	3	3450	MECHANICAL ROOM	JOCKEY PUMP
REMARKS:								



FIRE PROTECTION RISER DIAGRAM
 NOT TO SCALE



FP1 01 FIRST FLOOR
 1/8" = 1'-0"



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 Associates Architects
 912 W. Lake St. Chicago, Illinois
 t 312-563-9100 f 312-563-1919
 www.fitzgeraldassociates.net

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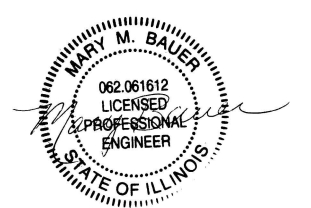
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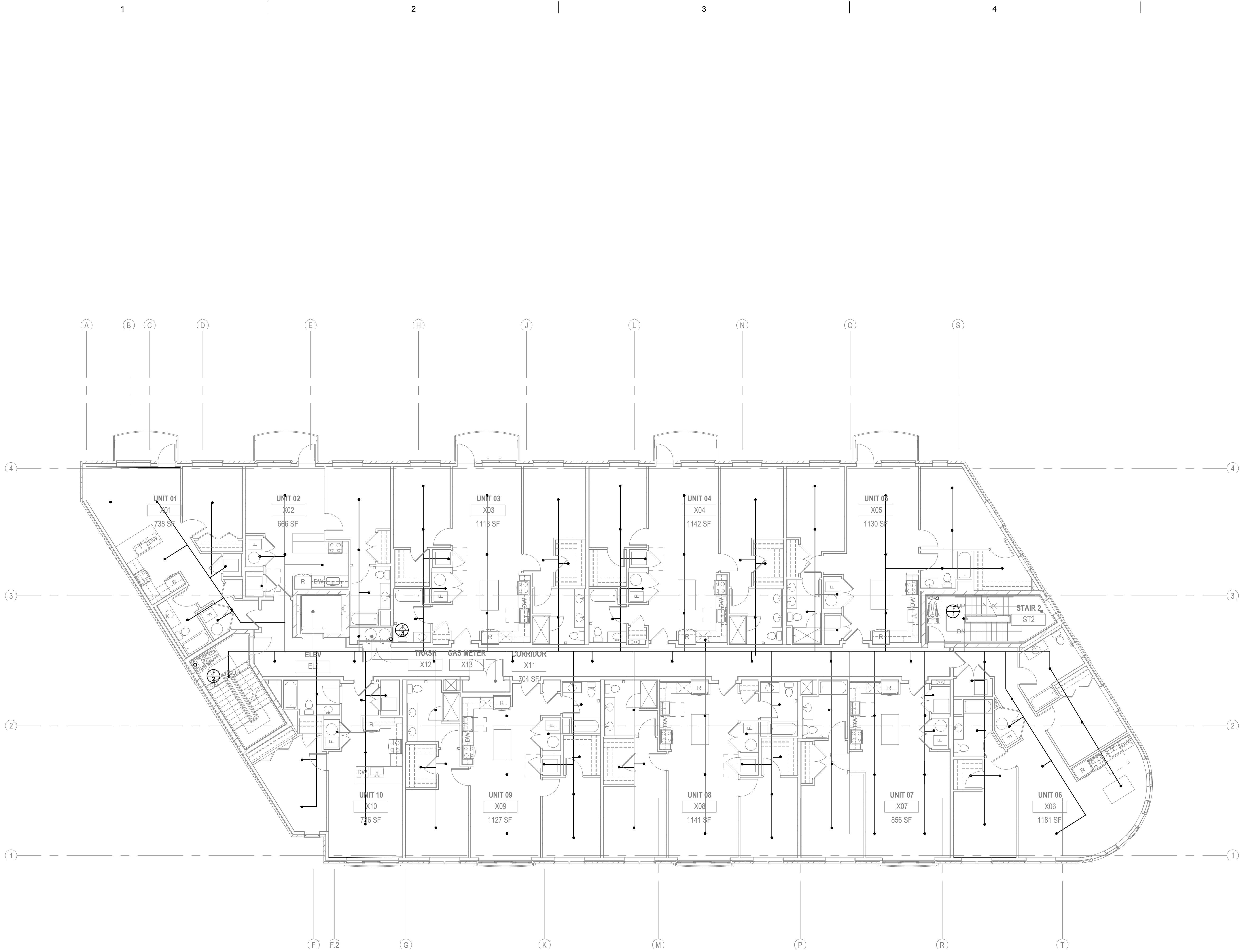
#	DESCRIPTION	DATE
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FIRST FLOOR PLAN

FP1-01

11/25/2014 3:20:42 PM C:\Users\mkmsalla\Desktop\11144 - Ravinia_MK2014-10-01.rvt
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FP 1
02 SECOND FLOOR- 04 FOURTH FLOOR PLAN
 1/8" = 1'-0"



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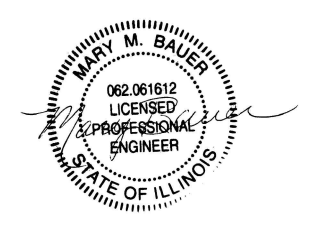
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**SECOND-FOURTH
 FLOOR PLAN
 TYPICAL**

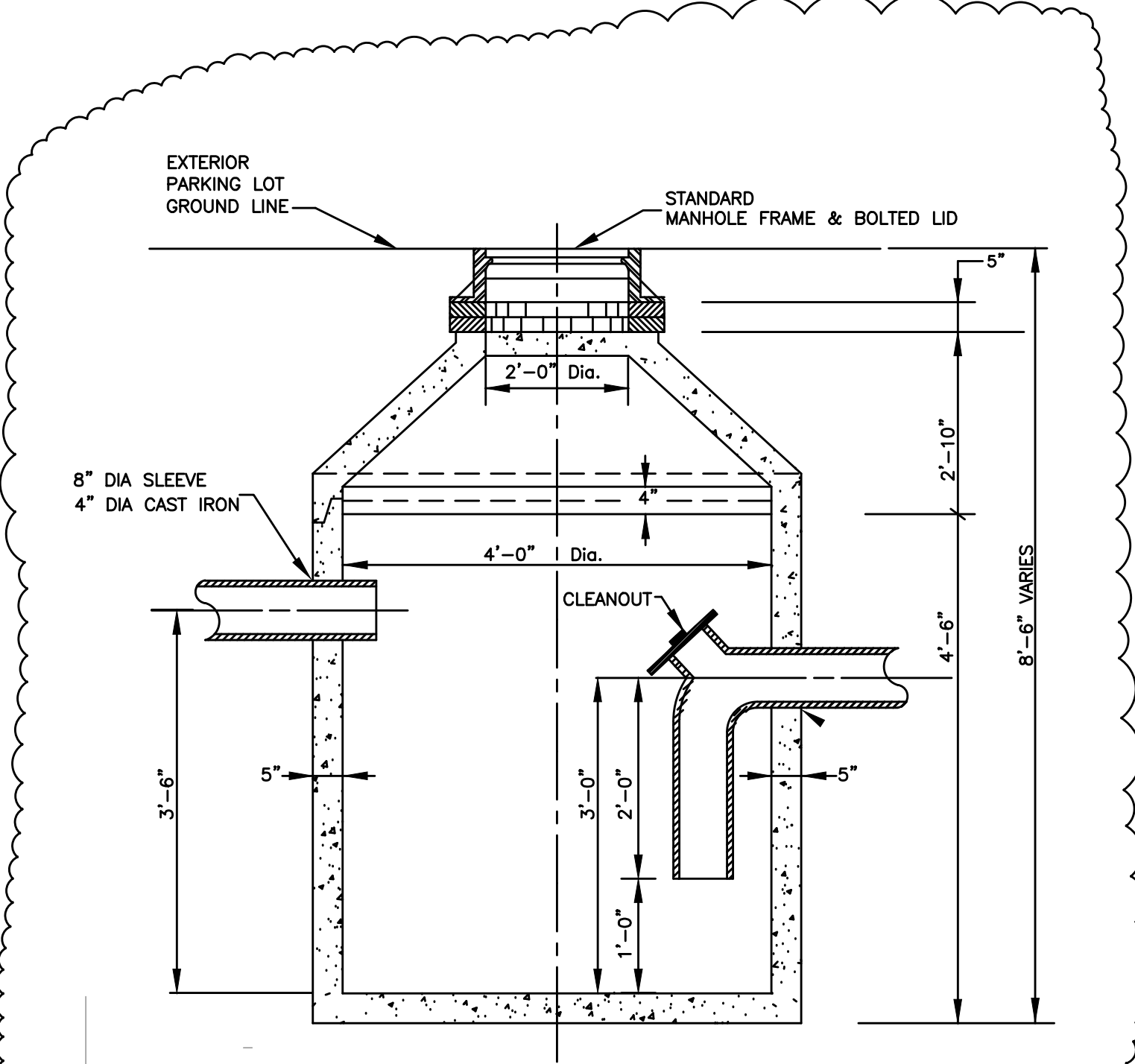
FP1-02

PLUMBING GENERAL NOTES:

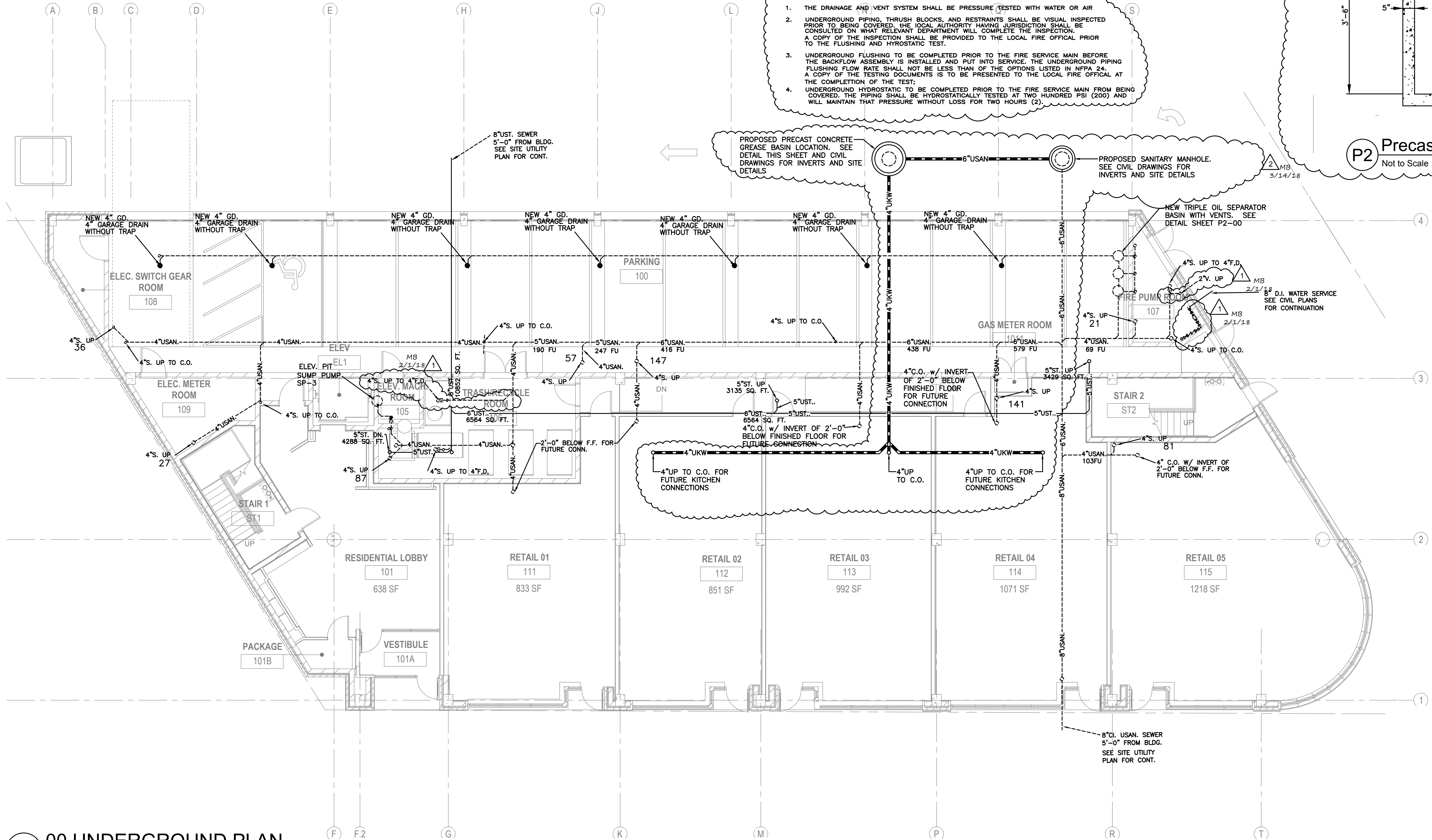
- GENERAL NOTES ON THE DRAWINGS ARE PART OF THIS CONTRACT.
- ALL PERMITS, LICENSES, APPROVALS AND OTHER ARRANGEMENTS FOR WORK SHALL BE OBTAINED BY THE PLUMBING CONTRACTOR AT HIS OWN EXPENSE.
- ALL NEW WORK AND MATERIAL SHALL CONFORM TO ALL APPLICABLE STATE AND CITY OF EVANSTON CODES AND ORDINANCES.
- THE INTENT OF THE DRAWINGS IS TO FURNISH THE OWNER PLUMBING INSTALLATION READY FOR USE AND COMPLETE IN EVERY ASPECT.
- UNLESS OTHERWISE REQUIRED BY LOCAL CODE PIPING MATERIALS SHALL BE AS FOLLOWS:
 SANITARY & WASTE PIPING INSIDE OF BUILDING, BELOW GRADE SHALL BE SERVICE WEIGHT CAST IRON. VENT PIPING SHALL BE CAST IRON OR TYPE K COPPER.
 SANITARY PIPING PENETRATIONS THRU THE FOUNDATION WALL SHALL BE EXTRA HEAVY CAST IRON OR DUCTILE IRON PIPE.
 VENT SOIL AND WASTE - ABOVE GROUND 1-1/2" AND LARGER: SOLID-WALL PVC PIPE ASTM D2665, SCHEDULE 40, PVC SOCKET FITTING ASTM D2665, SCHEDULE 40, SOLVENT CEMENT ASTM D2554.
 DOMESTIC WATER - ABOVE GROUND INSIDE BUILDING: SEAMLESS TYPE 1/2" COPPER WITH WROUGHT COPPER FITTINGS SOLDERED. SOLDER SHALL CONFORM TO LOCAL CODE REQUIREMENTS AND ASTM B32-LATEST REVISION.
 VALVES - BALL VALVES FOR SHUT-OFF SHALL BE AS MANUFACTURED BY MILWAUKEE OR NIBCO.
- ALL BIDS SHALL BE BASED ON THE ABOVE SPECIFIED MATERIALS. WHERE LOCAL CODES PERMIT THE INSTALLATION OF ALTERNATE MATERIALS THE CONTRACTOR SHALL SUBMIT ALONG WITH HIS BASE BID PRICE AN ALTERNATE PRICE INDICATING THE TYPE AND LOCATION OF MATERIALS HE PROPOSES TO SUBSTITUTE AND THE AMOUNT TO BE DEDUCED FROM HIS BASE BID QUOTE IF HIS PROPOSAL IS ACCEPTED BY THE ARCHITECT.
- INSULATION SHALL BE PROVIDED AS FOLLOWS:
 DOMESTIC COLD WATER - ABOVE GRADE, LIGHT DENSITY, FIBERGLASS PIPE INSULATION, 1/2" THICK, WITH VAPOR BARRIER JACKET.
 DOMESTIC HOT & HOT WATER RETURN WATER - ABOVE GRADE, LIGHT DENSITY, FIBERGLASS PIPE INSULATION 1" THICK, WITH GLASS CLOTH JACKET.
 AT CONTRACTOR'S OPTION 1/2" FIBERGLASS SNAP ON INSULATION WITH FOAM VAPOR BARRIER MAY BE SUBSTITUTED FOR ABOVE.
- PROVIDE DIELECTRIC FITTINGS WHERE COPPER JOINS FERROUS METAL.
- FLASHING SHALL BE #4 LEAD MINIMUM.
- PROVIDE AIR CHAMBERS, FULL SIZE, 12" LONG FOR EACH HOT AND OR COLD WATER SUPPLY AT EACH FIXTURE.
- WATER AND DRAINAGE SYSTEM SHALL BE TESTED IN COMPLIANCE TO APPLICABLE CODES. FURNISH COPY OF TEST RESULTS TO OWNER.
- PROVIDE POLISHED CHROME PLATED ESCUTCHEONS WHERE PIPES PASS THRU WALLS AT FIXTURES. WHERE OTHER EXPOSED PIPES PASS THRU WALLS, FLOORS, CEILINGS AND PARTITIONS. PROVIDE POLISHED DULL CHROME PLATED CAST BRASS SET SCREW FLANGES.
- CONTRACTOR SHALL EXAMINE ALL DRAWINGS AND VISIT THE SITE TO DETERMINE THE FULL EXTENT OF THE WORK AND FACILITY LOCATIONS. CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF LOCAL GOVERNING BODIES. THE SUBMISSION OF A BID SHALL BE CONSTRUED AS CONCLUSIVE EVIDENCE THAT THE BIDDER HAS COMPLIED WITH THE ABOVE.
- CONTRACTOR SHALL SUBMIT (5) FIVE SETS OF MANUFACTURER'S CATALOG LITERATURE (RE: EQUIPMENT TO BE FURNISHED ON THE PROJECT) TO THE ARCHITECT FOR APPROVAL PRIOR TO RELEASE FOR SHIPMENT. SUBSTITUTION OF SPECIFIED EQUIPMENT MUST BE APPROVED IN WRITING BY THE ARCHITECT PRIOR TO SUBMISSION OF CATALOG CUTS. SUBMITTED ITEMS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 A. FIXTURES D. FAUCETS.
 B. VALVES E. DRAINS
 C. WATER HEATERS F. SPECIALTIES
- PRIOR TO FINAL ACCEPTANCE BY OWNER, CONTRACTOR SHALL CLEAN ALL FIXTURES AND REMOVE ALL LABELS.
- ALL CUTTING AND PATCHING FOR PLUMBING TRADES WORK SHALL BE BY PLUMBING CONTRACTOR.
- CONTRACTOR SHALL INSTALL ALL NECESSARY SUPPORTS, EXPANSION PIPE LOOPS, UNIONS, ACCESSIBLE DURABLE EXPANSION JOINTS (WHERE ANCHORED PIPE CROSSES BUILDING EXPANSION JOINTS) ISOLATE ALL WATER PIPING FROM STRUCTURE TO REDUCE NOISE.
- CONTRACTOR SHALL GUARANTEE ALL WORK, MATERIAL, EQUIPMENT, ETC. FURNISHED BY HIM FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE OF INSTALLATION.
- PROVIDE SHUT-OFF VALVES AT EACH HOT AND/OR COLD WATER SUPPLY AT EACH FIXTURE.
- UPON COMPLETION OF WORK, CONTRACTOR SHALL PROVIDE OWNER WITH AS-BUILT DRAWINGS ON REPRODUCIBLE MEDIA. AS-BUILT DRAWINGS SHALL INCLUDE NOTATIONS OF ALL FIELD CORRECTIONS.
- CONTRACTOR SHALL FIRE SEAL ALL PENETRATIONS THRU FIRE RATED FLOORS, WALL ETC. WITH U.L. LISTED ASSEMBLIES. THIS SHALL INCLUDE BUT NOT BE LIMITED TO PENETRATIONS INTO MECHANICAL INTERSTITIAL STOREYS.
- ALL PLUMBING STACKS TO BE TESTED WITH WATER AND HELD UNTIL WITNESSED BY THE CITY OF EVANSTON PLUMBING INSPECTOR.
- PRESSURE TESTING ON THE POTABLE WATER SYSTEM MUST BE WITNESSED BY THE CITY OF EVANSTON PLUMBING INSPECTOR.

PLUMBING GENERAL NOTES:

- THE DRAINAGE AND VENT SYSTEM SHALL BE PRESSURE TESTED WITH WATER OR AIR
- UNDERGROUND PIPING, THRU BLOCKS, AND RESTRAINTS SHALL BE VISUAL INSPECTED PRIOR TO BEING COVERED. THE LOCAL AUTHORITY HAVING JURISDICTION SHALL BE CONSULTED ON WHAT RELEVANT DEPARTMENT WILL COMPLETE THE INSPECTION. A COPY OF THE INSPECTION SHALL BE PROVIDED TO THE LOCAL FIRE OFFICIAL PRIOR TO THE FLUSHING AND HYDROSTATIC TEST.
- UNDERGROUND FLUSHING TO BE COMPLETED PRIOR TO THE FIRE SERVICE MAIN BEFORE THE BACKFLOW ASSEMBLY IS INSTALLED AND PUT INTO SERVICE. THE UNDERGROUND PIPING FLUSHING FLOW RATE SHALL NOT BE LESS THAN OF THE OPTIONS LISTED IN NFPA 24. A COPY OF THE TESTING DOCUMENTS IS TO BE PRESENTED TO THE LOCAL FIRE OFFICIAL AT THE COMPLETION OF THE TEST.
- UNDERGROUND HYDROSTATIC TO BE COMPLETED PRIOR TO THE FIRE SERVICE MAIN BEING COVERED. THE PIPING SHALL BE HYDROSTATICALLY TESTED AT TWO HUNDRED PSI (COO) AND WILL MAINTAIN THAT PRESSURE WITHOUT LOSS FOR TWO HOURS (2).



P2 Precast Concrete Grease Basin Detail
Not to Scale



P1 00 UNDERGROUND PLAN
1/8" = 1'-0"

FitzGerald
Associates Architects
912 W. Lake St. Chicago, Illinois
t 312-563-9100 f 312-563-1919
www.fitzgeraldassociates.net

CONSULTANT:
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657 West Randolph Street, #103
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p (312) 993-0438

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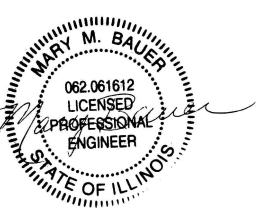
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△	Owner Revisions	03/14/2018
△	Permit Revisions	02/01/2018
1	Issued for Permit/Bid	03/24/2017
#	DESCRIPTION	DATE



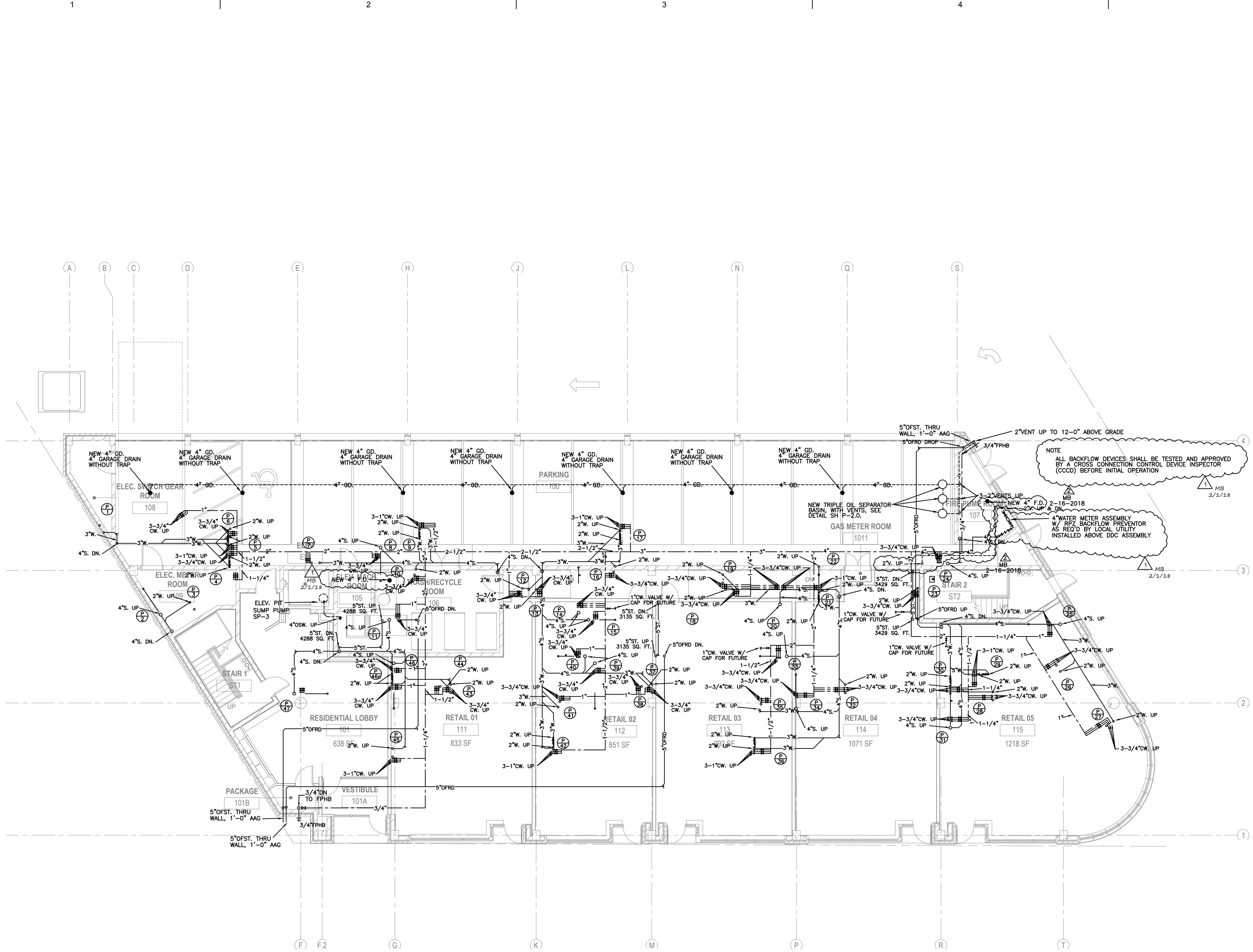
UNDERGROUND PLUMBING PLAN

P1-00



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M1 01 FIRST FLOOR
1/8" = 1'-0"



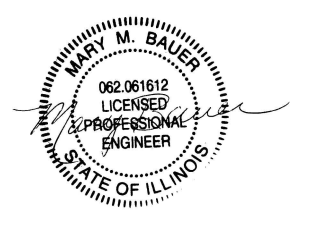
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f 312-563-1919
www.fitzgeraldassociates.net

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Consulting MEP Engineers
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Chicago, IL 60661
p (312) 993-0438

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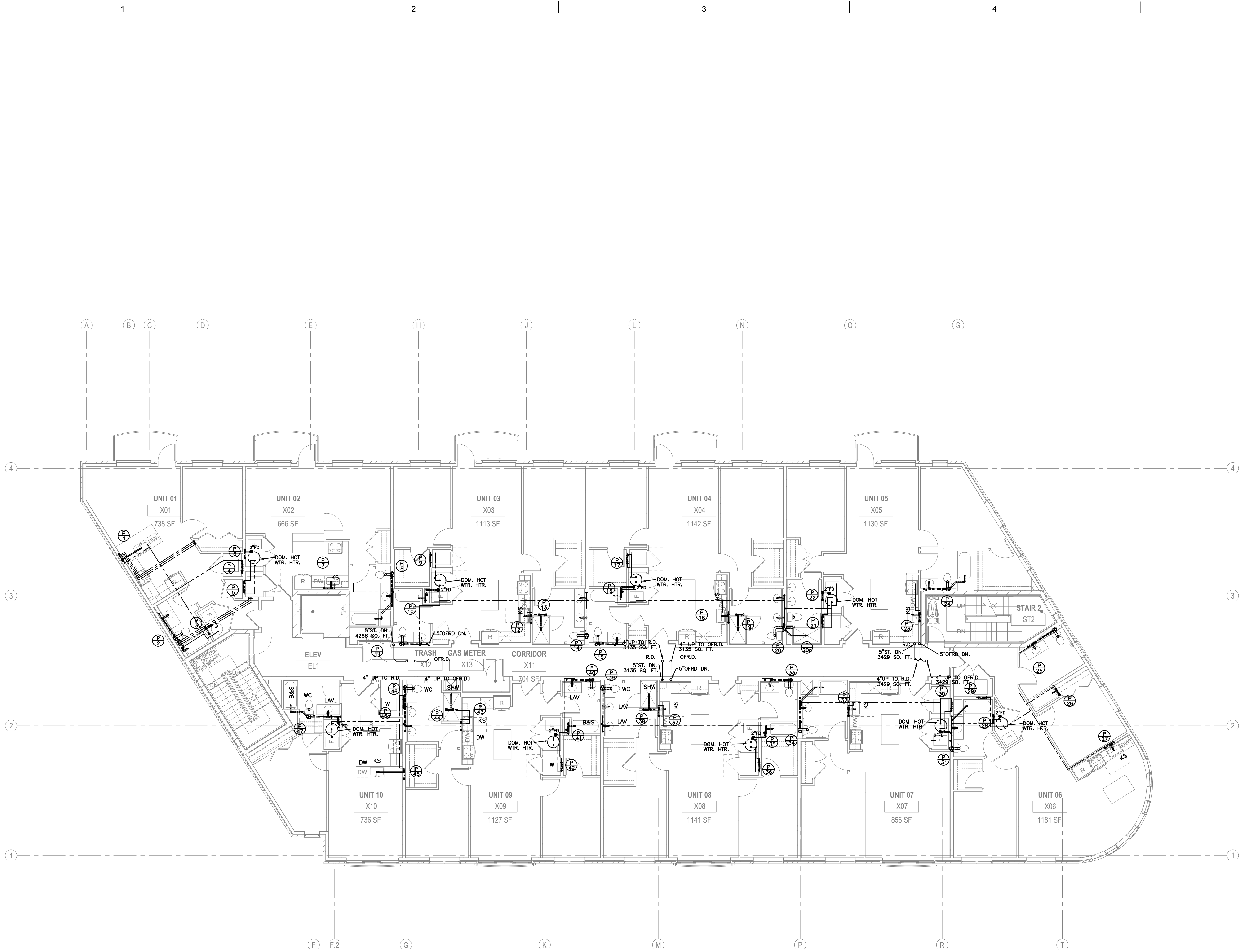
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FIRST FLOOR
PLAN

P1-01

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P1 02 SECOND FLOOR- 04 FOURTH FLOOR PLAN
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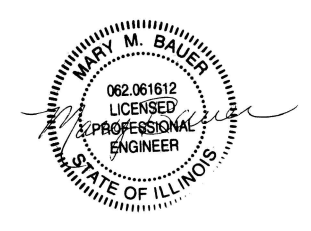
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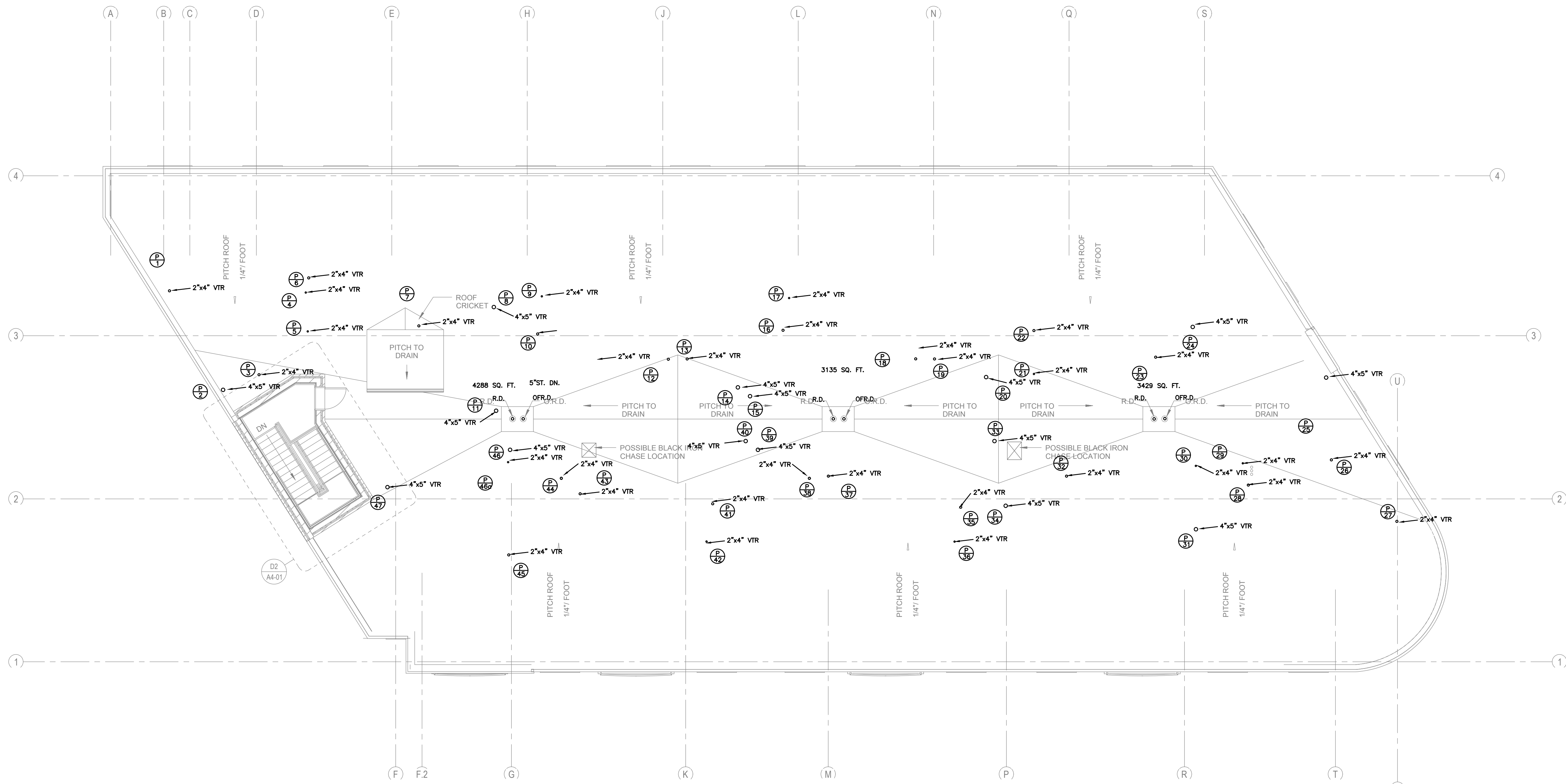
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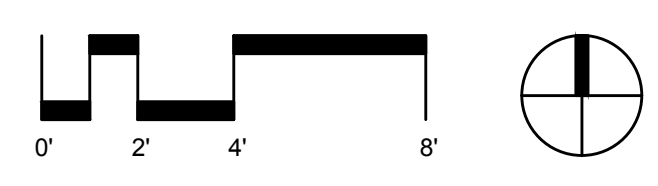
SECOND-FOURTH FLOOR PLAN TYPICAL

P1-02

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P1-03 ROOF PLAN
1/8" = 1'-0"



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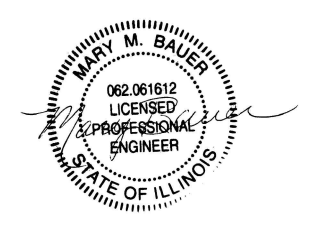
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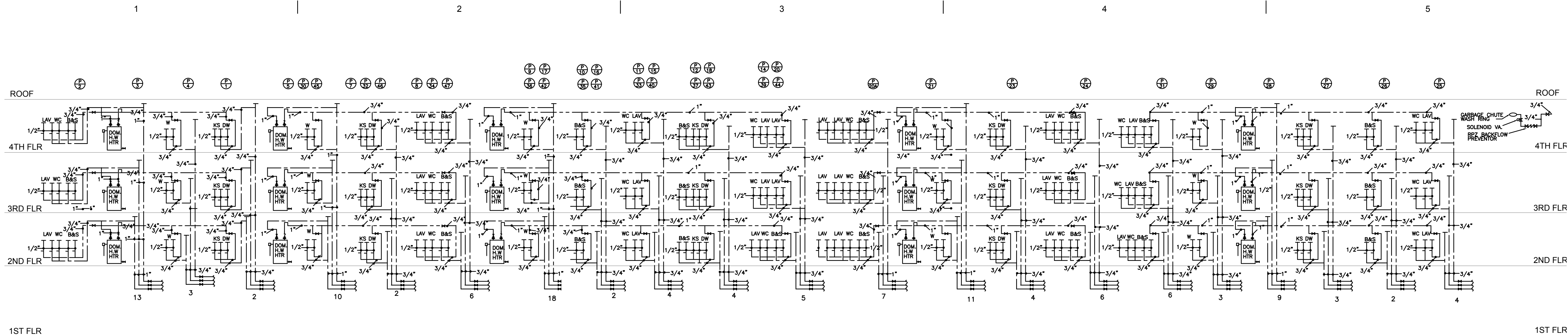


ROOF PLAN

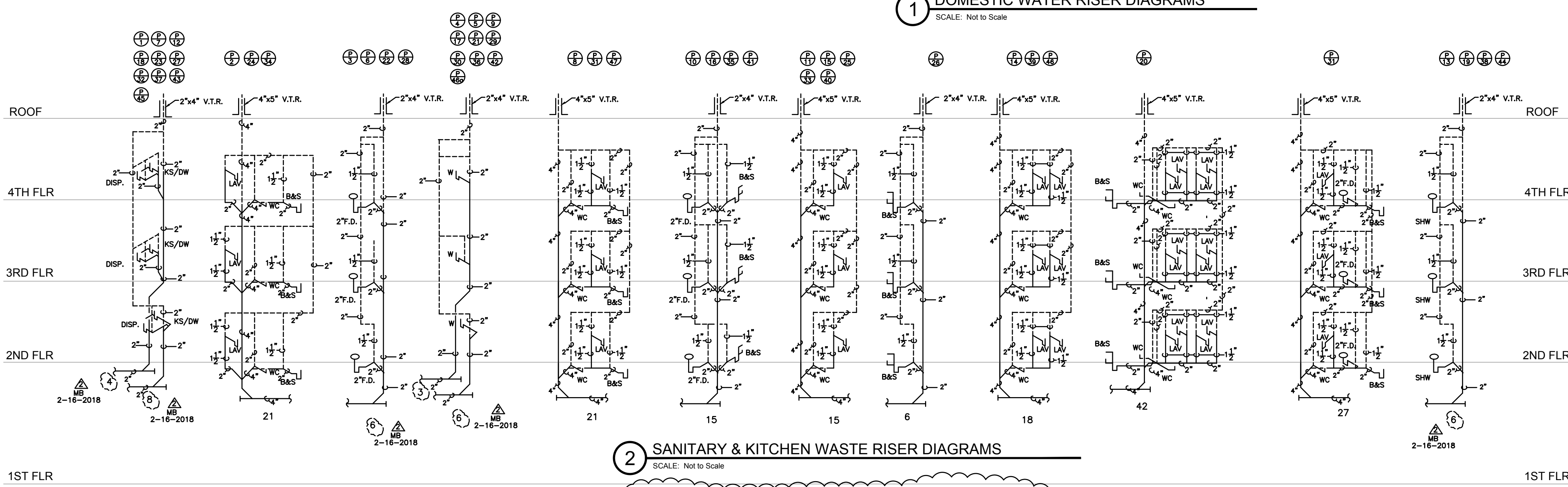
P1-03

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1 DOMESTIC WATER RISER DIAGRAMS
SCALE: Not to Scale

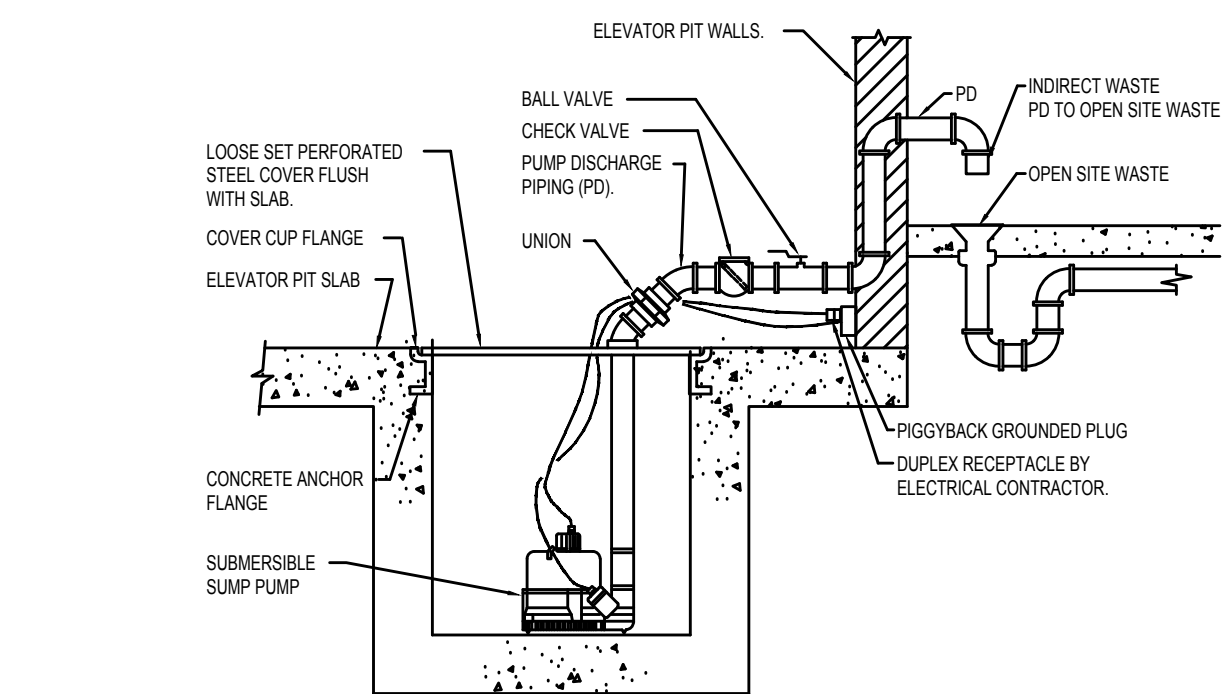


2 SANITARY & KITCHEN WASTE RISER DIAGRAMS
SCALE: Not to Scale

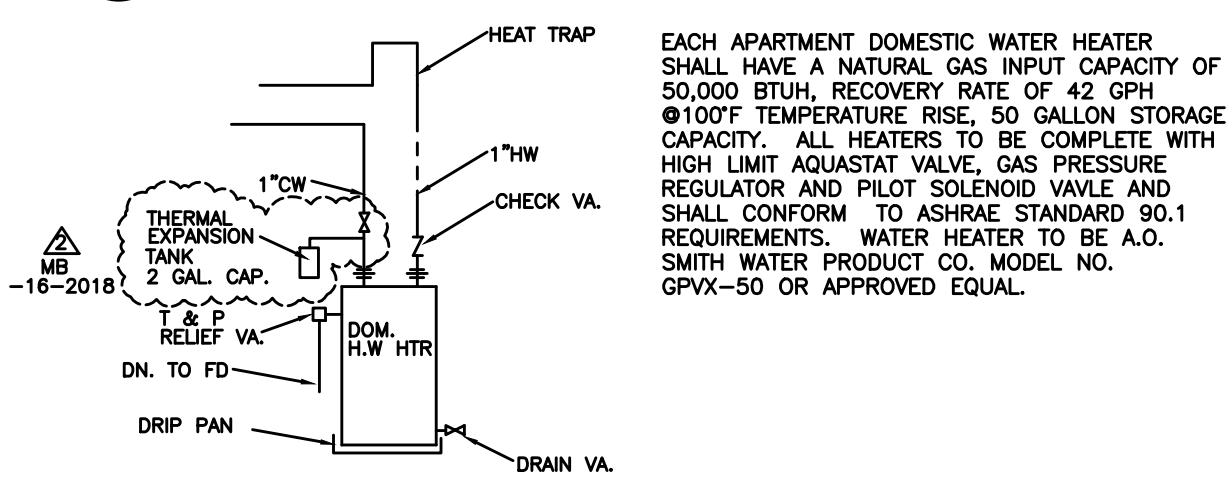
NOTE:
1. PLUMBING INSPECTOR SHALL FIELD VERIFY THE DRAIN, WASTE, VENT AND WATER DISTRIBUTION SYSTEM WILL BE PROPERLY SIZED IN ACCORDANCE WITH THE APPROPRIATE TABLES FOUND IN 890.APPENDIX A.

PLUMBING LEGEND & ABBREVIATIONS		
SYMBOL	ABBREV	DESCRIPTION
— ST —	ST	STORM WATER PIPE
— SAN or S —	SAN or S	SANITARY SEWER PIPE
— KW or W —	KW	KITCHEN WASTE SEWER PIPE
— V —	V	VENT PIPE
— CW —	CW	COLD WATER PIPE
— HW —	HW	HOT WATER PIPE
— G —	G	GAS PIPE
— BFP —	BFP	BACKFLOW PREVENTER
— BV —	BV	BALL VALVE
— CV —	CV	CHECKVALVE
— CO —	CO	CLEANOUT, INLINE OR FLUSH
— FD —	FD	FLOOR DRAIN
— GV —	GV	GATE VALVE
— OS&Y —	OS&Y	OUTSIDE SCREW AND YOKE VALVE
—>		PIPE TURNED DOWN
—o—		PIPE TURNED UP
— PV —	PV	PLUG VALVE
— PRV —	PRV	PRESSURE REDUCING VALVE
— SA —	SA	SHOCK ABSORBER
— STNR —	STNR	STRAINER
— T&P —	T&P	TEMPERATURE AND PRESSURE RELIEF VALVE
— UN —	UN	UNION
— HWR —	HWR	HOT WATER RETURN
— VB —	VB	VACUUM BREAKER
— V —	V	VALVE IN VERTICAL PIPE
— WH —	WH	WALL HYDRANT

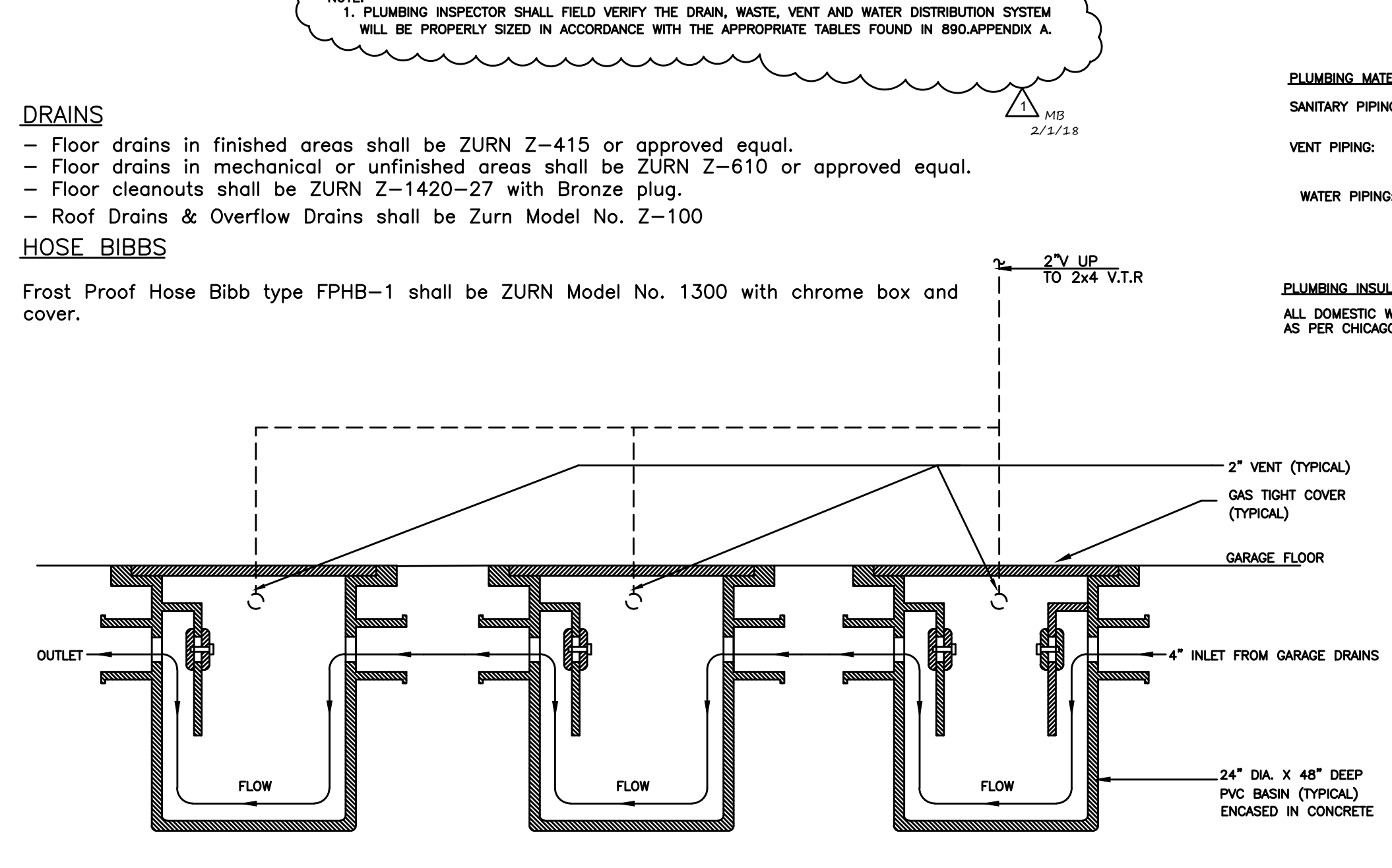
PLUMBING MATERIALS
SANITARY PIPING: 2-1/2" & LARGER: BELL & SPIGOT CAST IRON LEAD & OAKUM OR SCHEDULE 40 PVC
 2" & SMALLER: COPPER OR SCHEDULE 40 GALVANIZED STEEL OR SCHEDULE 40 PVC
VENT PIPING: 2-1/2" & LARGER: BELL & SPIGOT CAST IRON OR SCHEDULE 40 PVC
 2" & SMALLER: COPPER OR SCHEDULE 40 GALVANIZED STEEL OR SCHEDULE 40 PVC
WATER PIPING: SUSPENDED - TYPE L COPPER W/ COPPER FITTINGS ONLY
 UNDERGROUND - SERVICE WGT. CAST IRON
 UNDERGROUND - TYPE K COPPER
 ALL AIR CHAMBERS AT PLUMBING FIXTURES SHALL BE 12" HIGH.
 ALL AIR CHAMBERS FOR PLUMBING RISERS SHALL BE 24" HIGH.
PLUMBING INSULATION FOR DOM. WATER PIPING
 ALL DOMESTIC WATER PIPING SHALL BE INSULATED IN 1/2" FIBERGLASS INSULATION W/ VAPOR BARRIER AS PER CHICAGO ENERGY CODE.



3 ELEVATOR PIT SUBMERSIBLE PUMP DETAIL
SCALE: Not to Scale



4 GAS FIRED DOMESTIC WATER HEATER DETAIL
SCALE: Not to Scale



5 TRIPLE OIL BASIN SEPARATOR DETAIL
SCALE: Not to Scale

FIXTURE ROUGH-IN PIPE SIZES												
FIXTURE	TAG	RISER AND AIR CHAMBER FOR FIXTURE		FIXTURE RIBBLE (VALVE INLET)		CODE REQUIREMENTS		MOUNTING HEIGHT (FLR. TO RIM)	ELEC.	MFG.	MODEL	REMARKS
		HW	CW	HW	CW	WASTE	VENT					
SINK	KS	3/4"	3/4"	1/2"	1/2"	1 1/2"	1 1/2"	-	-	SEE ARCH	SEE ARCH	DOUBLE COMPARTMENT STAINLESS STEEL SINK, 3-HOLE MOEN WT430
WATER CLOSET	WC	-	1/2"	-	1/2"	4"	2"	-	-	SEE ARCH	SEE ARCH	
LAVATORY	LAV	1/2"	1/2"	1/2"	1/2"	1-1/2"	1-1/2"	-	-	SEE ARCH	SEE ARCH	MOEN LAVATORY FAUCET 8432
BATH & SHOWER	B&S	1/2"	1/2"	1/2"	1/2"	2"	2"	-	-	SEE ARCH	SEE ARCH	SHOWER VALVE SHALL BE PRESSURE BALANCE AND ANTI-SCALD TYPE WITH TEMPERATURE SETPOINT- TL181 W/ 6307-EP & 3868EP
SHOWER	SHW	1/2"	1/2"	1/2"	1/2"	2"	2"	-	-	SEE ARCH	SEE ARCH	SHOWER VALVE SHALL BE PRESSURE BALANCE AND ANTI-SCALD TYPE WITH TEMPERATURE SETPOINT- TL181 W/ 6307-EP
WASHER	W	3/4"	3/4"	1/2"	1/2"	2"	2"	-	-	SEE ARCH	SEE ARCH	FURNISH AND INSTALL GRAY-GRAY BOX FOR WASHER
SINK	KS	3/4"	3/4"	1/2"	1/2"	2"	2"	-	-	SEE ARCH	SEE ARCH	
DISHWASHER	DW	3/4"	-	1/2"	-	2"	2"	-	-	SEE ARCH	SEE ARCH	
DISPOSEAL	DISP.	3/4"	3/4"	1/2"	1/2"	2"	2"	-	-	SEE ARCH	SEE ARCH	

NOTE:
 1. ALL PLUMBING FIXTURES SHALL BE LABELED AS "WATERSENSE" PRODUCT AS SPECIFIED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY.
 2. ALL HAND HELD SHOWER SPRAY UNITS SHALL HAVE AN ATMOSPHERIC VACUUM BREAKER INSTALLED IN-LINE CONFORMING TO ASSE 104
 3. ALL PRIVATE SHOWER AND SHOWER-BATH COMBINATIONS VALVES SHALL COMPLY WITH ASSE 16, ASSE 1017 OR ASSE1070 ADJUSTED TO A MAXIMUM SETTING OF ONE HUNDRED AND FIFTEEN DEGREES (115 DEG.) AT THE TIME OF INSTALLATION.
 4. ALL ACCESSIBLE SHOWER AND SHOWER-BATH COMBINATIONS VALVES SHALL COMPLY WITH ASSE 16, ASSE 1017 OR ASSE1070 ADJUSTED TO A MAXIMUM SETTING OF ONE HUNDRED AND TEN DEGREES (110 DEG.) FAHRENHEIT AT THE TIME OF INSTALLATION.
 5. ALL ACCESSIBLE LAVATORY FAUCETS SHALL COMPLY WITH ASSE 16, ASSE 1017 OR ASSE1070 ADJUSTED TO A MAXIMUM SETTING OF ONE HUNDRED AND TEN DEGREES (110 DEG.) FAHRENHEIT AT THE TIME OF INSTALLATION.

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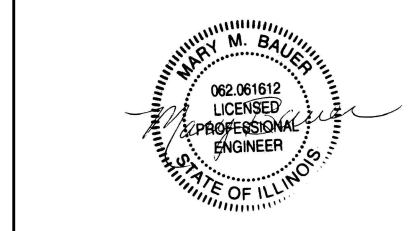
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Riser Diagrams, Schedules & Notes

P2-00

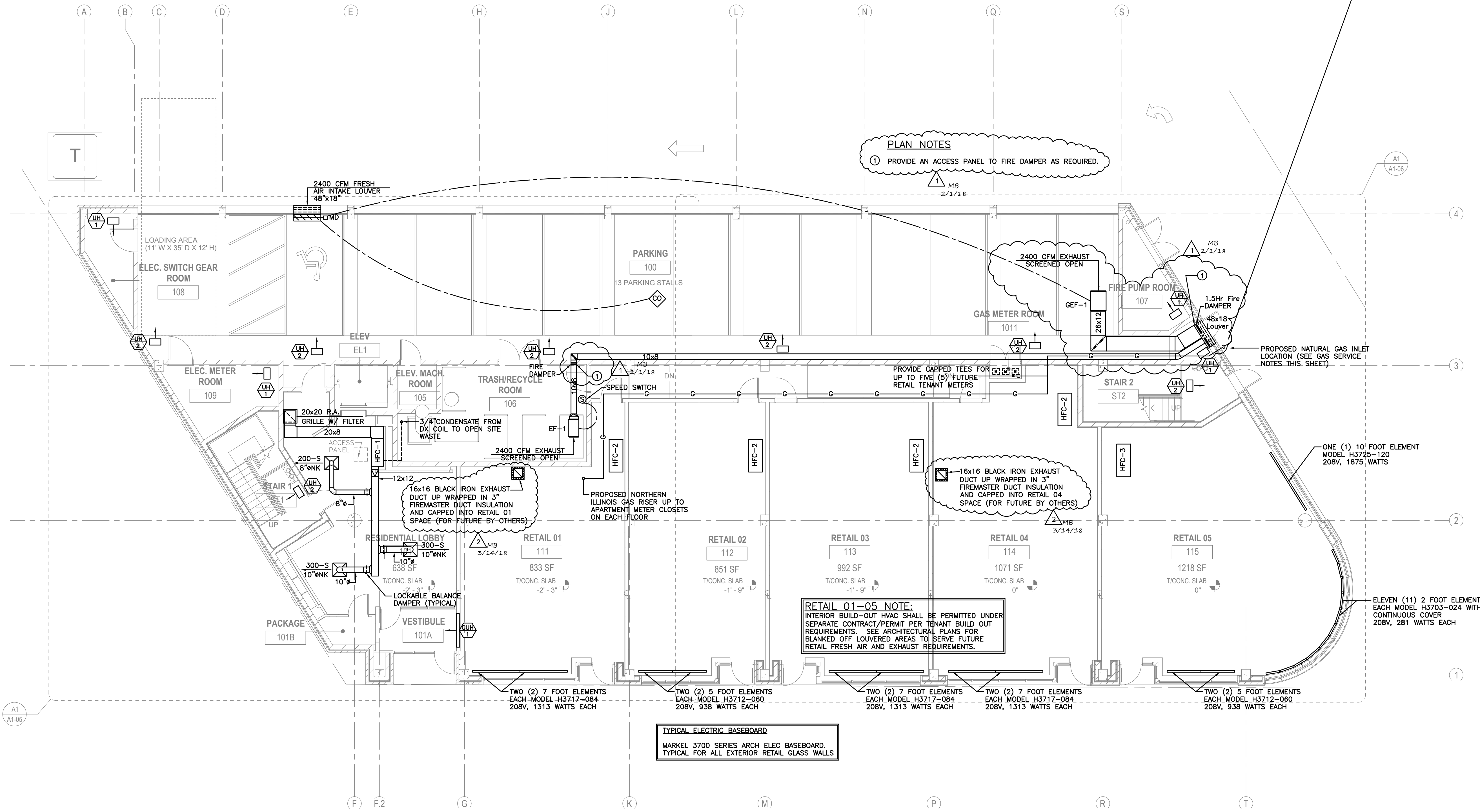
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ADDITIONAL GAS PIPING NOTES:

- FUEL GAS PIPING AND CONTROLS MUST CONFORM TO THE INTERNATIONAL FUEL GAS CODE (IFGC), CHAPTER 4 (with modifications as noted in Article 14) [18-28-1400]
- GAS PIPING MUST BE SIZED IN ACCORDANCE WITH IFGC TABLES 402.1(1) THRU 402.3(4) [IFGC 402.3]
- MAXIMUM DESIGN OPERATING PRESSURE FOR GAS PIPING SYSTEMS LOCATED INSIDE BUILDINGS SHALL NOT EXCEED 5 PSIG [IFGC 402.5]
- GAS PIPING MATERIALS MUST CONFORM TO THE GAS PIPING AND TUBING MATERIAL MATRIX (IFGC 403 REQUIREMENTS) [IFGC 403]
- CONCEALED FITTINGS ARE NOT ALLOWED IN THE CITY OF CHICAGO IN CSST SYSTEMS EXCEPT FOR CONNECTIONS OF CSST TO THRU-WALL RIGID PIPE AT METERS AND APPLIANCE STUB-OUTS.
- PIPING IN CONCEALED LOCATIONS MUST CONFORM TO IFGC 404.3 [IFGC 404.3]
- GAS PIPING MUST BE SLOPED 1/4" IN EVERY 15 FEET. [IFGC 408.1]
- APPLIANCE SHUT-OFF LOCATIONS MUST CONFORM TO IFGC 409.5 [IFGC 409.5]

GAS SERVICE NOTE:

MEDIUM PRESSURE 2lb OR LOW PRESSURE GAS SERVICE TO BE COORDINATED WITH LOCAL GAS UTILITY COMPANY (NORTHSHORE GAS COMPANY) AS REQUIRED. ALL FINAL GAS PIPING TO BE SIZED BASED UPON SERVICE PRESSURE AFTER EACH FINAL METER. CONTRACTOR TO SIZE ACCORDINGLY IN ACCORDANCE WITH INTERNATIONAL FUEL GAS CODE (IFGC) LATEST EDITION SIZING TABLES. GAS PIPING SHALL BE EXTENDED TO ALL GAS FIRED EQUIPMENT IN PROJECT AS REQUIRED. PROVIDE ALL NECESSARY COMPONENTS FOR EACH GAS FIRED DEVICE TO INCLUDE, BUT NOT LIMITED TO, DIRT LEGS, EQUIPMENT GAS REGULATORS, UNIONS, GAS COCKS, ET CETERA FOR A COMPLETE INSTALLATION TO ALL GAS FIRED EQUIPMENT LOCATED IN APARTMENTS TO INCLUDE FURNACES, DOMESTIC WATER HEATERS, GAS DRYERS AND GAS RANGES, AND ROOFTOP CORRIDOR SUPPLY UNIT. COORDINATE PROPOSED RETAIL METER CLOSET ON FIRST FLOOR AND TYPICAL FLOOR GAS METER CLOSETS ON EACH WITH NORTHERN ILLINOIS GAS COMPANY PROJECT MANAGER. CONTRACTOR TO SUBMIT FINAL GAS LOADS TO NORTHERN ILLINOIS GAS COMPANY AND APPLY FOR SERVICE AS REQUIRED.



PLAN NOTES

1 PROVIDE AN ACCESS PANEL TO FIRE DAMPER AS REQUIRED.

RETAIL 01-05 NOTE:
 INTERIOR BUILD-OUT HVAC SHALL BE PERMITTED UNDER SEPARATE CONTRACT/PERMIT PER TENANT BUILD OUT REQUIREMENTS. SEE ARCHITECTURAL PLANS FOR BLANKED OFF LOUVERED AREAS TO SERVE FUTURE RETAIL FRESH AIR AND EXHAUST REQUIREMENTS.

TYPICAL ELECTRIC BASEBOARD
 MARKEL 3700 SERIES ARCH ELEC BASEBOARD, TYPICAL FOR ALL EXTERIOR RETAIL GLASS WALLS.

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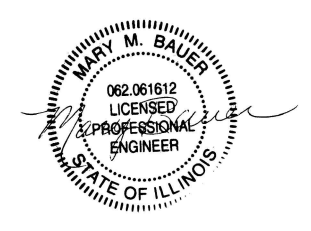
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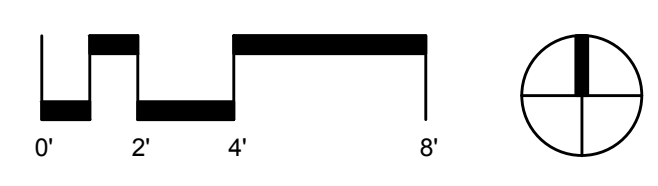
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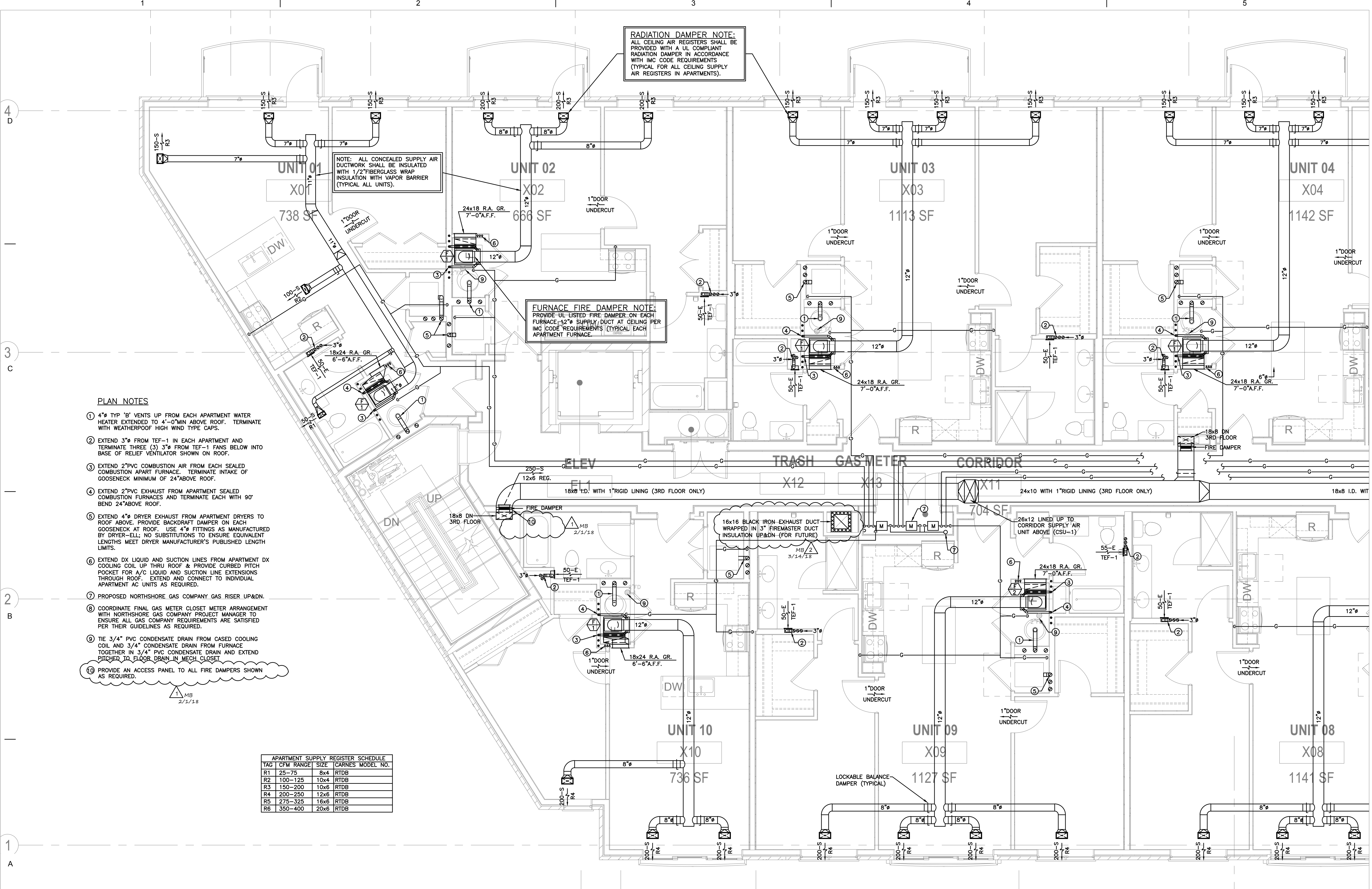
FIRST FLOOR PLAN

M1-01

M1 01 FIRST FLOOR
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RADIATION DAMPER NOTE:
 ALL CEILING AIR REGISTERS SHALL BE PROVIDED WITH A UL COMPLIANT RADIATION DAMPER IN ACCORDANCE WITH IMC CODE REQUIREMENTS (TYPICAL FOR ALL CEILING SUPPLY AIR REGISTERS IN APARTMENTS).

NOTE: ALL CONCEALED SUPPLY AIR DUCTWORK SHALL BE INSULATED WITH 1/2" FIBERGLASS WRAP INSULATION WITH VAPOR BARRIER (TYPICAL ALL UNITS).

FURNACE FIRE DAMPER NOTE:
 PROVIDE UL LISTED FIRE DAMPER ON EACH FURNACE 12" SUPPLY DUCT AT CEILING PER IMC CODE REQUIREMENTS (TYPICAL EACH APARTMENT FURNACE).

PLAN NOTES

- ① 4" TYP 'B' VENTS UP FROM EACH APARTMENT WATER HEATER EXTENDED TO 4'-0" MIN ABOVE ROOF. TERMINATE WITH WEATHERPROOF HIGH WIND TYPE CAPS.
- ② EXTEND 3" FROM TEF-1 IN EACH APARTMENT AND TERMINATE THREE (3) 3" FROM TEF-1 FANS BELOW INTO BASE OF RELIEF VENTILATOR SHOWN ON ROOF.
- ③ EXTEND 2" PVC COMBUSTION AIR FROM EACH SEALED COMBUSTION APART FURNACE. TERMINATE INTAKE OF GOOSENECK MINIMUM OF 24" ABOVE ROOF.
- ④ EXTEND 2" PVC EXHAUST FROM APARTMENT SEALED COMBUSTION FURNACES AND TERMINATE EACH WITH 90° BEND 24" ABOVE ROOF.
- ⑤ EXTEND 4" DRYER EXHAUST FROM APARTMENT DRYERS TO ROOF ABOVE. PROVIDE BACKDRAFT DAMPER ON EACH GOOSENECK AT ROOF. USE 4" FITTINGS AS MANUFACTURED BY DRYER-ELL; NO SUBSTITUTIONS TO ENSURE EQUIVALENT LENGTHS MEET DRYER MANUFACTURER'S PUBLISHED LENGTH LIMITS.
- ⑥ EXTEND DX LIQUID AND SUCTION LINES FROM APARTMENT DX COOLING COIL UP THRU ROOF & PROVIDE CURBED PITCH POCKET FOR A/C LIQUID AND SUCTION LINE EXTENSIONS THROUGH ROOF. EXTEND AND CONNECT TO INDIVIDUAL APARTMENT AC UNITS AS REQUIRED.
- ⑦ PROPOSED NORTHSHORE GAS COMPANY GAS RISER UP&DN.
- ⑧ COORDINATE FINAL GAS METER CLOSET METER ARRANGEMENT WITH NORTHSHORE GAS COMPANY PROJECT MANAGER TO ENSURE ALL GAS COMPANY REQUIREMENTS ARE SATISFIED PER THEIR GUIDELINES AS REQUIRED.
- ⑨ TIE 3/4" PVC CONDENSATE DRAIN FROM CASED COOLING COIL AND 3/4" CONDENSATE DRAIN FROM FURNACE TOGETHER IN 3/4" PVC CONDENSATE DRAIN AND EXTEND FITTED TO FLOOR DRAIN IN MECH CLOSET
- ⑩ PROVIDE AN ACCESS PANEL TO ALL FIRE DAMPERS SHOWN AS REQUIRED.

APARTMENT SUPPLY REGISTER SCHEDULE			
TAG	CFM RANGE	SIZE	CARNES MODEL NO.
R1	25-75	8x4	RTDB
R2	100-125	10x4	RTDB
R3	150-200	10x6	RTDB
R4	200-250	12x6	RTDB
R5	275-325	16x6	RTDB
R6	350-400	20x6	RTDB

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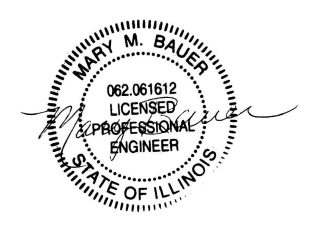
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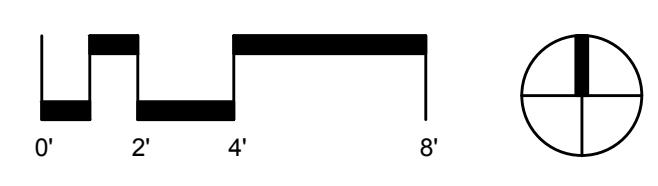
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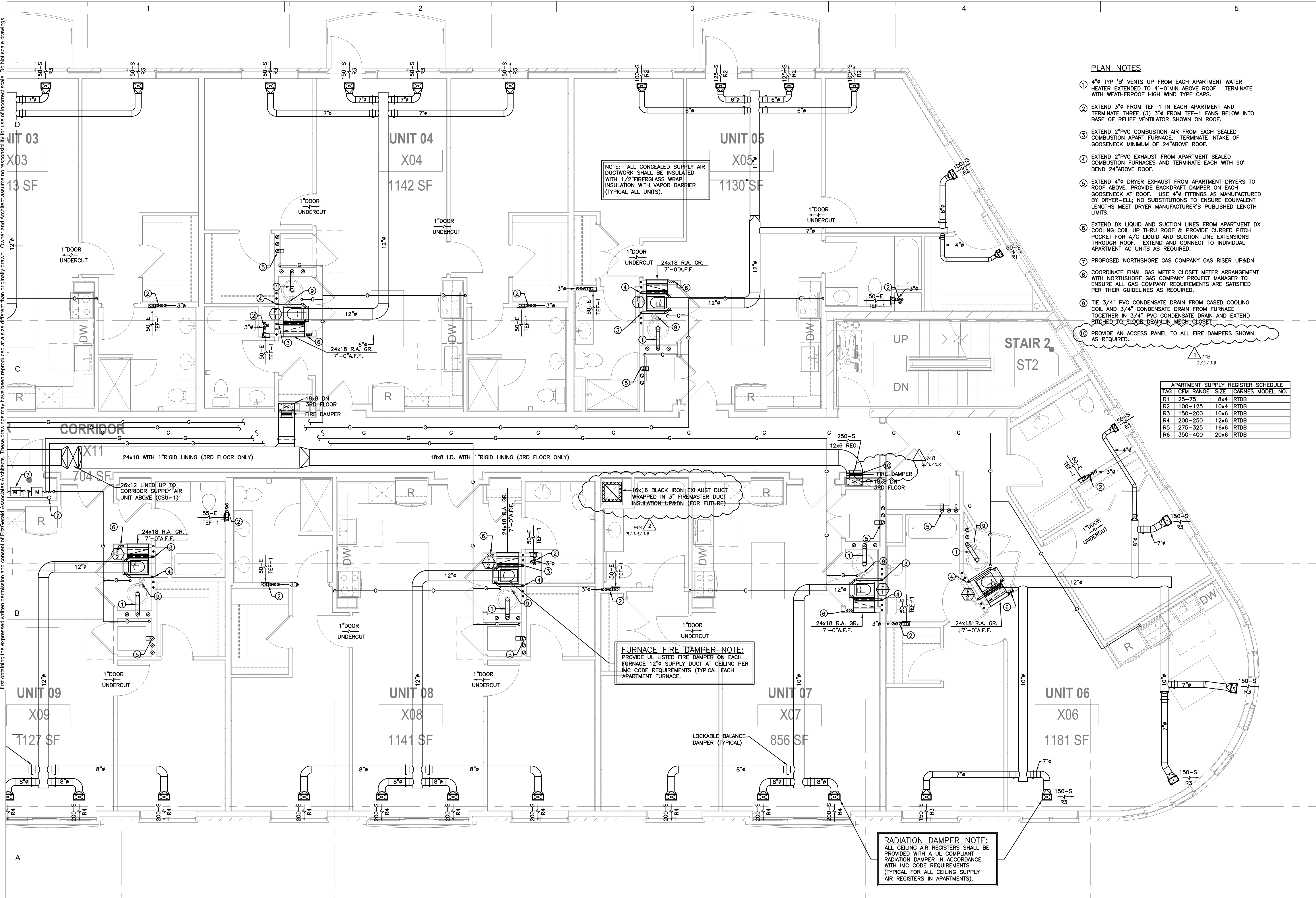
PARTIAL PLAN EAST
 SECOND-FOURTH
 FLOOR PLAN
 TYPICAL

M1-02A

M1 PARTIAL PLAN WEST: 02A SECOND FLOOR- 04 FOURTH FLOOR PLAN
 1/4" = 1'-0"



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- PLAN NOTES**
- 4" TYP. "B" VENTS UP FROM EACH APARTMENT WATER HEATER EXTENDED TO 4'-0" MIN ABOVE ROOF. TERMINATE WITH WEATHERPOOF HIGH WIND TYPE CAPS.
 - EXTEND 3" FROM TEF-1 IN EACH APARTMENT AND TERMINATE THREE (3) 3" FROM TEF-1 FANS BELOW INTO BASE OF RELIEF VENTILATOR SHOWN ON ROOF.
 - EXTEND 2" PVC COMBUSTION AIR FROM EACH SEALED COMBUSTION APART FURNACE. TERMINATE INTAKE OF GOOSENECK MINIMUM OF 24" ABOVE ROOF.
 - EXTEND 2" PVC EXHAUST FROM APARTMENT SEALED COMBUSTION FURNACES AND TERMINATE EACH WITH 90° BEND 24" ABOVE ROOF.
 - EXTEND 4" DRYER EXHAUST FROM APARTMENT DRYERS TO ROOF ABOVE. PROVIDE BACKDRAFT DAMPER ON EACH GOOSENECK AT ROOF. USE 4" FITTINGS AS MANUFACTURED BY DRYER-ELL; NO SUBSTITUTIONS TO ENSURE EQUIVALENT LENGTHS MEET DRYER MANUFACTURER'S PUBLISHED LENGTH LIMITS.
 - EXTEND DX LIQUID AND SUCTION LINES FROM APARTMENT DX COOLING COIL UP THRU ROOF & PROVIDE CURBED PITCH POCKET FOR A/C LIQUID AND SUCTION LINE EXTENSIONS THROUGH ROOF. EXTEND AND CONNECT TO INDIVIDUAL APARTMENT AC UNITS AS REQUIRED.
 - PROPOSED NORTHSORE GAS COMPANY GAS RISER UP&DN.
 - COORDINATE FINAL GAS METER CLOSET METER ARRANGEMENT WITH NORTHSORE GAS COMPANY PROJECT MANAGER TO ENSURE ALL GAS COMPANY REQUIREMENTS ARE SATISFIED PER THEIR GUIDELINES AS REQUIRED.
 - TIE 3/4" PVC CONDENSATE DRAIN FROM CASED COOLING COIL AND 3/4" PVC CONDENSATE DRAIN FROM FURNACE TOGETHER IN 3/4" PVC CONDENSATE DRAIN AND EXTEND PERCHED TO FLOOR DRAIN IN MESH CLOSET.
 - PROVIDE AN ACCESS PANEL TO ALL FIRE DAMPERS SHOWN AS REQUIRED.

APARTMENT SUPPLY REGISTER SCHEDULE			
TAG	CFM RANGE	SIZE	CARNES MODEL NO.
R1	25-75	8x4	RTDB
R2	100-125	10x4	RTDB
R3	150-200	10x6	RTDB
R4	200-250	12x6	RTDB
R5	275-325	16x6	RTDB
R6	350-400	20x6	RTDB

FitzGerald
 Associates Architects
 912 W. Lake St. Chicago, Illinois 60661
 t 312-563-9100 f 312-563-1919
 www.fitzgeraldassociates.net

CONSULTANT:
 KHATIB AND ASSOCIATES, INC.
 Consulting MEP Engineers
 557 West Randolph Street, #103
 Chicago, IL 60661
 p (312) 993-0438

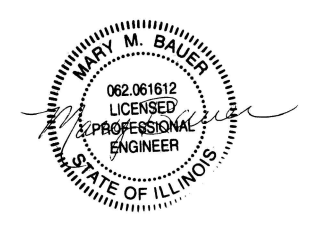
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 Highland Park, IL 60035

CLIENT:
 Imperial Realty Co.

4747 W. Peterson Ave.
 Suite 200
 Chicago, IL 60646

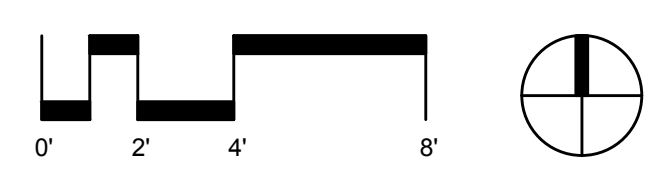
2	Owner Revisions	03/14/2018
1	Permit Revisions	02/01/2018
1	Issued for Permit/Bid	03/24/2017
#	DESCRIPTION	DATE



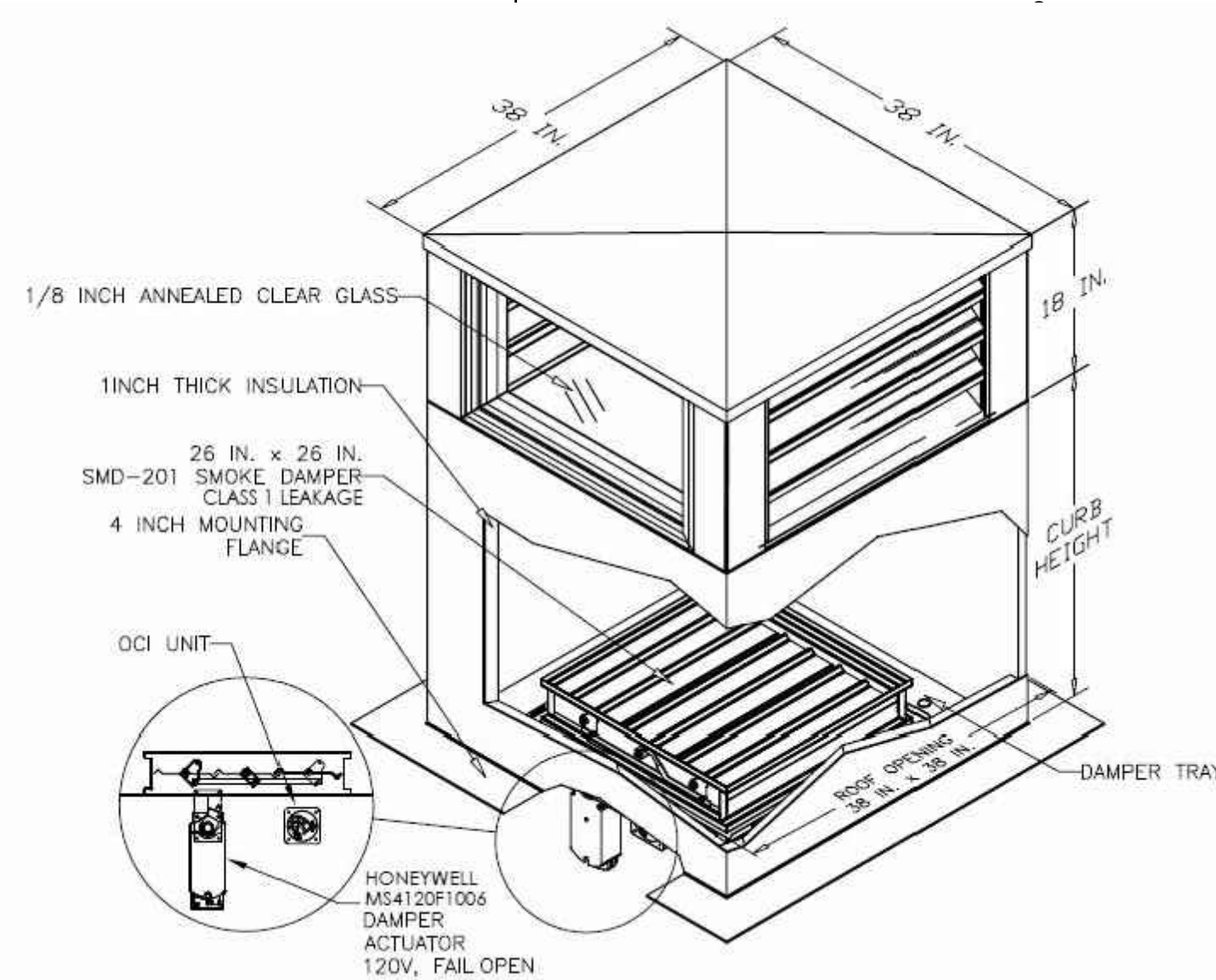
PARTIAL PLAN EAST
 SECOND-FOURTH
 FLOOR PLAN
 TYPICAL

M1-02B

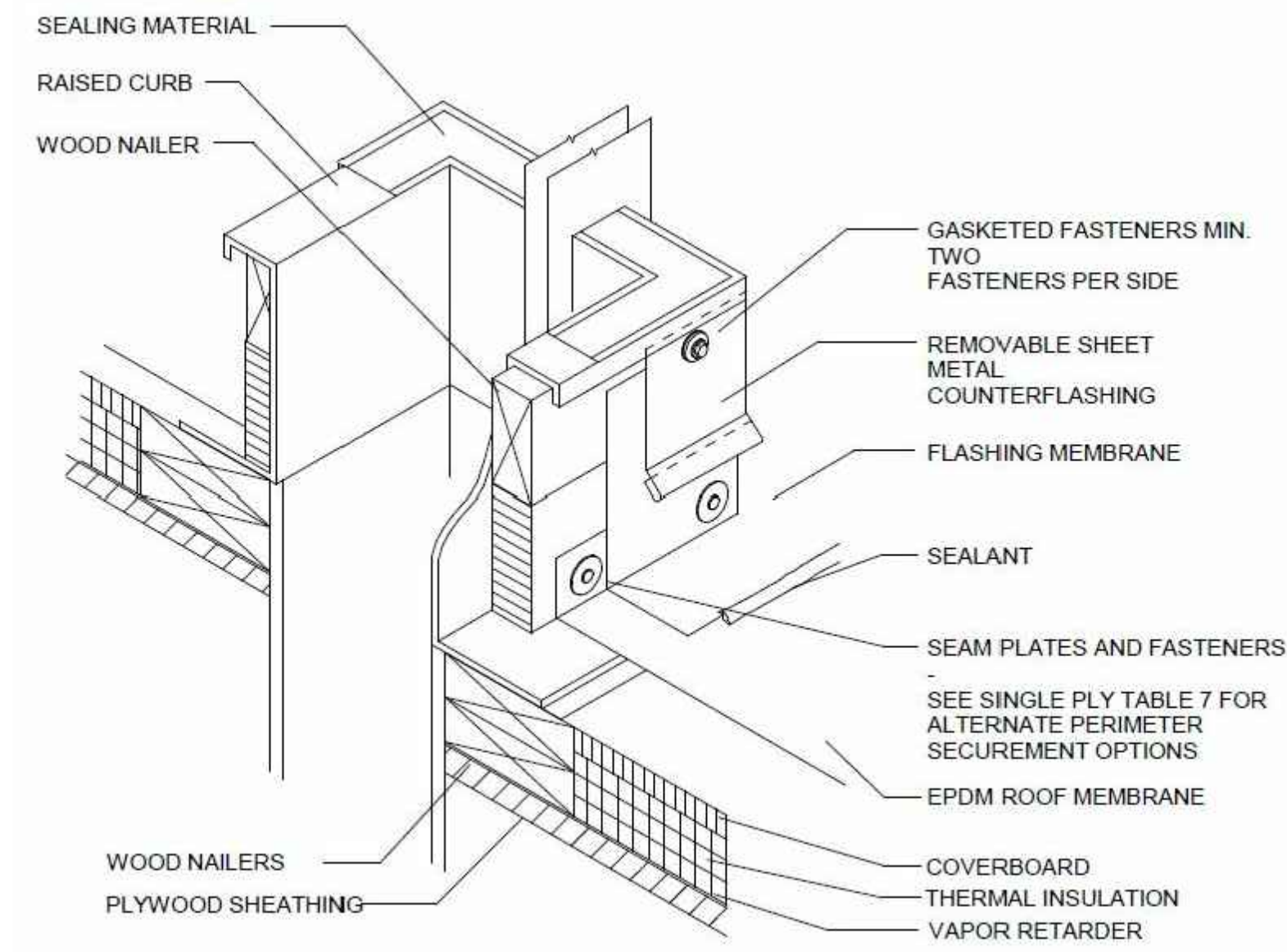
M1 PARTIAL PLAN EAST: 02A SECOND FLOOR- 04 FOURTH FLOOR PLAN
 1/4" = 1'-0"



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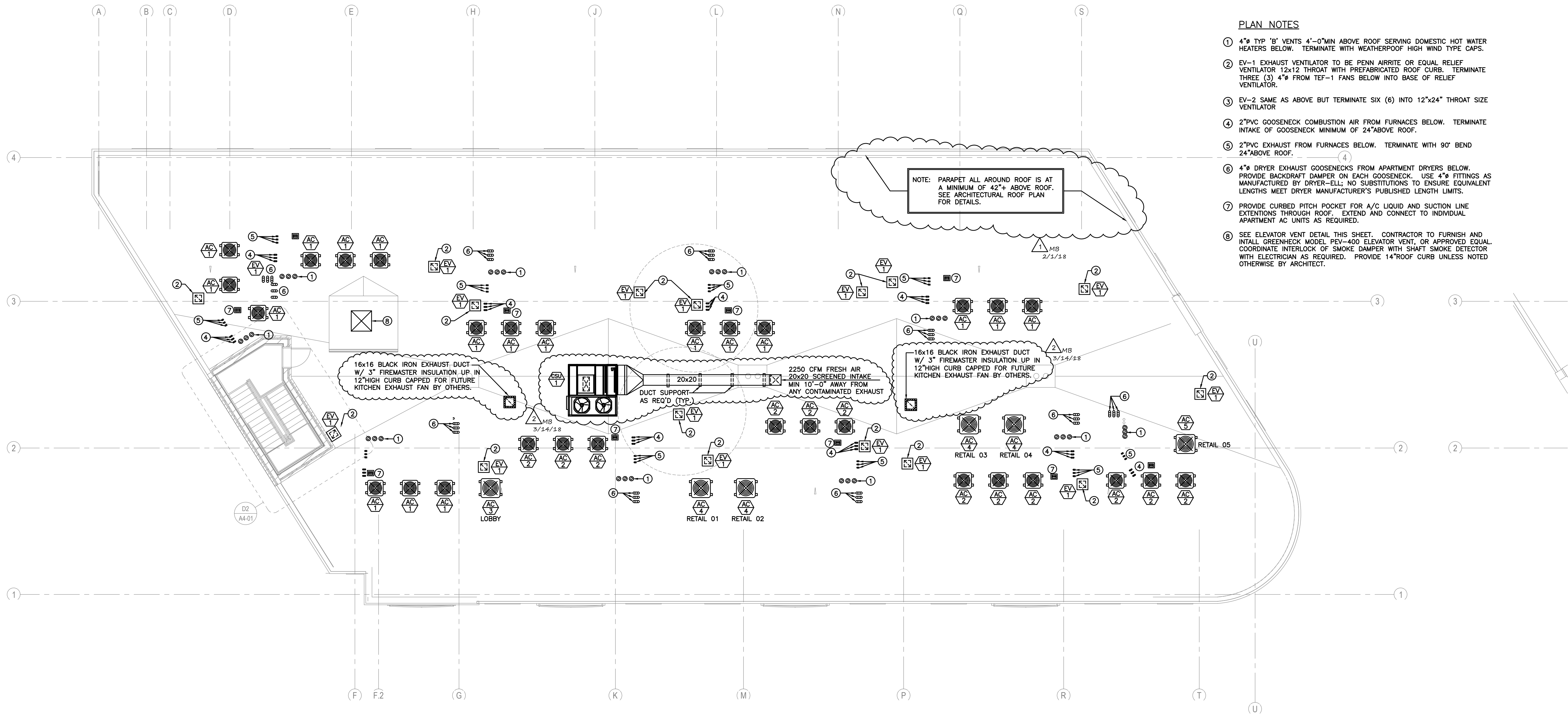


1 ELEVATOR VENT DETAIL
Not to Scale



2 MECHANICAL EQUIPMENT CURB FLASHING DETAIL
Not to Scale

PREFABRICATED ROOF CURB NOTE:
PACKAGED ROOFTOP UNIT CSU-1 AND ALL SHOWN EV VENTILATORS SHALL BE PROVIDED WITH MINIMUM 14" HIGH MANUFACTURER'S PREFABRICATED ROOF CURBS DESIGNED TO FIT AND CARRY WEIGHT OF EQUIPMENT AS REQUIRED. FLASHING AND COUNTER FLASHING OF SAME SHALL COMPLY OR EXCEED DETAILS AS SHOWN ON MECHANICAL EQUIPMENT CURB FLASHING DETAIL 2 THIS SHEET. CONTRACTOR TO COORDINATE FINAL LOCATIONS AND DETAILS WITH GENERAL CONTRACTOR AND ROOF CONTRACTOR AS REQUIRED.



- PLAN NOTES**
- 4" TYP "B" VENTS 4'-0" MIN ABOVE ROOF SERVING DOMESTIC HOT WATER HEATERS BELOW. TERMINATE WITH WEATHERPROOF HIGH WIND TYPE CAPS.
 - EV-1 EXHAUST VENTILATOR TO BE PENN AIRRITE OR EQUAL RELIEF VENTILATOR 12"12" THROAT WITH PREFABRICATED ROOF CURB. TERMINATE THREE (3) 4" FROM TEF-1 FANS BELOW INTO BASE OF RELIEF VENTILATOR.
 - EV-2 SAME AS ABOVE BUT TERMINATE SIX (6) INTO 12"x24" THROAT SIZE VENTILATOR
 - 2" PVC GOOSENECK COMBUSTION AIR FROM FURNACES BELOW. TERMINATE INTAKE OF GOOSENECK MINIMUM OF 24" ABOVE ROOF.
 - 2" PVC EXHAUST FROM FURNACES BELOW. TERMINATE WITH 90° BEND 24" ABOVE ROOF.
 - 4" DRYER EXHAUST GOOSENECKS FROM APARTMENT DRYERS BELOW. PROVIDE BACKDRAFT DAMPER ON EACH GOOSENECK. USE 4" FITTINGS AS MANUFACTURED BY DRYER-ELL; NO SUBSTITUTIONS TO ENSURE EQUIVALENT LENGTHS MEET DRYER MANUFACTURER'S PUBLISHED LENGTH LIMITS.
 - PROVIDE CURBED PITCH POCKET FOR A/C LIQUID AND SUCTION LINE EXTENSIONS THROUGH ROOF. EXTEND AND CONNECT TO INDIVIDUAL APARTMENT AC UNITS AS REQUIRED.
 - SEE ELEVATOR VENT DETAIL THIS SHEET. CONTRACTOR TO FURNISH AND INSTALL GREENHECK MODEL PEV-400 ELEVATOR VENT, OR APPROVED EQUAL. COORDINATE INTERLOCK OF SMOKE DAMPER WITH SHAFT SMOKE DETECTOR WITH ELECTRICIAN AS REQUIRED. PROVIDE 14" ROOF CURB UNLESS NOTED OTHERWISE BY ARCHITECT.

M1 03 ROOF PLAN
1/8" = 1'-0"

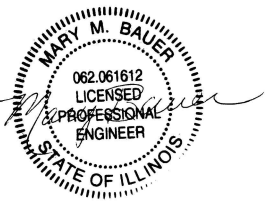


FitzGerald
Associates Architects
912 W. Lake St. Chicago, Illinois
t 312-563-9100
f 312-563-1919
www.fitzgeraldassociates.net

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KHATIB AND ASSOCIATES, INC.
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ROOF PLAN

M1-03

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APARTMENT FURNACE SCHEDULE WITH DX COOLING GAS HEAT															
TAG	SERVING	LOCATION	Cooling Coil Nom. Capacity	Cond. Unit Servng Clg. Coil	Nominal Cooling CFM	HEATING MBH		ECM Motor HP	ELECTRICAL				REMARKS		
						IN	OUT		VOLT	Ø	Hz	MIN AMPS		MAX FUSE	DAIKIN Model #
F-1	Apartment	Apt Furn Clost	1.5 Tons	AC-1	600	30.0	28.8	1/2	120	1	60	8.0	15.0	DM96VE0302BNAA	1,3,4,5
F-2	Apartment	Apt Furn Clost	2.0 Tons	AC-2	800	40.0	38.4	1/2	120	1	60	8.0	15.0	DM96VE0402BNAA	1,3,4,5

REMARKS: 1) COMPLETE WITH CASED 1.5-TON COOLING COIL AND PROGRAMMABLE 7-DAY DIGITAL DISPLAY THERMOSTAT.
 2) COMPLETE WITH CASED 2.0-TON COOLING COIL AND PROGRAMMABLE 7-DAY DIGITAL DISPLAY THERMOSTAT.
 3) EACH UNIT TO HAVE DUCTED RETURN AS SHOWN ON PLANS. PROVIDE MECHANICAL FILTER SECTION FOR 1" PLEATED FILTERS WITH MIN. MERV 12 FILTERS
 4) SEE ROOF PLAN FOR PROPOSED AC LOCATIONS ON ROOF.
 5) INSTALL PER MANUFACTURE'S INSTALLATION INSTRUCTIONS.

ELECTRIC UNIT HEATER & CABINET UNIT HEATER SCHEDULE												
TAG	ROOM # SERVING	MOUNTING	CFM	HTG (KW)	HTG (MBH)	ELECTRICAL				Markel Model #	REMARKS	
						VOLT	Ø	Hz	AMPS			
UH-1	SEE PLANS	ROOM WALL BRACKET MOUNTED	400	3.3	11.2	208	1	60	11.9	F3FUH03C03	Electric Unit Heater	1,2
UH-2	SEE PLANS	ROOM WALL BRACKET MOUNTED	400	5.0	17.1	208	3	60	24.1	F2FUH05C03	Electric Unit Heater	1,2
CUH-1	SEE PLANS	WALL MOUNTED	500	3.75	12.8	208	3		26.1	4100 SERIES M4145J603750T	WALL RECESSED	2

REMARKS: 1) COMPLETE WITH WALL BRACKET MOUNTED MINIMUM 7"-0" A.F.F.
 2) BUILT IN TAMPER PROOF THERMOSTAT

HORIZONTAL FAN COIL SCHEDULE WITH DX COOLING & ELECTRIC HEAT																
TAG	SERVING/LOCATION	Cooling Coil Nom. Capacity	Cond. Unit Servng Clg. Coil	Nominal Cooling CFM	ECM Motor HP	FAN COIL		ELECTRICAL		ELEC HEAT KIT DATA		Daikin Heat Kit Model #	REMARKS			
						VOLT	Ø	Hz	MIN Ckt. Ampacity	MAX FUSE	DAIKIN Model #			KW	VOLT	Ø
HFC-1	1st Floor Lobby	2.0 Tons	AC-3	800	1/2	208	1	60	4.9	15.0	DV24PVCC14AA	4.8	208	3	HKSC05XDA	1,2,3,4
HFC-2	Retail 01-04	4.0 Tons	AC-4	1600	1/2	208	1	60	4.9	15.0	DV48PVCC14AA	19.2	208	3	HKSC19XDA	1,2,3,4
HFC-3	Retail 05	5.0 Tons	AC-5	2000	1/2	208	1	60	4.9	15.0	DV60PVCC14AA	25.0	208	3	HKSC25XDA	1,2,3,4

REMARKS: 1) COMPLETE WITH PROGRAMMABLE 7-DAY DIGITAL DISPLAY THERMOSTAT
 2) EACH UNIT TO HAVE DUCTED RETURN TO ACCESSIBLE FILTER PANEL WITH MIN. MERV 13 FILTERS
 3) SEE GROUND FLOOR MECHANICAL PLANS FOR PROPOSED LOCATIONS (FINAL TBD PER TENANT REQUIREMENTS).
 4) INSTALL PER MANUFACTURE INSTALLATION INSTRUCTIONS.

REMOTE CONDENSING UNIT SCHEDULE												
TAG	LOCATION	NO. OF COMPR.	Nominal Cooling Capacity	ELECTRICAL				SERVING	DAIKEN MODEL #			
				VOLT	Ø	Hz	Min. Ckt Amps			Fuse/Ckt Amps	NO. UNITS	USE
AC-1	ROOF	1	1.5 Tons	208	1	60	12.4	20.0	xx	A.C.	Apartment F-1 System	DX16SA0181AA
AC-2	ROOF	1	2.0 Tons	208	1	60	18.0	30.0	xx	A.C.	Apartment F-2 System	DX16SA0241AA
AC-3	ROOF	1	2.0 Tons	208	3	60	15.2	30.0	1	A.C.	Lobby HFC	DX20VC0243AA
AC-4	ROOF	1	4.0 Tons	208	1	60	30.1	35.0	4	A.C.	Retail 01,02,03,04 HFCs	DX20VC0483AA
AC-5	ROOF	1	5.0 Tons	208	1	60	31.1	35.0	1	A.C.	Retail 05 HFC	DX20VC0603AA

REMARKS: ALL DX LIQUID & SUCTION LINES TO BE SIZED & INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR LONG LINE APPLICATIONS.
 ALL UNITS TO BE SUPPORTED ON 4X4 TREATED LUMBER BASE OR CURB ABOVE ROOF (SEE ARCHITECTURAL DETAILS FOR FINAL T.B.D.)

MAKEUP AIR UNIT (MAU) SCHEDULE - PACKAGED DX COOLING GAS HEAT																	
TAG	SERVING	LOCATION	Cooling Supply Discharge	Nominal CFM	Cooling Total Cap (MBH)	Cooling Sens Cap (MBH)	T.S.P. (in)	Motor HP	ELECTRICAL				HEATING		Daikin Model #	Unit Weight with Curb	
									VOLT	Ø	Hz	MCA	MOCP	MBH IN			MBH OUT
CSU-1	Corridor Supply Unit	Roof	Vertical	2250	151499	96703	1.8	4	208	3	60	51.8	60	300	240	DPS012A	2700 lbs.

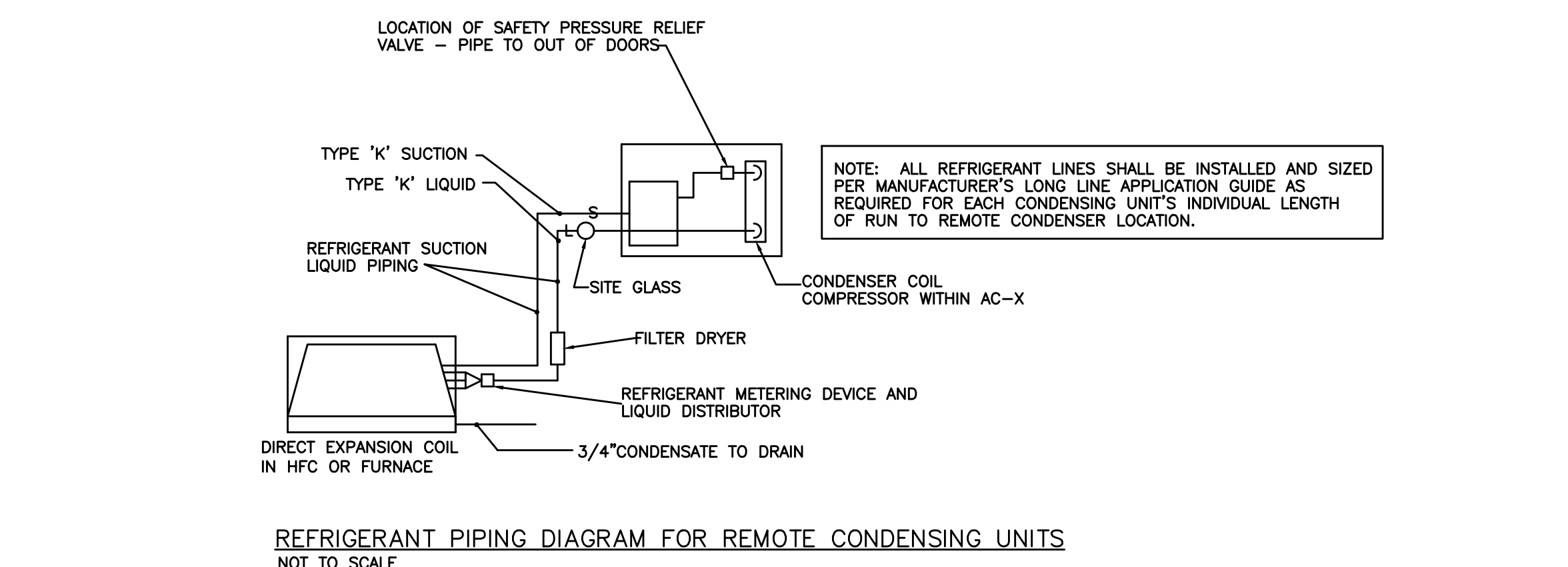
REMARKS: 1) ENTERING AIR TEMP CLG 95.0° D.B./75° W.B. - LEAVING AIR TEMP CLG 62.0° D.B./60.9° W.B.
 2) ENTERING AIR TEMP HTG -10.0° LEAVING AIR TEMP HTG 70.0°
 3) COMPLETE WITH FREQUENCY DRIVE AND STATIC PRESSURE CONTROL. THERMOSAT AND PRESSURE SENSOR TO BE LOCATED ON 3rd FLOOR TO MAINTAIN TEMPERATURE AND NEUTRAL PRESSURE.
 4) ASHRAE 90.1, IMC AND IEC COMPLIANT EER 11.9 IEER 18.2

EXHAUST FAN SCHEDULE												
TAG	CFM	SP	MOTOR			LOCATION	SERVICE	MANUFACTURER & MODEL NUMBER	REMARKS			
			HP	VOLTS	Ø					CYC		
TEF-1	50	0.2	FRAC	120	1	60	APARTMENT TOILET ROOM WALLS	TOILET EXHAUST	BROAN MODEL 671			
GEF-1	2400	0.25	1/3	120	1	60	SUSPENDED IN GARAGE	GARAGE EXHAUST	CARNES VIDK 18	1		
EF-1	400	1/2	1/8	120	1	60	TRASH ROOM	1ST FLOOR TRASH ROOM	CARNES VIDK12	2		

REMARKS: 1. PROVIDE ALL HANGERS WITH SPRING ISOLATORS ALL ALL ANCILLARY COMPONENTS FOR A COMPLETE INSTALLATION. FAN START SHALL BE INTERLOCKED WITH CO DETECTOR IN GARAGE UPON CARBON MONOXIDE DETECTION, FRESH AIR AND EXHAUST MOTOR DAMPERS SHALL OPEN AND END SWITCH SHALL ACTIVATE GEF-1 FAN UNTIL CO LEVEL FALL TO SETPOINT (ADJUSTABLE)
 2. PROVIDE ALL HANGERS WITH SPRING ISOLATORS ALL ALL ANCILLARY COMPONENTS FOR A COMPLETE INSTALLATION. FAN START SHALL RUN CONTINUOUSLY. PROVIDE SPEED SWITCH IN TRASH ROOM.

- HVAC NOTES:**
- All Local and State Codes/Ordinances and General Conditions of the Contract shall be followed. Mechanical Contractor shall pay all fees and obtain all Permits as required by the local jurisdiction. Submit plans to local Building Department for plan review and corrections as required following any correction requirements by the local Building Department as necessary.
 - Local adopted Energy Code shall be followed. Complete system to include all equipment, insulation and controls shall conform to same and meet or exceed ASHRAE 90.1 2010 energy performance standards.
 - Visit site and ascertain existing conditions prior to providing equipment or fabricating any ductwork and piping.
 - Mechanical drawings shown herein are diagrammatic and are not intended to be scaled. Refer to Architectural or certified drawings for dimensions.
 - As-Built scale drawings shall be provided by Contractor and submitted to Engineer and Owner at completion showing all final piping, duct and equipment changes.
 - Shop Drawings: Contractor is entirely responsible for checking Shop Drawings for 100% compliance with contract documents. Submit four (4) copies to Engineer for acknowledgment prior to ordering equipment.
 - Base bid on brand names shown on plans (if not named on plans, the first named in specifications). Substitutions handled as change orders after bidding with all electrical and building alterations included with dollar amount prior to ordering.
 - Extra costs or changes allowed only if approved in writing by Engineer with dollar amount prior to ordering.
 - Equipment shown on drawings and specifications: Contractor shall purchase, receive, uncrate, assemble, insure and install in conformance to all manufacturer's recommendations for installation of same. Additionally, Contractor shall install and final connect Owner furnished equipment as required.
 - Operating manual(s) shall be provide to Owner and Engineer for all systems and equipment including manufacturer's maintenance manuals. Include lubrication, filter types and sizes, starting and stopping procedures. Provide telephone numbers for HVAC installer and control contractor.
 - Supports and anchors shall be provided for all mechanical work as necessary. No chain or wire.
 - Seal duct joints and seams per Code and latest SMACNA guidelines for low pressure ductwork (no cloth tape shall be allowed).
 - Conceal all work in finished areas. Provide access panels to equipment and any valves as necessary. All duct routing shown is intended to be concealed in dropped ceilings below, or in, fire rating assemblies. In the event that any ductwork passes through a fire rated assembly, provide fire dampers in same ductwork as required.
 - Cut and patch to match adjacent areas (where required). Do not cut any structural members.
 - Confirm voltage and ampacity with Electrical Contractor prior to ordering equipment. All control and interlock wiring for Mechanical equipment by Division 15 Contractor. Control and heating/cooling equipment to automatically restart after a power failure. All wire in conduit per NEC latest edition.
 - Rooftop units are new to be installed under this Work.
 - Horizontal supply and exhaust ductwork at 6th floor transfer areas shall be lined with 1" Certainteed Tough Guard, or equal, rigid insulation/lining.
 - Locations of rooftop units are approximate. Contractor to verify all locations and existing conditions and include final location on his shop drawings for construction. Plans provided are only diagrammatic for indicating scope extent of work. Final mechanical plans to be coordinated with all trades.
 - Sheet metal shall be SMACNA and Code Standard for low pressure ductwork application. Round ducts shall be galvanized sheet metal snap-loc with joints screwed (Aluminum tap on dryer vents). All joints (supply & return) shall be sealed with duct mastic (no cloth duct tape allowed).
 - Contractor to include all applicable fees in his bid.
 - Guarantee all labor and equipment for one year from the date of final acceptance by Owner.
 - Equipment and appliances shall be installed as required by the terms of their approval, in accordance with the conditions of the listing, the manufacturer's installation instructions and the code. Manufacturer's installation instructions shall be available on the job site at the time of inspection.

- ENERGY CONSERVATION NOTES:**
- ALL NEW & FUTURE DUCTWORK INSTALLED IN ALL CONDITIONED SPACES SHALL BE INSULATED IN ACCORDANCE WITH INTERNATIONAL MECHANICAL CODE REQUIREMENTS.
 - ALL EQUIPMENT SHALL COMPLY WITH LOCAL ENERGY CODE, LATEST EDITION, AND ASHRAE 90.1 2010 STANDARDS.



FitzGerald
 Associates Architects
 912 W. Lake St. Chicago, Illinois
 t 312-563-9100 f 312-563-1919
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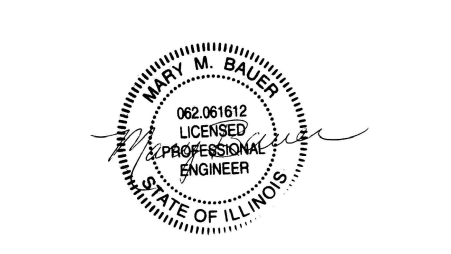
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Schedules and Notes

M2-00

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D

C

B

A

1	2	3	4	5																																																																																																																																												
<h3>WIRING DEVICES</h3> <p> SIMPLEX RECEPTACLE, 125V, 3 POLE 20A RATING (NEMA 5-20R) UNLESS NOTED OTHERWISE IN WALL, 18" A.F.F., OR AS NOTED DUPLEX RECEPTACLE, 125V, 3 POLE 20A RATING (NEMA 5-20R) UNLESS NOTED OTHERWISE IN WALL, 18" A.F.F., OR AS NOTED DOUBLE DUPLEX RECEPTACLE, 125V, 3 POLE 20A RATING (NEMA 5-20R) UNLESS NOTED OTHERWISE IN WALL, 18" A.F.F., OR AS NOTED DUPLEX RECEPTACLE, 125V, 3 POLE 20A RATING (NEMA 5-20R) UNLESS NOTED OTHERWISE RECESSED IN CEILING, OR AS NOTED DUPLEX RECEPTACLE, 125V, 3 POLE 20A RATING (NEMA 5-20R) UNLESS NOTED OTHERWISE CENTERED 4" ABOVE BACKSPASH, OR AS NOTED DOUBLE DUPLEX RECEPTACLE, 125V, 3 POLE 20A RATING (NEMA 5-20R) UNLESS NOTED OTHERWISE CENTERED 4" ABOVE BACKSPASH, OR AS NOTED ARC FAULT CIRCUIT INTERRUPTOR PROTECTED DUPLEX RECEPTACLE 125V, 2-POLE, 3-WIRE 20A RATING UNLESS NOTED OTHERWISE. NEMA 5-20R UNLESS NOTED OTHERWISE IN WALL 18" A.F.F. OR AS NOTED SWITCHED ARC FAULT CIRCUIT INTERRUPTOR PROTECTED DUPLEX RECEPTACLE 125V, 2-POLE, 3-WIRE 20A RATING UNLESS NOTED OTHERWISE. NEMA 5-20R UNLESS NOTED OTHERWISE IN WALL 18" A.F.F. OR AS NOTED PEDESTAL MOUNT ASSEMBLY WITH (1) DUPLEX RECEPTACLE, 125V, 3 POLE 20A RATING (NEMA 5-20R) UNLESS NOTED OTHERWISE MOUNTED ON FLOOR, OR AS NOTED PEDESTAL MOUNT ASSEMBLY WITH (2) DUPLEX RECEPTACLES, 125V, 3 POLE 20A RATING (NEMA 5-20R) UNLESS NOTED OTHERWISE MOUNTED ON FLOOR, OR AS NOTED PEDESTAL MOUNT ASSEMBLY WITH (1) DUPLEX RECEPTACLE, 125V, 3 POLE 20A RATING (NEMA 5-20R) UNLESS NOTED OTHERWISE MOUNTED ON COUNTER, OR AS NOTED PEDESTAL MOUNT ASSEMBLY WITH (2) DUPLEX RECEPTACLES, 125V, 3 POLE 20A RATING (NEMA 5-20R) UNLESS NOTED OTHERWISE MOUNTED ON COUNTER, OR AS NOTED DUPLEX RECEPTACLE, 125V, 3 POLE 20A RATING (NEMA 5-20R) UNLESS NOTED OTHERWISE IN WALL 18" A.F.F., OR AS NOTED ONE RECEPTACLE UNSWITCHED, ONE RECEPTACLE SWITCHED ISOLATED GROUND DUPLEX RECEPTACLE, 125V, 3 POLE 20A RATING (NEMA 5-20R) UNLESS NOTED OTHERWISE IN WALL, 18" A.F.F., OR AS NOTED GROUND FAULT DUPLEX RECEPTACLE, 125V, 3 POLE 20A RATING (NEMA 5-20R) UNLESS NOTED OTHERWISE IN WALL, 18" A.F.F., OR AS NOTED GFCI DUPLEX RECEPTACLE 125V, 2-POLE, 3-WIRE 20A RATING UNLESS NOTED OTHERWISE, NEMA 5-20R UNLESS NOTED OTHERWISE, IN WALL 4" CENTERED ABOVE BACK SPLASH OR COUNTER <div style="border: 1px dashed black; padding: 5px; margin: 5px;"> <p>WHERE RECEPTACLE OUTLETS ARE MARKED "NEMA 3R" PROVIDE AN "EXTRA DUTY" "IN-USE" TYPE RECEPTACLE COVER THAT IS WEATHERPROOF REGARDLESS IF AN ATTACHMENT PLUG IS INSERTED IN THE RECEPTACLE OR NOT IN COMPLIANCE WITH 2011 NFPA 70 406.9(B)(1). PROVIDE RECEPTACLES THAT ARE LISTED AS "WEATHER RESISTANT TYPE". "NEMA 3R" IS DEFINED IN NFPA 70 TABLE 110.28.</p> </div> RECEPTACLE 125/250V, 10 or 30, 2 or 3-Pole, 3 or 4-Wire, 20A, 30A, 50A, OR 60A RATING (NEMA 1-1R) AS NOTED IN WALL 18" A.F.F., OR AS NOTED RECEPTACLE 600V, 30, 3 POLE, 4 WIRE 20A, 30A, 50A, OR 60A RATING (NEMA 1-1R) AS NOTED IN WALL 18" A.F.F., OR AS NOTED FIRE RATED POKE-THRU ASSEMBLY WITH (1) DUPLEX RECEPTACLE, 250V, 2 POLE, 3 WIRE 20A RATING (NEMA 5-20R) UNLESS NOTED OTHERWISE FLUSH WITH FLOOR, OR AS NOTED FIRE RATED POKE-THRU ASSEMBLY WITH (2) DUPLEX RECEPTACLE, 250V, 2 POLE, 3 WIRE 20A RATING (NEMA 5-20R) UNLESS NOTED OTHERWISE FLUSH WITH FLOOR, OR AS NOTED JUNCTION OR OUTLET BOX IN WALL JUNCTION OR OUTLET BOX IN CEILING JUNCTION OR OUTLET BOX IN FLOOR </p>	<h3>COMMUNICATION SYSTEM SYMBOLS</h3> <p> VOICE TERMINAL OUTLET IN WALL 18" AFF OR AS NOTED. PROVIDE RACO 233 BACKBOX AND SINGLE GANG PLASTER RING. PROVIDE 1" CONDUIT TO CEILING SPACE SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS VOICE TERMINAL OUTLET IN WALL 48" AFF OR AS NOTED. PROVIDE RACO 233 BACKBOX AND SINGLE GANG PLASTER RING. PROVIDE 1" CONDUIT TO CEILING SPACE SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS PAY TELEPHONE OUTLET IN WALL 48" AFF OR AS NOTED. PROVIDE RACO 233 BACKBOX AND SINGLE GANG PLASTER RING. PROVIDE 1" CONDUIT TO CEILING SPACE SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS. COORDINATE HEIGHT WITH PAY-PHONE VENDOR. VOICE TERMINAL OUTLET IN FLOOR BOX OR AS NOTED. PROVIDE WIREMOLD 88053 FLOOR BOX, 828GFI FLANGES, AND 828GFI COVERPLATE. PROVIDE 1" CONDUIT TO CEILING SPACE. SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS. BRASS FLANGE UNLESS NOTED OTHERWISE. VOICE TERMINAL OUTLET IN FLOOR BOX OR AS NOTED. PROVIDE WIREMOLD 88052 FLOOR BOX, 828GFI FLANGES, AND 828GFI COVERPLATES. PROVIDE (2) 1" CONDUITS TO CEILING SPACE. SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS. BRASS FLANGE UNLESS NOTED OTHERWISE. VOICE DATA TERMINAL OUTLET IN WALL 18" AFF OR AS NOTED. PROVIDE RACO 259 BACKBOX AND DOUBLE GANG PLASTER RING. PROVIDE (2) 1" CONDUITS TO CEILING SPACE. SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS. VOICE DATA TERMINAL OUTLET IN WALL 48" AFF OR AS NOTED. PROVIDE RACO 259 BACKBOX AND DOUBLE GANG PLASTER RING. PROVIDE (2) 1" CONDUITS TO CEILING SPACE SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS. VOICE DATA TERMINAL OUTLET IN FLOOR BOX OR AS NOTED. PROVIDE WIREMOLD 88053 FLOOR BOX, 828GFI FLANGES, AND 828GFI COVERPLATES. PROVIDE (3) 1" CONDUITS TO CEILING SPACE. SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS. BRASS FLANGE UNLESS NOTED OTHERWISE. DATA TERMINAL OUTLET IN WALL 18" AFF OR AS NOTED. PROVIDE RACO 233 BACKBOX AND SINGLE GANG PLASTER RING. PROVIDE 1" CONDUIT TO CEILING SPACE. SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS DATA TERMINAL OUTLET IN WALL 48" AFF OR AS NOTED. PROVIDE RACO 233 BACKBOX AND SINGLE GANG PLASTER RING. PROVIDE 1" CONDUIT TO CEILING SPACE. SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS DATA TERMINAL OUTLET IN FLOOR BOX OR AS NOTED. PROVIDE WIREMOLD TWO-GANG STEEL FLOOR BOX AND TWO-GANG ACTIVATION PLATE. PROVIDE (2) 1" CONDUITS TO CEILING SPACE. SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS. BRASS FLANGE UNLESS NOTED OTHERWISE. DATA TERMINAL OUTLET IN FLOOR BOX OR AS NOTED. PROVIDE WIREMOLD TWO-GANG STEEL FLOOR BOX AND TWO-GANG ACTIVATION PLATE. PROVIDE (2) 1" CONDUITS TO CEILING SPACE. SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS DATA TERMINAL OUTLET IN FLOOR BOX OR AS NOTED. PROVIDE 1" CONDUIT TO CEILING SPACE. SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS DATA TERMINAL OUTLET IN FLOOR BOX OR AS NOTED. PROVIDE WIREMOLD TWO-GANG STEEL FLOOR BOX AND TWO-GANG ACTIVATION PLATE PROVIDE 1-1/4" CONDUIT TO CEILING SPACE. SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS. BRASS FLANGE UNLESS NOTED OTHERWISE. FLOOR POKE THROUGH LOCATION VOICE TERMINAL CABINET OR AS NOTED SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS DATA SYSTEM HUB LOCATION CABLE, EQUIPMENT AND TERMINATIONS BY OTHERS. MAIN DISTRIBUTION FRAME OR AS NOTED PROVIDE EMPTY BOX AND CONDUIT ONLY UNLESS SPECIFIED OTHERWISE SEE NOTES FOR DEVICE AND CABLE REQUIREMENTS. INTERMEDIATE DISTRIBUTION FRAME OR AS NOTED PROVIDE EMPTY BOX AND CONDUIT ONLY UNLESS SPECIFIED OTHERWISE SEE NOTES FOR DEVICE AND CABLE REQUIREMENTS. NETWORK POINT OF PRESENCE CABINET DATA TERMINAL CABINET OR AS NOTED. SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS </p>	<h3>ELECTRICAL EQUIPMENT</h3> <p> SURFACE MOUNTED BRANCH CIRCUIT PANELBOARD FLUSH MOUNTED BRANCH CIRCUIT PANELBOARD SURFACE MOUNTED LIGHTING BRANCH CIRCUIT PANELBOARD FLUSH MOUNTED LIGHTING BRANCH CIRCUIT PANELBOARD SURFACE MOUNTED POWER DISTRIBUTION PANELBOARD OR OTHER ELECTRICAL EQUIPMENT FLUSH MOUNTED POWER DISTRIBUTION PANELBOARD OR OTHER ELECTRICAL EQUIPMENT AS NOTED, SURFACE MOUNTED SPECIAL CABINET OR EQUIPMENT AS NOTED, FLUSH MOUNTED SPECIAL CABINET OR EQUIPMENT DRY-TYPE TRANSFORMER CEILING FAN EMERSON PRO SERIES CF7000W SAFETY DISCONNECT SWITCH SAFETY DISCONNECT SWITCH-FUSED SINGLE PHASE FRACTIONAL MOTOR OUTLET AND CONNECTION. EQUIPMENT TYPE AS NOTED POLYPHASE MOTOR OUTLET AND CONNECTION. EQUIPMENT TYPE AS NOTED FUSE SINGLE THROW SWITCH CIRCUIT BREAKER ELECTRICAL METER HARDWIRED DROP CORD FROM CEILING BOX HARDWIRED DUPLEX RECEPTACLE ON CORD REEL FROM CEILING BOX BATTERY CHARGER - WALL MOUNTED JACKET WATER HEATER - GENERATOR MOUNTED AUTOMATIC TRANSFER SWITCH - WALL MOUNTED POWER SUPPLY </p>	<h3>RACEWAYS & WIRING</h3> <p> EXPOSED CONDUIT UNLESS NOTED OTHERWISE CONDUIT CONCEALED IN WALL OR CEILING CONSTRUCTION CONDUIT CONCEALED IN FLOOR CONSTRUCTION OR UNDERGROUND MT INDICATES EMPTY CONDUIT HOME RUN TO PANELBOARD-NUMBER OF ARROWS INDICATES NUMBER OF CIRCUITS DASHES ACROSS CABLE OR CONDUIT INDICATE THREE (3) OR MORE WIRES #12 AWG UNLESS NOTED OTHERWISE (NO DASHES INDICATES TWO (2) WIRES.) CONTRACTOR TO VERIFY COUNT UNDERFLOOR DUCT-ELECTRICAL UNDERFLOOR DUCT-TELEPHONE OR OTHER LOW TENSION AS NOTED EXPLOSION PROOF CONDUIT WITH CONDUIT SEALS SPECIAL SYSTEM WIRING TO CENTRAL EQUIPMENT, PANEL, TERMINAL CABINET OR NEXT DEVICE: EM = EMERGENCY SYSTEM FA = FIRE ALARM CP = MASTER CLOCK & PROGRAM SYSTEM MC = MASTER CLOCK SYSTEM IC = INTERCOM SYSTEM TV = TELEVISION SYSTEM TVC = TELEVISION REMOTE CONTROL NC = NURSE CALL SYSTEM P = PAGING SYSTEM T = TELEPHONE SYSTEM GF = CIRCUIT TO GROUND FAULT CIRCUIT BREAKER EIL = EQUIPMENT INTERLOCK MP = MUSIC/PAGING SYSTEM CPP = CENTRAL PAGE/PROGRAM SYSTEM STV = SECURITY TELEVISION SYSTEM M = MUSIC SYSTEM CONDUIT UP CONDUIT DOWN PULL BOX SURFACE METAL RACEWAY SYSTEM SINGLE CELL VERTICAL SURFACE METAL RACEWAY CONNECTION SURFACE METAL RACEWAY SYSTEM DOUBLE CELL WITH DIVIDER </p>	<h3>ACCESS CONTROL SYSTEM SYMBOLS</h3> <p> CARD READER TERMINAL IN WALL 48" AFF OR AS NOTED PROVIDE RACO 232 BACKBOX AND SINGLE GANG PLASTER RING PROVIDE 3/4" CONDUIT TO CEILING SPACE. ELECTRIC STRIKE CONNECTION POINT. PROVIDE CONNECTION TO DOOR MOUNTED ELECTRIC STRIKE EQUIPMENT PROVIDE 1/2" CONDUIT TO CEILING SPACE. PROXIMITY READER TERMINAL IN WALL 48" AFF OR AS NOTED PROVIDE RACO 232 BACKBOX AND SINGLE GANG PLASTER RING PROVIDE 3/4" CONDUIT TO CEILING SPACE. SECURITY SYSTEM MAGNETIC DOOR HOLDER 84" AFF OR AS NOTED PROVIDE RACO 232 BACKBOX AND SINGLE GANG PLASTER RING PROVIDE 3/4" CONDUIT TO CEILING SPACE. POWER DOOR OPERATOR. (DOOR MOUNTED EQUIPMENT). PROVIDE (2) 1/2" CONDUITS TO CEILING SPACE OR AS INDICATED. PUSH PLATE FOR POWER DOOR OPERATOR, 44" AFF (WALL MOUNTED EQUIPMENT). PROVIDE 1/2" CONDUIT TO CEILING SPACE OR AS INDICATED. SECURITY SYSTEM ADDRESSABLE DEVICE ABOVE CEILING SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS. SECURITY SYSTEM DOOR CONTACT EQUIPMENT PROVIDE 1/2" CONDUIT TO CEILING SPACE SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS. CLOSED CIRCUIT TELEVISION DIGITAL VIDEO RECORDER PROVIDE RACO 232 BACKBOX AND SINGLE GANG PLASTER RING 48" AFF PROVIDE 1" CONDUIT TO CEILING SPACE SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS. DOOR CONTROL PUSHBUTTON CLOSED CIRCUIT VIDEO CAMERA FIXED PROVIDE 3/4" CONDUIT TO CEILING SPACE SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS. EXTERIOR ENTRY PANEL 42" AFF TO BOTTOM. PROVIDE 3/4" CONDUIT TO CEILING SPACE OR AS INDICATED. CARD READER CONTROL PANEL ON WALL 48" AFF OR AS NOTED PROVIDE 3/4" CONDUITS TO CEILING SPACE ABOVE AND BELOW AS REQUIRED. CARD READER CONTROL EXTENSION PANEL ON WALL 48" AFF NEXT TO CARD READER CONTROL PANEL. PROVIDE 3/4" CONDUIT TO CRC. INTERCOM WALL STATION 48" AFF OR AS NOTED PROVIDE RACO 232 BACKBOX AND SINGLE GANG PLASTER RING PROVIDE 3/4" CONDUIT TO CEILING SPACE. <p>FOR ALL ABOVE DEVICES SEE NOTES FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS.</p> </p>																																																																																																																																												
<h3>FIRE ALARM DEVICE SYMBOLS</h3>																																																																																																																																																
FIRE ALARM CONTROL PANEL FIRE ALARM ANNUNCIATOR STATUS/SUPERVISORY CONTROL PANEL STATUS/SUPERVISORY ANNUNCIATOR FIRE ALARM MANUAL PULL STATION VISUAL (STROBE) 15/75 candela AUDIO VISUAL DEVICE (STROBE) (HORN) 75/15 cdb RATE OF RISE HEAT DETECTOR FIXED TEMPERATURE HEAT DETECTOR 200 DEGREE 200°F SMOKE DETECTOR (UL 268) DUCT MOUNTED SMOKE DETECTOR 120V SINGLE STATION VISUAL NOTIFICATION DEVICE	DUCT DETECTOR TEST/RESET STATION CONTROL RELAY 120V SINGLE STATION SMOKE DETECTOR WITH SOUNDER SPRINKLER SYSTEM REMOTE BELL WATER FLOW SWITCH SPRINKLER VALVE SUPERVISORY SWITCH (TAMPER) FIRE PUMP CONTROL PANEL FIRE ALARM TELEPHONE CONNECTION 120V SINGLE STATION CARBON MONOXIDE DETECTOR WITH SOUNDER HOLD OPEN DEVICE CONNECTION COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR INDICATING DEVICE FOR TENANT SMOKE DETECTOR INDICATION	<h3>LIGHTING CONTROL EQUIPMENT SYMBOLS</h3> <p> AC TOGGLE SWITCH, 120-277 VOLT AC, 20A RATED SINGLE POLE UNLESS NOTED OTHERWISE, 2P - 2-POLE, LH - ILLUMINATED HANDLE (ILLUMINATED WHEN OFF), PL - PILOT LIGHT M - MOMENTARY, T - THERMAL SWITCH, K - KEY OPERATED 3 WAY 4 WAY IF LABELED "4W" DIMMABLE 3 WAY DIMMABLE PHOTO CELL TIME CLOCK LIGHTING CONTROL LIGHTING CONTACTOR LOW-VOLTAGE LIGHTING TRANSFORMER PROGRAMMABLE LIGHTING CONTROL SYSTEM PANEL PROGRAMMABLE LIGHTING CONTROL SYSTEM PROGRAMMING STATION LIGHTING CONTROL SYSTEM REMOTE CONTROL STATION DAYLIGHT SENSOR INDIVIDUAL ROOM OCCUPANCY SENSOR DUEL TECHNOLOGY ULTRASONIC MOTION DETECTOR/OCCUPANCY SENSOR OPEN AREA OCCUPANCY SENSOR CORRIDOR OCCUPANCY SENSOR </p>	<h3>INTERIOR LIGHTING FIXTURE SYMBOLS</h3> <p> CEILING MOUNTED EXIT SIGN WALL MOUNTED EXIT SIGN CEILING MOUNTED AREA OF REFUGE DIRECTION SIGN WALL MOUNTED AREA OF REFUGE DIRECTION SIGN WALL MOUNTED SELF-CONTAINED, FULLY AUTOMATIC UNIT EQUIPMENT FOR THE OPERATION OF UNIT MOUNTED EMERGENCY LAMPS LOCATED ON THE UNIT OR REMOTELY MOUNTED AS INDICATED NUMBER OF LIGHTING HEADS UNIT MOUNTED OR REMOTE AS INDICATED. CEILING MOUNTED SELF-CONTAINED, FULLY AUTOMATIC UNIT EQUIPMENT FOR THE OPERATION OF UNIT MOUNTED EMERGENCY LAMPS LOCATED ON THE UNIT OR REMOTELY MOUNTED AS INDICATED NUMBER OF LIGHTING HEADS UNIT MOUNTED OR REMOTE AS INDICATED. CEILING MOUNTED SELF-CONTAINED, FULLY AUTOMATIC UNIT EQUIPMENT FOR THE OPERATION OF INTEGRAL EMERGENCY LIGHTING WITHIN THE DECORATIVE ENCLOSURE. REMOTE HEAD FOR UNIT EMERGENCY EQUIPMENT </p>	<h3>CABLE TELEVISION DEVICE SYMBOLS</h3> <p> CABLE TELEVISION ANTENNA SYSTEM OUTLET. PROVIDE 1" CONDUIT TO CATV TERMINAL CABINET. ALL HOMERUNS NO LOOPING. PROVIDE CABLE, OUTLET AND TERMINATION. CABLE TELEVISION SERVICE BUILDING TERMINATION POINT CABLE, EQUIPMENT, CABLE AND TERMINATIONS BY CONTRACTOR. </p>																																																																																																																																												
<h3>AREA OF REFUGE SYSTEM SYMBOLS</h3>																																																																																																																																																
AREA OF REFUGE COMMUNICATION SYSTEM CENTRAL CONTROL CABINET OR AS NOTED. SEE EQUIPMENT FOR DETAILS ON DEVICE AND CABLE REQUIREMENTS. PROVIDE 120V POWER TO EQUIPMENT AREA OF REFUGE COMMUNICATION DEVICE VIKING SERIES 1600 ADA COMPLIANT EMERGENCY PHONE OR APPROVED EQUIVALENT. <div style="border: 1px dashed black; padding: 5px; margin: 5px;"> <p>PROTECT SYSTEM WIRING WITH 2 HOUR RATED ENCLOSURE FOR ENTIRE LENGTH OF RACEWAYS.</p> </div>	<h3>ELECTRICAL ABBREVIATION LIST</h3> <table border="1"> <tr> <td>SW</td> <td>3 WAY LIGHT SWITCH</td> </tr> <tr> <td>A</td> <td>AMMETER, AMPERE</td> </tr> <tr> <td>AFP</td> <td>ABOVE FINISHED FLOOR</td> </tr> <tr> <td>AWG</td> <td>AMPERE</td> </tr> <tr> <td>BD</td> <td>AUTOMATIC PLUMBING FIXTURE</td> </tr> <tr> <td>C</td> <td>AMERICAN WIRE GAUGE</td> </tr> <tr> <td>CKT</td> <td>BOARD</td> </tr> <tr> <td>CKTS</td> <td>CONDUIT</td> </tr> <tr> <td>CLG</td> <td>CIRCUIT</td> </tr> <tr> <td>COMM</td> <td>CIRCUITS</td> </tr> <tr> <td>CONC</td> <td>CEILING</td> </tr> <tr> <td>CONTR</td> <td>COMMONWEALTH EDISON COMPANY</td> </tr> <tr> <td>CR</td> <td>COMMUNICATION</td> </tr> <tr> <td>D</td> <td>CONCRETE</td> </tr> <tr> <td>DISC</td> <td>CONTRACT OR CONTRACTOR</td> </tr> <tr> <td>DIST</td> <td>CONTROL RELAY</td> </tr> <tr> <td>DN</td> <td>DIMMER</td> </tr> <tr> <td>DWG</td> <td>DISCONNECT</td> </tr> <tr> <td>E</td> <td>DISTRIBUTION</td> </tr> <tr> <td>ELEC</td> <td>DOWN</td> </tr> <tr> <td>EMT</td> <td>DRAWING</td> </tr> <tr> <td>EC</td> <td>EXISTING TO REMAIN</td> </tr> <tr> <td>EM</td> <td>ELECTRICAL</td> </tr> <tr> <td>EQUIP</td> <td>ELECTRICAL METALLIC TUBING</td> </tr> <tr> <td>EX, EXIST</td> <td>ELECTRICAL CONTRACTOR</td> </tr> <tr> <td>F</td> <td>EMERGENCY</td> </tr> <tr> <td>FL</td> <td>EQUIPMENT</td> </tr> <tr> <td>FA</td> <td>EXISTING TO REMAIN</td> </tr> <tr> <td>G</td> <td>FUSE</td> </tr> <tr> <td>GND</td> <td>FLOOR</td> </tr> <tr> <td>H</td> <td>FIRE ALARM</td> </tr> <tr> <td>HOA</td> <td>GROUND</td> </tr> <tr> <td>HZ</td> <td>GROUND</td> </tr> <tr> <td>J</td> <td>HOT</td> </tr> <tr> <td>KA</td> <td>HAND-OFF-AUTO</td> </tr> <tr> <td>KVA</td> <td>HERTZ</td> </tr> <tr> <td>KW</td> <td>JUNCTION BOX</td> </tr> <tr> <td>L</td> <td>KILO AMP</td> </tr> <tr> <td>LTG</td> <td>KILO VOLT AMPERE</td> </tr> <tr> <td>M</td> <td>KILO WATT</td> </tr> <tr> <td>MC</td> <td>LINE</td> </tr> <tr> <td>MCM</td> <td>LIGHTING</td> </tr> <tr> <td>MV</td> <td>METER</td> </tr> <tr> <td>N</td> <td>MOMENTARY CONTACT</td> </tr> <tr> <td>NEUT</td> <td>THOUSAND CIRCULAR MILS</td> </tr> <tr> <td>NG</td> <td>MICROWAVE</td> </tr> <tr> <td>NTS</td> <td>NEUTRAL, NEW</td> </tr> <tr> <td>NWR</td> <td>NEUTRAL</td> </tr> <tr> <td>PB</td> <td>NOT IN CONTRACT</td> </tr> <tr> <td>PC</td> <td>NOT TO SCALE</td> </tr> <tr> <td>PH</td> <td>NO WORK REQUIRED</td> </tr> <tr> <td>PNL</td> <td>PULL BOX</td> </tr> <tr> <td>PRIM</td> <td>PHOTO CELL PULL CORD</td> </tr> <tr> <td>PWR</td> <td>PHASE</td> </tr> <tr> <td>R</td> <td>PANEL</td> </tr> <tr> <td>RC</td> <td>PRIMARY</td> </tr> <tr> <td>RECP</td> <td>POWER</td> </tr> <tr> <td>RGSC</td> <td>EXISTING UNIT TO BE REMOVED</td> </tr> <tr> <td>SW</td> <td>REMOTE CONTROL</td> </tr> <tr> <td>T</td> <td>RECEPTACLE</td> </tr> <tr> <td>TRANS</td> <td>RECEPTACLE</td> </tr> <tr> <td>TYP</td> <td>RIGID GALVANIZED STEEL CONDUIT</td> </tr> <tr> <td>V</td> <td>SWITCH</td> </tr> <tr> <td>W</td> <td>TIME OR TRANSFORMER</td> </tr> <tr> <td>WP</td> <td>TYPICAL</td> </tr> <tr> <td>WV</td> <td>VOLTS</td> </tr> <tr> <td>XFMR</td> <td>WATT</td> </tr> <tr> <td></td> <td>WEATHER PROOF</td> </tr> <tr> <td></td> <td>WIREWAY</td> </tr> <tr> <td></td> <td>TRANSFORMER</td> </tr> </table>				SW	3 WAY LIGHT SWITCH	A	AMMETER, AMPERE	AFP	ABOVE FINISHED FLOOR	AWG	AMPERE	BD	AUTOMATIC PLUMBING FIXTURE	C	AMERICAN WIRE GAUGE	CKT	BOARD	CKTS	CONDUIT	CLG	CIRCUIT	COMM	CIRCUITS	CONC	CEILING	CONTR	COMMONWEALTH EDISON COMPANY	CR	COMMUNICATION	D	CONCRETE	DISC	CONTRACT OR CONTRACTOR	DIST	CONTROL RELAY	DN	DIMMER	DWG	DISCONNECT	E	DISTRIBUTION	ELEC	DOWN	EMT	DRAWING	EC	EXISTING TO REMAIN	EM	ELECTRICAL	EQUIP	ELECTRICAL METALLIC TUBING	EX, EXIST	ELECTRICAL CONTRACTOR	F	EMERGENCY	FL	EQUIPMENT	FA	EXISTING TO REMAIN	G	FUSE	GND	FLOOR	H	FIRE ALARM	HOA	GROUND	HZ	GROUND	J	HOT	KA	HAND-OFF-AUTO	KVA	HERTZ	KW	JUNCTION BOX	L	KILO AMP	LTG	KILO VOLT AMPERE	M	KILO WATT	MC	LINE	MCM	LIGHTING	MV	METER	N	MOMENTARY CONTACT	NEUT	THOUSAND CIRCULAR MILS	NG	MICROWAVE	NTS	NEUTRAL, NEW	NWR	NEUTRAL	PB	NOT IN CONTRACT	PC	NOT TO SCALE	PH	NO WORK REQUIRED	PNL	PULL BOX	PRIM	PHOTO CELL PULL CORD	PWR	PHASE	R	PANEL	RC	PRIMARY	RECP	POWER	RGSC	EXISTING UNIT TO BE REMOVED	SW	REMOTE CONTROL	T	RECEPTACLE	TRANS	RECEPTACLE	TYP	RIGID GALVANIZED STEEL CONDUIT	V	SWITCH	W	TIME OR TRANSFORMER	WP	TYPICAL	WV	VOLTS	XFMR	WATT		WEATHER PROOF		WIREWAY		TRANSFORMER
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J	HOT																																																																																																																																															
KA	HAND-OFF-AUTO																																																																																																																																															
KVA	HERTZ																																																																																																																																															
KW	JUNCTION BOX																																																																																																																																															
L	KILO AMP																																																																																																																																															
LTG	KILO VOLT AMPERE																																																																																																																																															
M	KILO WATT																																																																																																																																															
MC	LINE																																																																																																																																															
MCM	LIGHTING																																																																																																																																															
MV	METER																																																																																																																																															
N	MOMENTARY CONTACT																																																																																																																																															
NEUT	THOUSAND CIRCULAR MILS																																																																																																																																															
NG	MICROWAVE																																																																																																																																															
NTS	NEUTRAL, NEW																																																																																																																																															
NWR	NEUTRAL																																																																																																																																															
PB	NOT IN CONTRACT																																																																																																																																															
PC	NOT TO SCALE																																																																																																																																															
PH	NO WORK REQUIRED																																																																																																																																															
PNL	PULL BOX																																																																																																																																															
PRIM	PHOTO CELL PULL CORD																																																																																																																																															
PWR	PHASE																																																																																																																																															
R	PANEL																																																																																																																																															
RC	PRIMARY																																																																																																																																															
RECP	POWER																																																																																																																																															
RGSC	EXISTING UNIT TO BE REMOVED																																																																																																																																															
SW	REMOTE CONTROL																																																																																																																																															
T	RECEPTACLE																																																																																																																																															
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TYP	RIGID GALVANIZED STEEL CONDUIT																																																																																																																																															
V	SWITCH																																																																																																																																															
W	TIME OR TRANSFORMER																																																																																																																																															
WP	TYPICAL																																																																																																																																															
WV	VOLTS																																																																																																																																															
XFMR	WATT																																																																																																																																															
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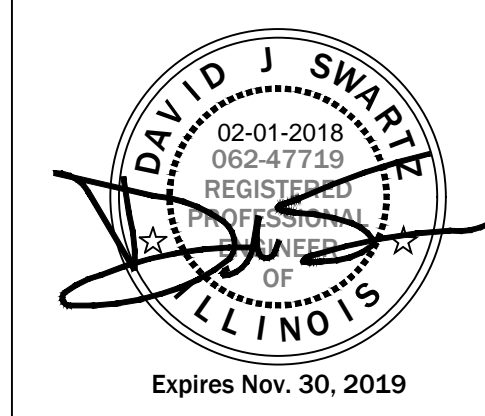
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ELECTRICAL SYMBOLS AND NOTES

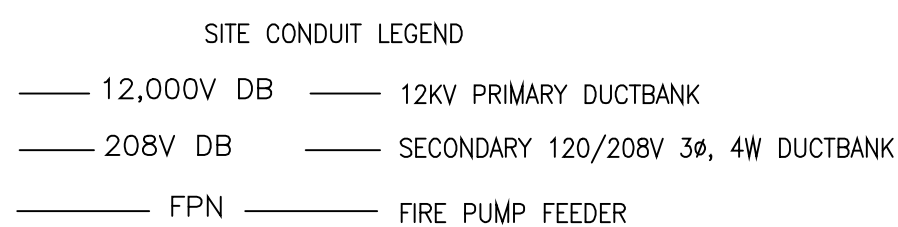
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GENERAL ELECTRICAL NOTES

- THE CONTRACTOR SHALL REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS, INCLUDING BUT NOT NECESSARILY LIMITED TO ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND ENTIRE PROJECT MANUAL. CONTRACTOR SHALL ACKNOWLEDGE AND INCLUDE IN THE SCOPE OF WORK (CONTRACT) ALL CONDITIONS PERTINENT TO THE COMPLETION OF THE ELECTRICAL WORK. CONTRACTOR SHALL FULLY COORDINATE ELECTRICAL WORK WITH THE INSTALLATION OF WORK BY ALL OTHER TRADES AND MAKE NECESSARY FIELD ADJUSTMENTS AS REQUIRED TO ACCOMMODATE THE ELECTRICAL INSTALLATION. ALL OF THE ABOVE SHALL BE INCLUDED IN THE SCOPE OF WORK AT NO ADDITIONAL COST TO THE OWNER.
- THE ELECTRICAL INSTALLATION IS TO BE IN ACCORDANCE WITH THE CITY OF HIGHLAND PARK MUNICIPAL CODE AND UTILITY REQUIREMENTS. ANY MODIFICATIONS AND/OR ADDITIONS TO THESE PLANS, REQUIRED FOR PROPER COMPLIANCE TO ANY APPLICABLE CODES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE BASE BID.
- CONTRACTORS SHALL VISIT THE SITE (BEFORE SUBMITTING THEIR BIDS) TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS, ACCESS AND ALL OTHER CONDITIONS AFFECTING THE WORK. SUBMISSION OF BID SHALL BE DEEMED EVIDENCE OF THIS VISIT.
- CONTRACTOR SHALL CAREFULLY EXAMINE THE DRAWINGS AND SPECIFICATIONS, VISIT THE SITE OF THE WORK, AND FULLY INFORM HIMSELF AS TO ALL CONDITIONS AND MATTERS THAT CAN, IN ANY WAY, AFFECT THE WORK OR THE COST THEREOF. SHOULD THIS CONTRACTOR FIND DISCREPANCIES IN, OR OMISSIONS FROM, THE DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS OR BE IN DOUBT AS TO THEIR MEANING, NOTIFY ARCHITECT/ENGINEER AT ONCE, IN WRITING, OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND NEW WORK, OR BETWEEN ELECTRICAL WORK AND THE WORK OF OTHER TRADES PRIOR AND OBTAIN CLARIFICATION PRIOR TO SUBMITTING ANY BID.
- CONTRACTOR SHALL VERIFY ALL ARRANGEMENTS, HEIGHTS AND LOCATIONS PRIOR TO ROUGH-IN. INDICATION OF A SPECIFIC MOUNTING ARRANGEMENT, HEIGHT OR LOCATION SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO VERIFY THE SPECIFIC REQUIREMENT WITH THE EQUIPMENT FURNISHED OR THE OTHER TRADES WORKING IN THE SAME AREA. NO ADDITIONS TO THE CONTRACT SUM WILL BE PERMITTED FOR OUTLETS IN WRONG LOCATIONS, IN CONFLICT WITH OTHER WORK ETC. THE OWNER RESERVES THE RIGHT TO RELOCATE ANY DEVICE 10'-0" PRIOR TO ROUGH-IN WITHOUT ANY ADDITIONAL CHARGES BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE TO FURNISH AND INSTALL A COMPLETE ELECTRICAL SYSTEM. WHERE THERE IS NO MENTION OF THE RESPONSIBLE PARTY FOR A SPECIFIC ITEM TO BE FURNISHED, INSTALLED OR WIRED ON THE ELECTRICAL DRAWINGS, THE CONTRACTOR WILL BE RESPONSIBLE COMPLETELY FOR ALL PURCHASES AND LABOR FOR A COMPLETE OPERATING SYSTEM FOR THIS ITEM.
- DRAWINGS ARE GENERALLY DIAGRAMMATIC. INDICATED ROUTING OF RACEWAYS AND DEVICE, LOCATIONS AS SHOWN, DOES NOT INTEND TO SHOW EVERY RISE, DROP, OFFSET, FITTING, NOR EVERY STRUCTURAL ELEMENT THAT MAY BE ENCOUNTERED DURING THE INSTALLATION OF THIS WORK. THE CONTRACTOR SHALL MAKE ANY REQUIRED CHANGES FROM THE GENERAL ROUTING SHOWN ON THESE DRAWINGS, SUCH AS OFFSETS, BENDS OR CHANGES IN ELEVATION DUE TO COORDINATION WITH THE WORK OF OTHER TRADES AND BUILDING CONSTRUCTION. ALL CHANGES SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER OR A DELAY IN THE COMPLETION DATE OF THE PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ELECTRICAL CHARACTERISTICS INCLUDING BUT NOT LIMITED TO VOLTAGE, AMPERAGE, AND PHASE REQUIREMENTS OF ALL EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS. BECAUSE ELECTRICAL CHARACTERISTICS CAN VARY FOR SIMILAR EQUIPMENT MEETING THE PROJECT REQUIREMENTS OR CHANGES IN MANUFACTURING CAN ALTER THE ELECTRICAL CHARACTERISTICS OF THE EQUIPMENT, A SPECIFIC VOLTAGE, AMPERAGE, AND PHASE REQUIREMENT ON THE ELECTRICAL DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO VERIFY THE ELECTRICAL CHARACTERISTICS OF THE FINAL SELECTED EQUIPMENT PRIOR TO PURCHASING OR ROUGH-IN WORK.
- IT IS INTENDED THAT EQUIPMENT SHALL BE LOCATED SYMMETRICALLY WITH THE ARCHITECTURAL ELEMENTS OF THE BUILDING, NOTWITHSTANDING THE FACT THAT LOCATIONS INDICATED BY THESE DRAWINGS MAY BE DISTORTED FOR CLARITY OF PRESENTATION.
- ALL CONDUIT RACEWAYS SHALL BE CONCEALED IN OR WITHIN: WALLS, CEILING CAVITY, ROOF CONSTRUCTION (WHERE APPROVED BY ROOFING CONTRACTOR), SLAB, GRADE, ETC. UNLESS OTHERWISE NOTED. IT IS INTENDED THAT ALL RACEWAYS ARE TO BE ROUTED IN A CONCEALED MANNER THAT TAKES ADVANTAGE OF AREAS EXPOSED DURING THE CONSTRUCTION PROCESS. INSTALL RACEWAYS IN A MANNER THAT TAKES ADVANTAGE OF THE EXPOSED ROOF STRUCTURE WHEN THE ROOF IS INSTALLED. ANY RACEWAY THAT IS TO BE ROUTED EXPOSED SHALL BE APPROVED AT THE BEGINNING OF THE PROJECT BY THE ARCHITECT/ENGINEER PRIOR TO INSTALLATION. IF WHEN THE CONSTRUCTION WAS OPEN AND A METHOD WAS AVAILABLE TO CONCEAL THE RACEWAYS, WAS NOT USED, THE CONTRACTOR SHALL REOPEN THE CONSTRUCTION, INSTALL THE RACEWAYS, AND RESTORE THE FINISHES WITHOUT COST TO THE OWNER. ALL CONDUIT SHALL BE ROUTED PARALLEL OR PERPENDICULAR TO WALLS AND STRUCTURAL MEMBERS WITH 90° BENDS WHERE REQUIRED AND SHALL BE RACKED. QUANTITY OF PULL AND JUNCTION BOXES SHALL BE HELD TO A MINIMUM IN COMPLIANCE WITH SPECIFICATIONS AND CODE REQUIREMENTS.
- NO WIREWAY, TROUGH OR JUNCTION SHALL BE UTILIZED WHERE MORE THAN 8 CONDUITS ARE ENTERING OR LEAVING. MULTIPLE WIREWAYS, TROUGHS OR JUNCTIONS SHALL BE UTILIZED. IN NO CASE SHALL FEEDER OR CONDUIT OR CABLING BE MIXED WITH BRANCH CONDUITS.
- NO CONDUITS SHALL BE ROUTED ON ROOF. ELECTRICAL CONTRACTOR SHALL COORDINATE ROOF PENETRATIONS WITH MECHANICAL ROOF CURBS, WHERE CONDUIT MUST BE RUN ON ROOF, IT SHALL BE RACKED WITH OTHER TRADES WHERE POSSIBLE OR PROVIDED WITH ITS OWN ROOF RACK SUPPORT SYSTEM WITH PROPER ROOF PLATE SO AS NOT TO CAUSE DAMAGE TO ROOF COVERING.
- ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL SLEEVES THROUGH WALLS AND CORING THROUGH FLOORS. ELECTRICAL CONTRACTOR SHALL WEATHERPROOF AND SEAL ALL PENETRATIONS THROUGH FOUNDATION AND EXTERIOR WALLS.
- INSTALL RACEWAYS EXPOSED IN MECHANICAL ROOMS, ELECTRICAL ROOMS, ELECTRICAL CLOSETS, JANITOR CLOSETS, AND OTHER AREAS WITHOUT CEILING SYSTEMS.
- ELECTRICAL CONTRACTOR SHALL FIREPROOF ALL CONDUIT OPENINGS BETWEEN FLOORS AND ANY FIRE SEPARATION OR RATED WALLS WITH AN APPROVED LISTED FIRE RETARDANT MATERIAL.
- ELECTRICAL CONTRACTOR SHALL FIREPROOF ALL BOXES OR OTHER OPENINGS REQUIRED IN FIRE SEPARATION OR RATED WALLS WITH AN APPROVED LISTED FIRE RETARDANT MATERIAL.
- CONTRACTOR SHALL CHECK DRAWINGS OF OTHER TRADES TO VERIFY THAT SPACES IN WHICH THEIR WORK WILL BE INSTALLED ARE CLEAR OF OBSTRUCTIONS. WORK SHALL BE INSTALLED TO MAINTAIN MAXIMUM HEADROOM AND SPACE CONDITION AT ALL POINTS IN THE BUILDING. WHERE HEADROOM OR SPACE CONDITIONS APPEAR INADEQUATE, CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER IN WRITING BEFORE PROCEEDING WITH THE INSTALLATION OF THEIR WORK.
- CONTRACTOR SHALL FURNISH OTHER TRADES ADVANCE INFORMATION AND/OR SHOP DRAWINGS ON LOCATIONS AND SIZES OF RACEWAYS, DEVICES, EQUIPMENT, FRAMES, BOXES, SLEEVES AND OPENINGS, ETC. NEEDED FOR THEIR WORK TO PERMIT OTHER TRADES AFFECTED TO INSTALL THEIR WORK PROPERLY AND WITHOUT DELAY.
- WHERE THERE IS EVIDENCE THAT WORK OF ONE TRADE WILL INTERFERE WITH WORK OF OTHER TRADES, ALL TRADES SHALL MEET ON JOB SITE TO WORK OUT SPACE CONDITIONS AND MAKE SATISFACTORY ADJUSTMENTS TO INSTALLATION OF THE NEW WORK. THE CONTRACTOR SHALL BE RESPONSIBLE, AT THEIR OWN EXPENSE, FOR THE REMOVAL AND REINSTALLATION OF ANY PART OF THEIR WORK IF SAME WAS INSTALLED WITHOUT CONSULTING WITH OTHER TRADES BEFORE INSTALLING THEIR WORK.
- CONTRACTOR SHALL PROVIDE SLEEVES IN FLOORS AND WALLS AS REQUIRED BY JOB SITE CONDITIONS, AND/OR AS SPECIFIED, WHEN INSTALLING THEIR WORK. THE SEQUENCE FOR THE INSTALLATION OF ALL WORK SHALL BE COORDINATED BETWEEN ALL CONTRACTORS ON THE PROJECT AND IN STRICT ACCORDANCE WITH ARCHITECT/ENGINEER AND OWNERS STIPULATION AS CALLED FOR IN THE SPECIFICATION AND/OR AS DIRECTED.
- FINAL EQUIPMENT CONNECTION TO PILOT CONTROL DEVICES SHALL BE MADE WITH 1'-0" MINIMUM LENGTH OF FLEXIBLE CONDUIT CONNECTION (I.E., SOLENOID VALVES, MOTORIZED DAMPERS, ETC.).
- ALL INSTRUMENTS, APPARATUS AND EQUIPMENT SHALL BE TESTED AND PROVED TO BE ELECTRICALLY AND MECHANICALLY WITHOUT DEFECTS. THE ELECTRICAL SYSTEM SHALL BE TESTED FOR GROUNDS OR SHORTS AND IF SHORTED OR GROUNDED, ALL SUCH WIRES SHALL BE REMOVED AND REPLACED. IF TROUBLE IS WITHIN CIRCUIT, ALL METERS, CABLES, EQUIPMENT OR APPARATUS NECESSARY FOR MAKING ALL TESTS SHALL BE FURNISHED AND PROVIDED BY CONTRACTOR.
- ALL RACEWAYS ARE METALLIC EXCEPT UNDERGROUND BRANCH CIRCUIT AND FEEDER RACEWAYS MAY BE RIGID NONMETALLIC RACEWAYS. SERVICE CONDUCTORS ARE REQUIRED TO BE CONCRETE ENCASED RIGID STEEL CONDUIT.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NFPA 70 (NEC) AND LOCAL REQUIREMENTS. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
- ALL EQUIPMENT AND MATERIAL USED ON THIS PROJECT SHALL BE NEW AND UL LISTED.
- 20A CIRCUITS MORE THAN 100 FEET LONG SHALL BE #10 AWG COPPER MINIMUM.
- PROVIDE EQUIPMENT GROUND IN FEEDER AND BRANCH CIRCUIT RACEWAYS EXCEPT LIGHTING BRANCH CIRCUITS.

COORDINATE FINAL TERMINATION WITH COMMONWEALTH EDISON

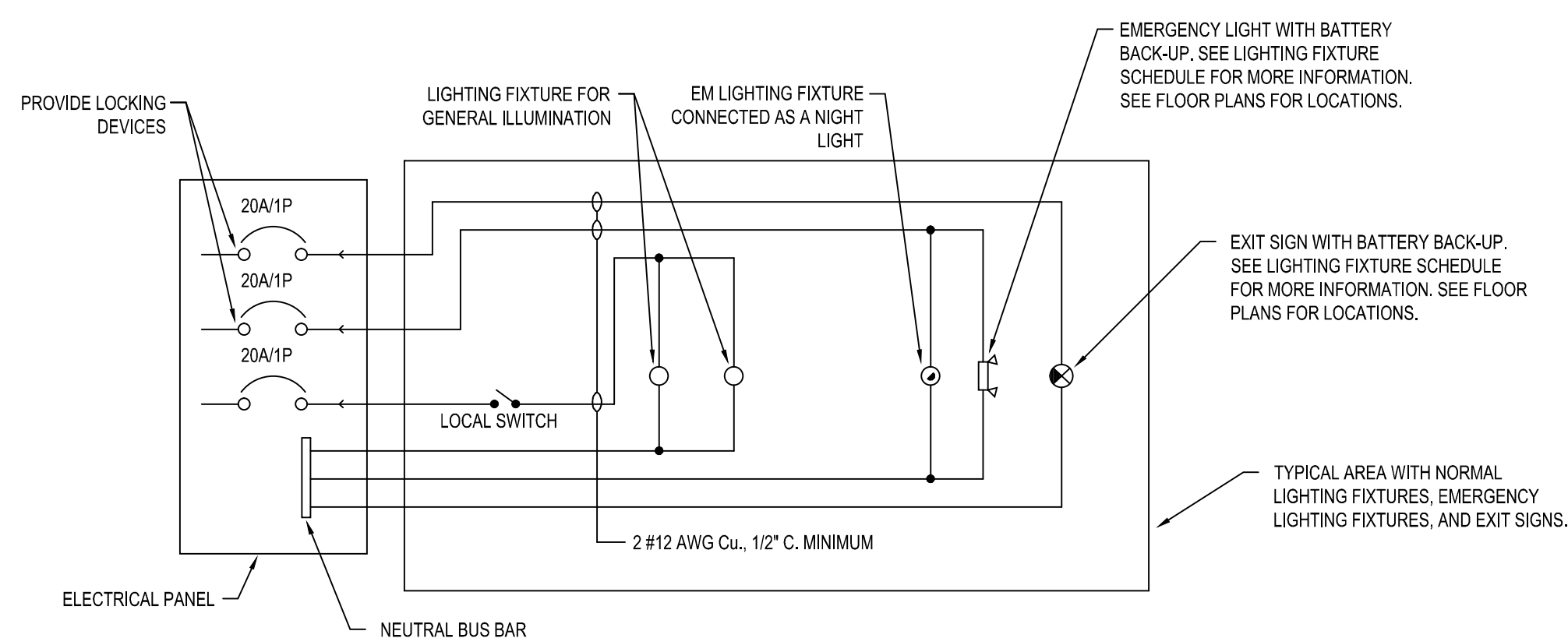


9 UNDERGROUND CONDUIT LEGEND
N.T.S.

E1 PARTIAL SITE PLAN
1/8" = 1'-0"

LIGHTING FIXTURE SCHEDULE

TAG	SYMBOL	MANUFACTURER	LAMPS	MOUNTING	DESCRIPTION	DIAGRAM
EM2		CHLORIDE GIM	(2) 6V 11W HALOGEN	SURFACE WALL	2 LAMP SELF-CONTAINED UNIT BATTERY LIGHTING EQUIPMENT 120/277V	
EM9		LITHONIA ELA AFNR DB	(2) 6V 6W HALOGEN	SURFACE WALL	DOUBLE LAMP REMOTE EMERGENCY LIGHTING EQUIPMENT MINIMUM #10 AWG CONDUCTORS BETWEEN UNIT EQUIPMENT AND REMOTE HEAD PROVIDE REMOTE 6V BATTERY IN HEATED AREA FOR EXTERIOR FIXTURE	
X		EELP, INC. EDG-1-RC-A-EM-NI RED LETTERS ON MIRROR BACKGROUND ARROWS AS SHOWN ON PLANS * SINGLE FACE OR DOUBLE PER PLAN	LEDS	SURFACE CEILING MOUNT	ARCHITECTURAL GRADE EDGE GLOW TYPE LED EXIT SIGN LEGEND COLOR TO MEET LOCAL CODE 120V/277V SELECTABLE INPUT, CHEVRONS AS INDICATED WITH INTEGRAL NICKEL-CADMIUM BATTERY BACKUP	
X		EELP, INC. EDG-1-RC-A-EM-NI RED LETTERS ON MIRROR BACKGROUND ARROWS AS SHOWN ON PLANS	LEDS	SURFACE WALL BACK MOUNT	EDGE GLOW TYPE LED EXIT SIGN LEGEND COLOR TO MEET LOCAL CODE 120V/277V SELECTABLE INPUT, CHEVRONS AS INDICATED WITH INTEGRAL NICKEL-CADMIUM BATTERY BACKUP	
Y		LSI EG3-1-54-S9HO-WL-UE	(1) F54T5HO 3500°K	SURFACE MOUNT	4' 1" LAMP FLUORESCENT STRIP LIGHT WITH ENCLOSED GASKETED HOUSING ALL PARTS PAINTED AFTER FABRICATION ELECTRONIC BALLAST	



EM SYSTEM TYPICAL WIRING DIAGRAM FOR EMERGENCY LIGHTING AND EXIT SIGNS N.T.S.

NOTES

UNIT BATTERY LIGHTING EQUIPMENT SHALL BE WIRED ON THE SAME BRANCH CIRCUIT SERVING THE EMERGENCY ILLUMINATION IN THE AREA.

BATTERY UNIT SHALL BE FED FROM THE EMERGENCY NIGHT LIGHTING CIRCUIT THAT ILLUMINATES THE AREA OF THE BATTERY UNIT OR THE UNSWITCHED NORMAL LIGHTING CIRCUIT IN AREAS WITHOUT EMERGENCY NIGHT LIGHTS.

EMERGENCY LIGHTING ON CONTINUOUSLY WITH LOCKING DEVICES ON THE CIRCUIT BREAKER.

MAINTENANCE AND TESTS SHALL BE PERFORMED AS REQUIRED BY NFPA 70 AND LOCAL REQUIREMENTS.

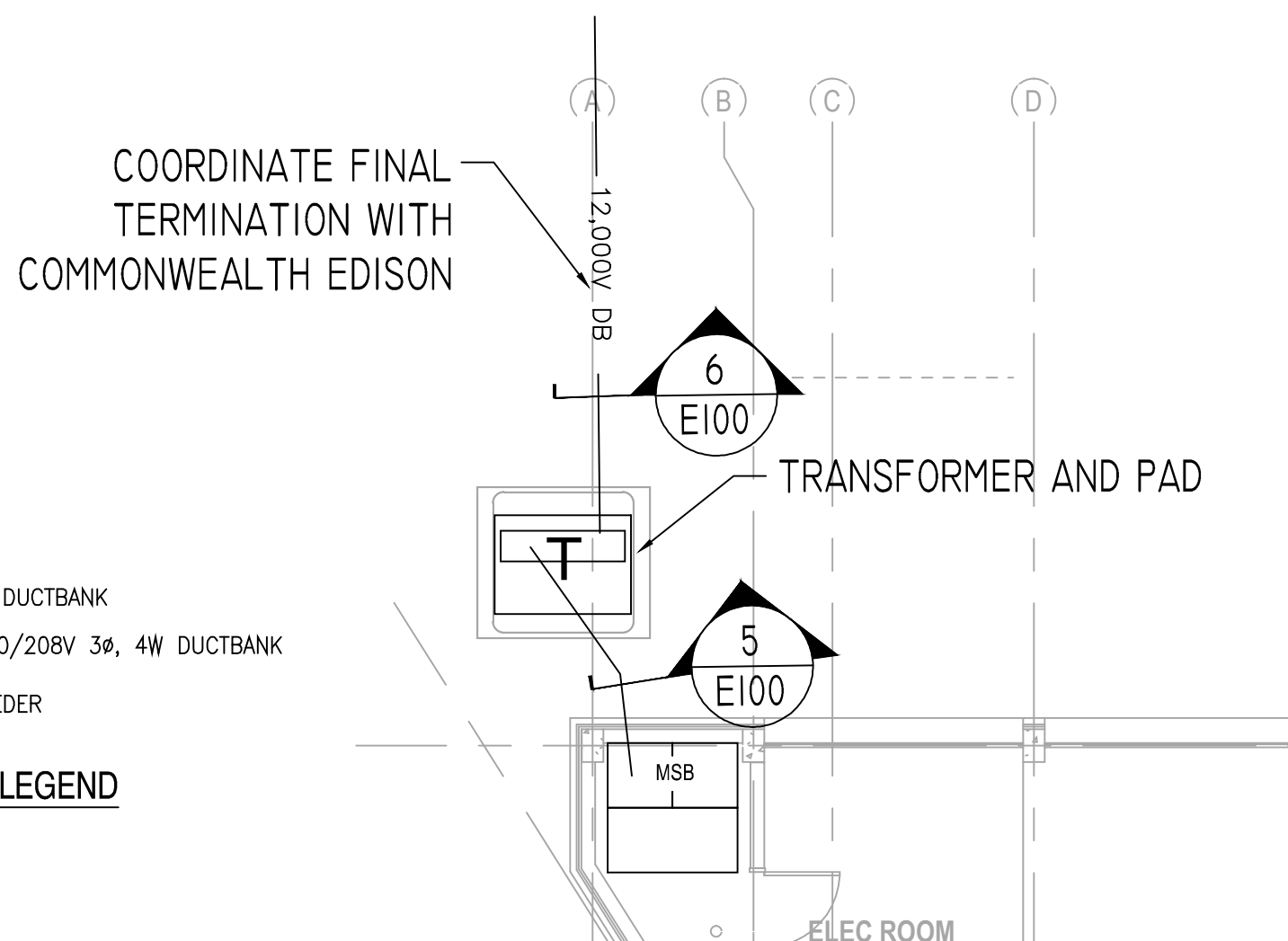
a) THE MANUFACTURER SHALL SUPPLY WITH EACH UNIT BATTERY A COMPLETE SET OF INSTRUCTIONS FOR THE OPERATION AND MAINTENANCE OF THE EQUIPMENT.

b) THE DATE OF ORIGINAL INSTALLATION AND OF SUBSEQUENT BATTERY REPLACEMENTS SHALL BE POSTED CONSPICUOUSLY ON THE BATTERY CONTAINER.

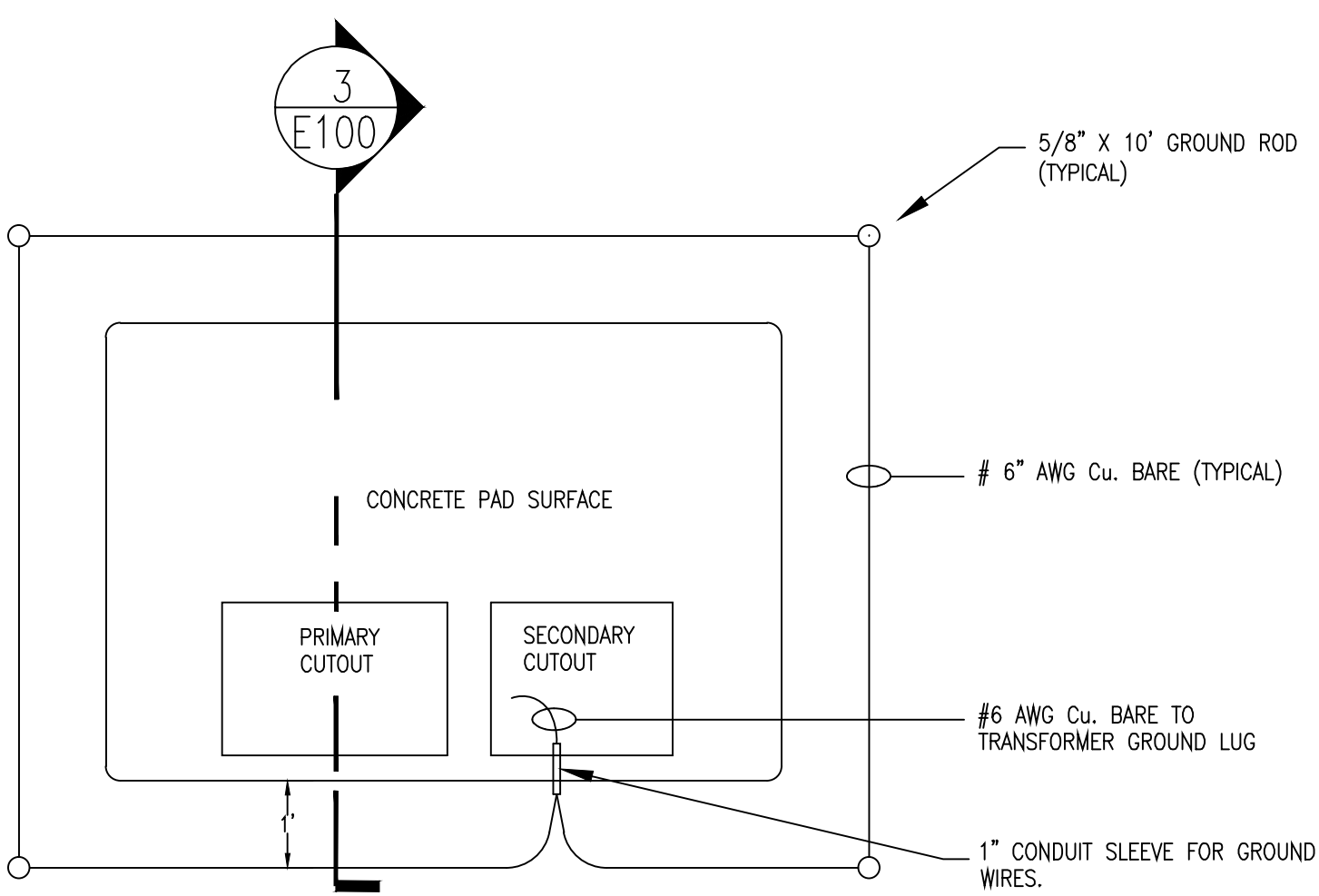
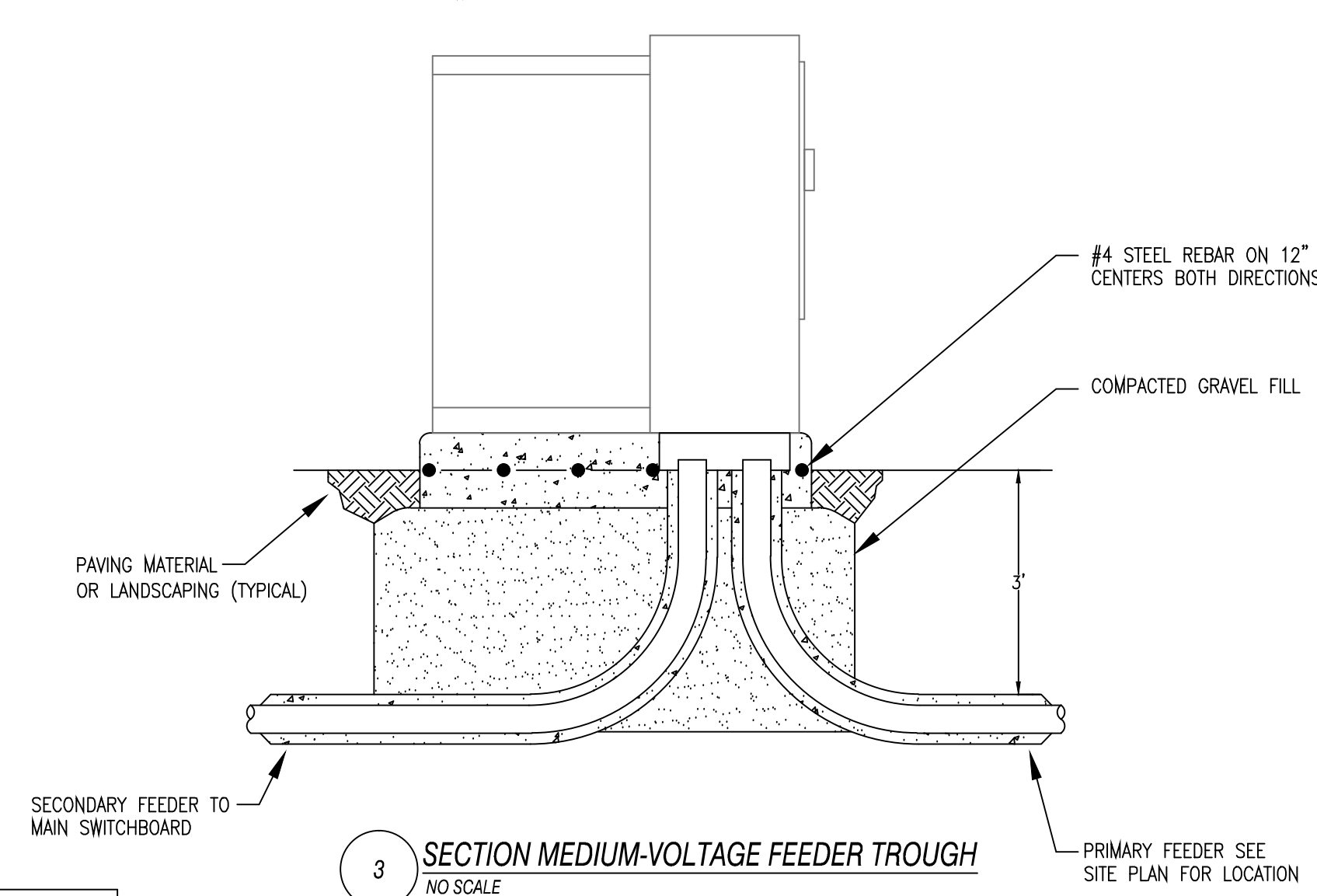
c) EACH UNIT SHALL BE TESTED ANNUALLY.

d) THERE SHALL BE A WATER LEVEL INDICATOR WHERE APPLICABLE AND THE WATER SHALL BE CHECKED MONTHLY.

e) A READILY AVAILABLE LOG OF THESE INSPECTIONS SHALL BE MAINTAINED ON A CARD ATTACHED TO THE UNIT BATTERY. THE CARD SHALL CONTAIN THE NAME AND ADDRESS OF THE RESPONSIBLE MAINTENANCE PERSONNEL THAT PERFORMED THE TESTING REQUIRED IN (c) AND (d) OF THIS SUBSECTION.

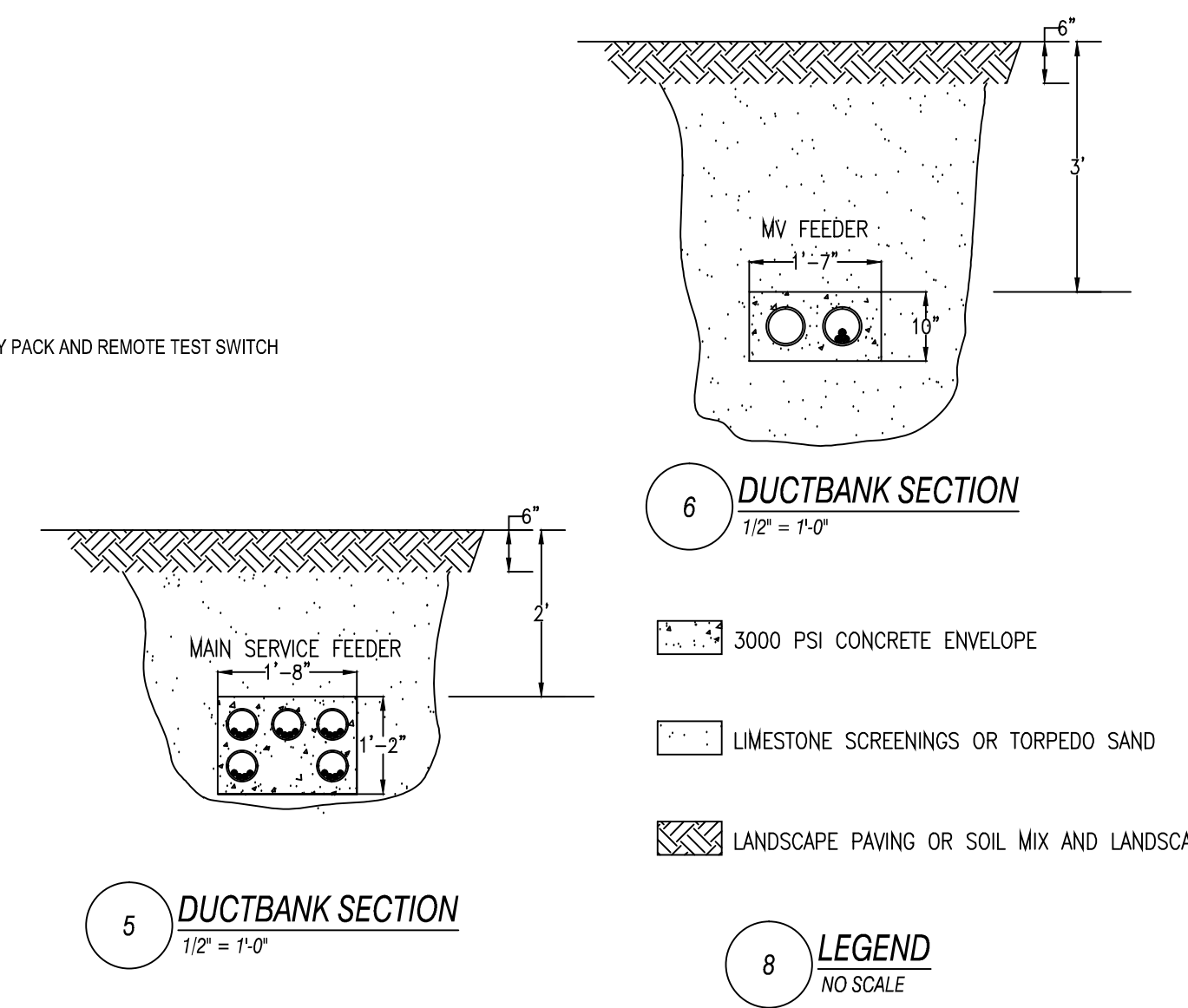


PROVIDE CONCRETE TRANSFORMER PAD SIZED PER COMMONWEALTH EDISON
COORDINATE PAD DETAILS WITH THE TRANSFORMER MANUFACTURER'S REQUIREMENTS.



LIGHT FIXTURE SCHEDULE:

- F1 HUBBARDTON FORGE 307286-10 FLUORESCENT LAMP
- F2 HUBBARDTON FORGE 307285-10 FLUORESCENT LAMP
- F3 HUBBARDTON FORGE 304903-10 FLUORESCENT LAMP
- F4 PRESCOLITE LF45QLEDG4 EMR WITH EMERGENCY BATTERY PACK AND REMOTE TEST SWITCH
- F5 LIGHTOLIER C4X420MRU
- F6 LIGHTOLIER C4X420MRU
- F7 CIRCA LIGHTING TO85017
- F8 LIGHTOLIER CWL
- F9 LIGHTOLGY P470
- F10 MINKA LAVERY 6919-613
- F11 JUNO TRAC-LITES 12V 50W 4' 3-RD ROUND BACK KIT
- F12 LIGHTOLGY MALIBU PENDANT FES161096
- F13 TEXAS FLUORESCENTS UCL
- F14 TEXAS FLUORESCENTS CTUCL
- F15 DAVIS 12065
- F16 MINKA LAVERY 6913-613
- F17 MINKA LAVERY 6914-613
- F18 LIGHTOLIER 1050SDDFGCDW
- F19 2X4 RECESSED FLUORESCENT FIXTURE
- F20 WALL MOUNTED STAIR FLUORESCENT FIXTURE



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912 W. Lake St. Chicago, Illinois 60661
312-563-9100
312-563-1919
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Consulting MEP Engineers
557 West Randolph Street, #103
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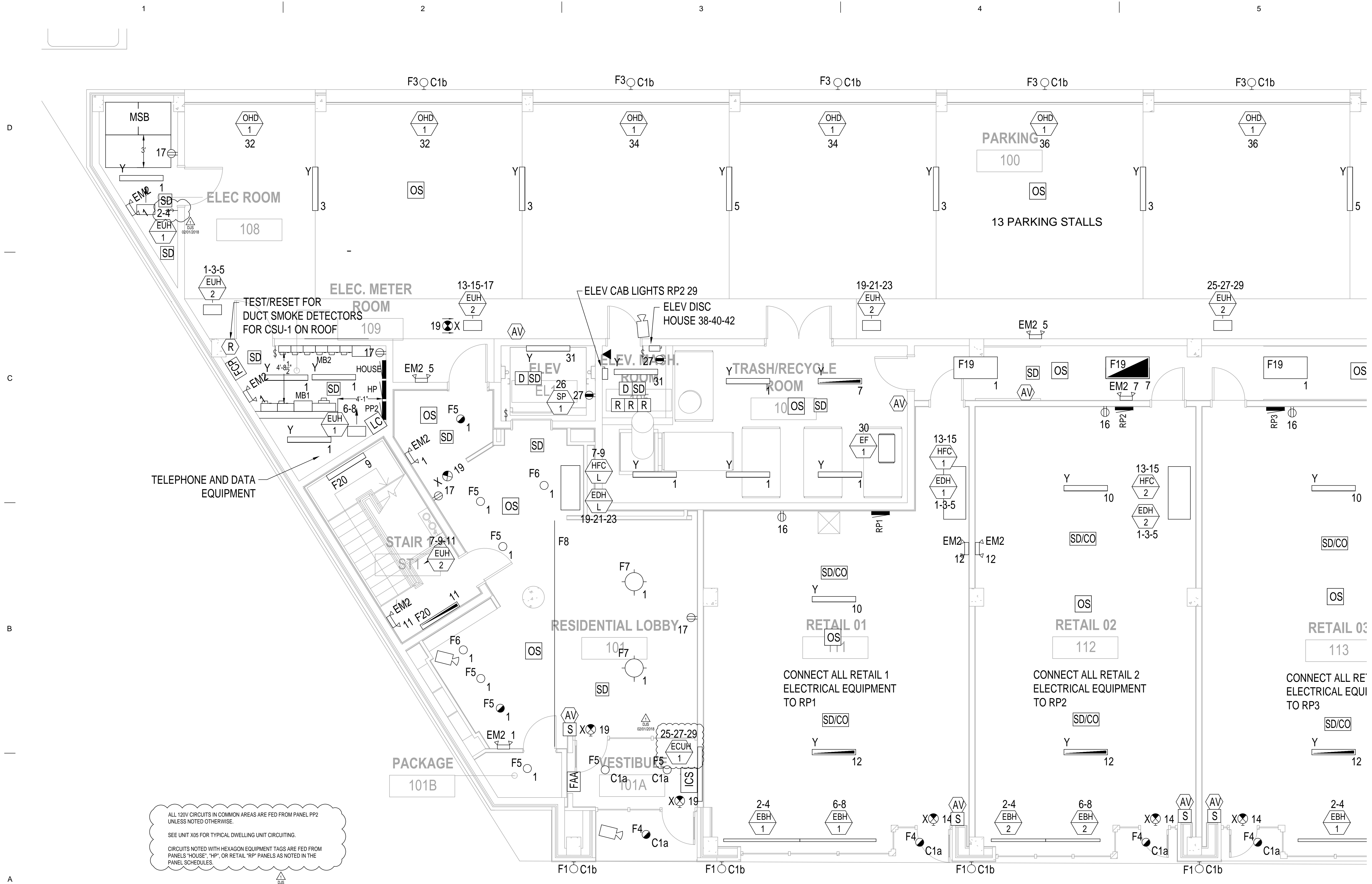
DESCRIPTION DATE

DAVID J SWARTZ
03-24-2017
062-47719
REGISTERED PROFESSIONAL ENGINEER
STATE OF ILLINOIS
Expires Nov. 30, 2017

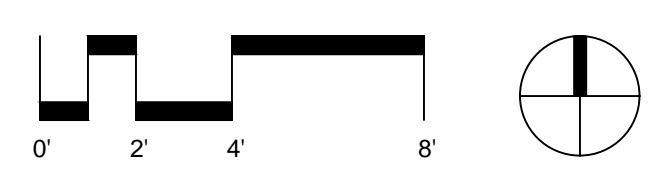
ELECTRICAL SITE AND NOTES

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E1 PARTIAL PLAN WEST: 01A FIRST FLOOR PLAN
1/4" = 1'-0"



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312-563-9100
312-563-1919
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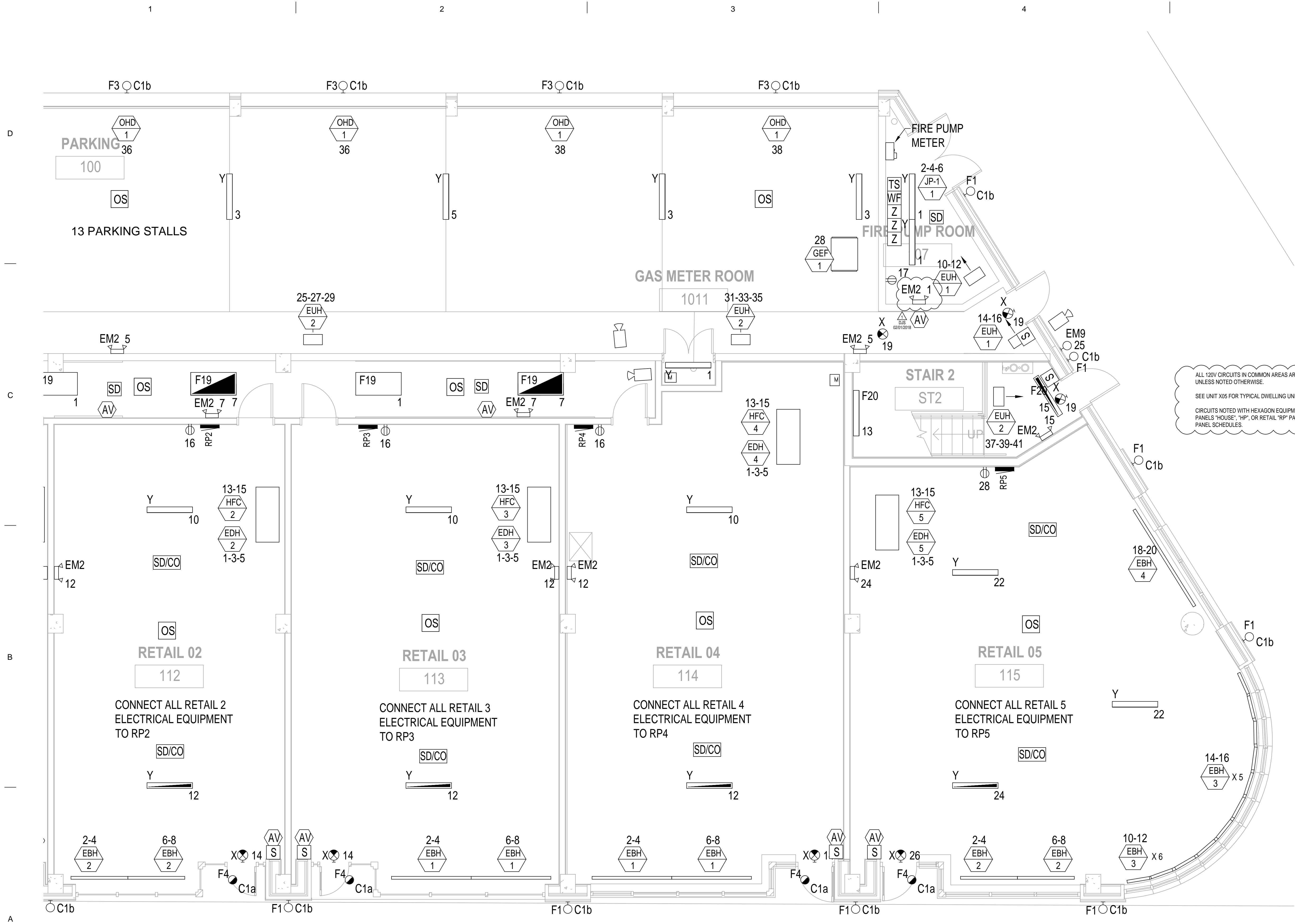
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**PARTIAL PLAN WEST
FIRST FLOOR PLAN
TYPICAL**

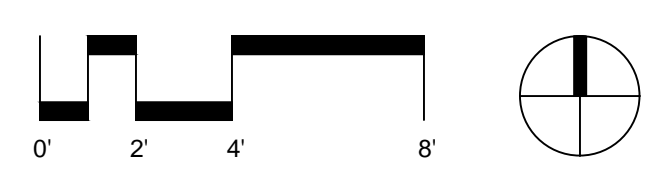
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 CIRCUITS NOTED WITH HEXAGON EQUIPMENT TAGS ARE FED FROM PANELS "HOUSE", "HP", OR RETAIL "RP" PANELS AS NOTED IN THE PANEL SCHEDULES.

E1 PARTIAL PLAN EAST: 01A FIRST FLOOR PLAN
 1/4" = 1'-0"



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 Associates Architects
 912 W. Lake St. Chicago, Illinois 312-563-9100
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 www.fitzgeraldassociates.net

CONSULTANT:
 KHATIB AND ASSOCIATES, INC.
 Consulting MEP Engineers
 557 West Randolph Street, #103
 Chicago, IL 60661
 p (312) 993-0438

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 Highland Park, IL 60035

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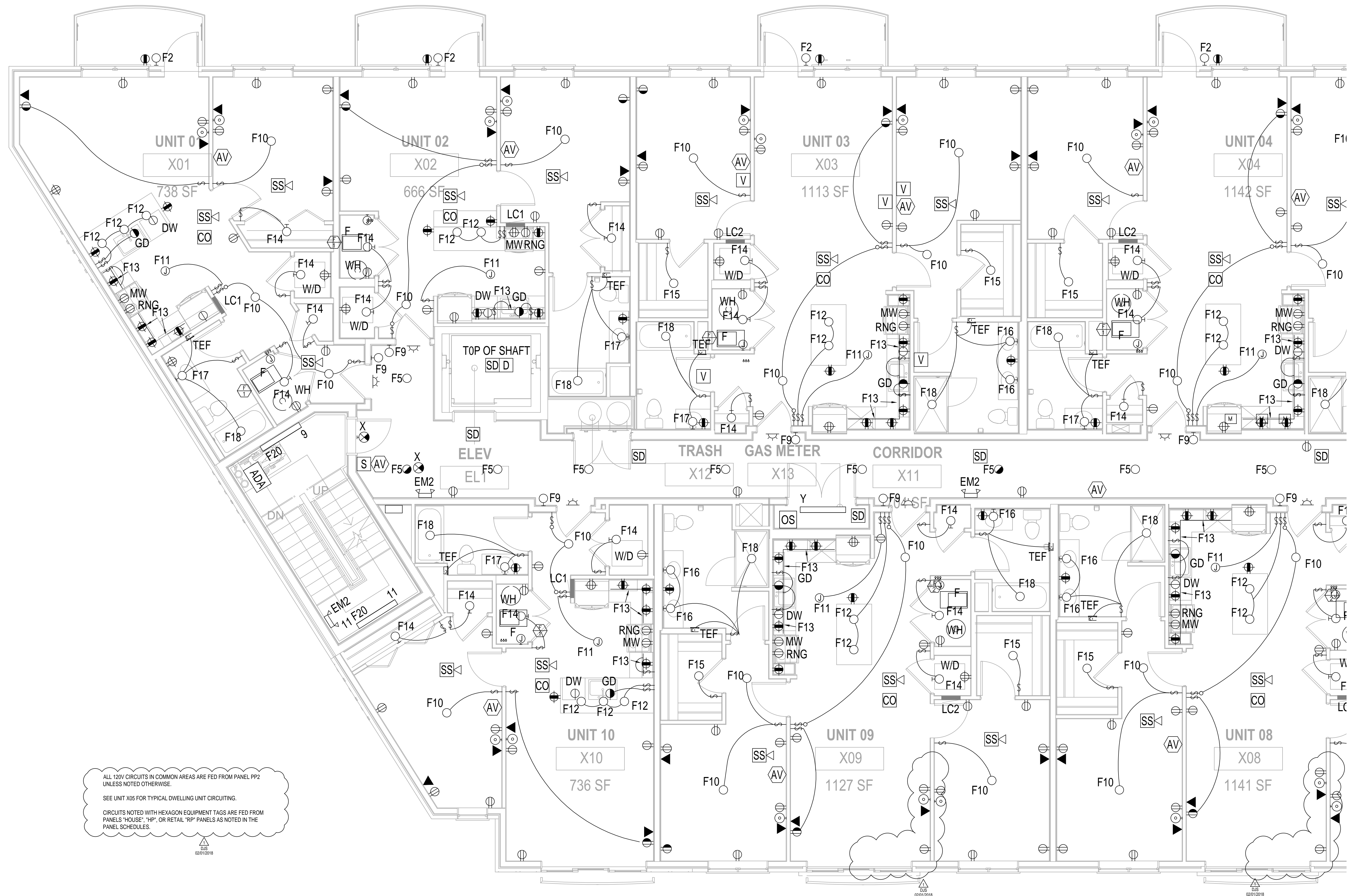
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PARTIAL PLAN EAST
 FIRST FLOOR PLAN
 TYPICAL

E1-01B

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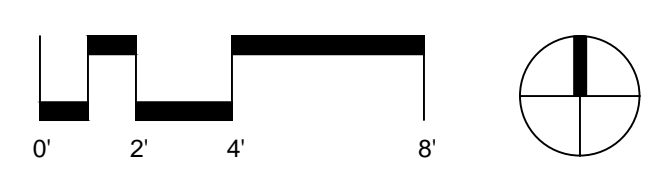


ALL 120V CIRCUITS IN COMMON AREAS ARE FED FROM PANEL PP2 UNLESS NOTED OTHERWISE.

SEE UNIT X05 FOR TYPICAL DWELLING UNIT CIRCUITING.

CIRCUITS NOTED WITH HEXAGON EQUIPMENT TAGS ARE FED FROM PANELS 'HOUSE', 'HP', OR RETAIL 'RP' PANELS AS NOTED IN THE PANEL SCHEDULES.

E1 PARTIAL PLAN WEST: 02A SECOND FLOOR- 04 FOURTH FLOOR PLAN
1/4" = 1'-0"



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912 W. Lake St. Chicago, Illinois 60661
312-563-9100
312-563-1919
www.fitzgeraldassociates.net

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Consulting MEP Engineers
557 West Randolph Street, #103
Chicago, IL 60661
p (312) 993-0438

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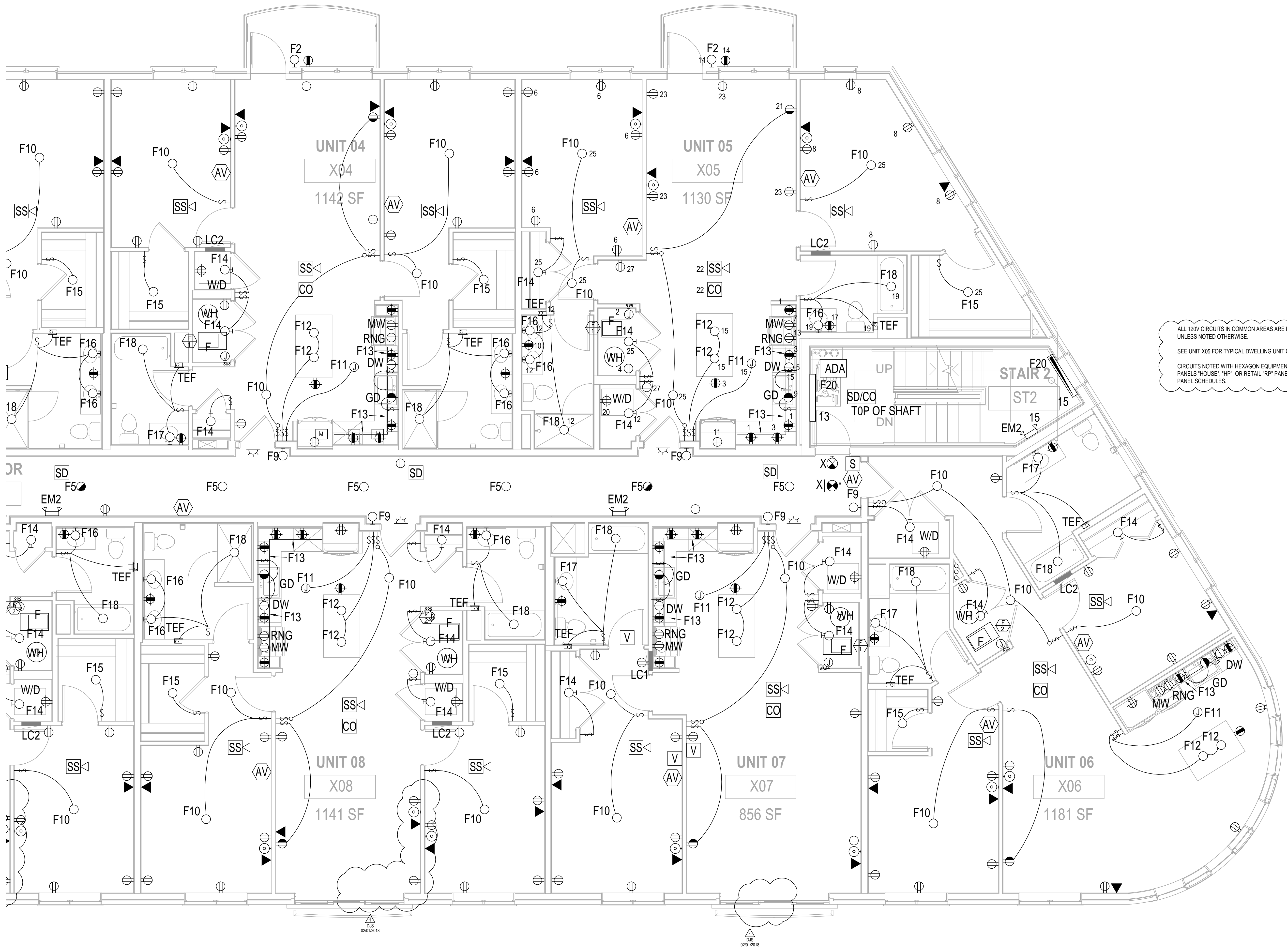
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PARTIAL PLAN WEST
SECOND-FOURTH
FLOOR PLAN
TYPICAL

E1-02A

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 Consulting MEP Engineers
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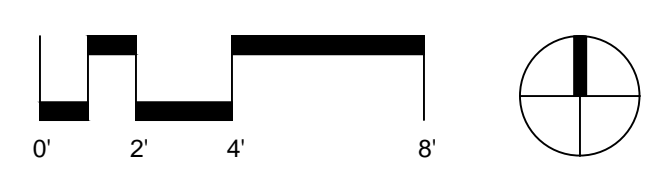
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PARTIAL PLAN EAST
 SECOND-FOURTH
 FLOOR PLAN
 TYPICAL

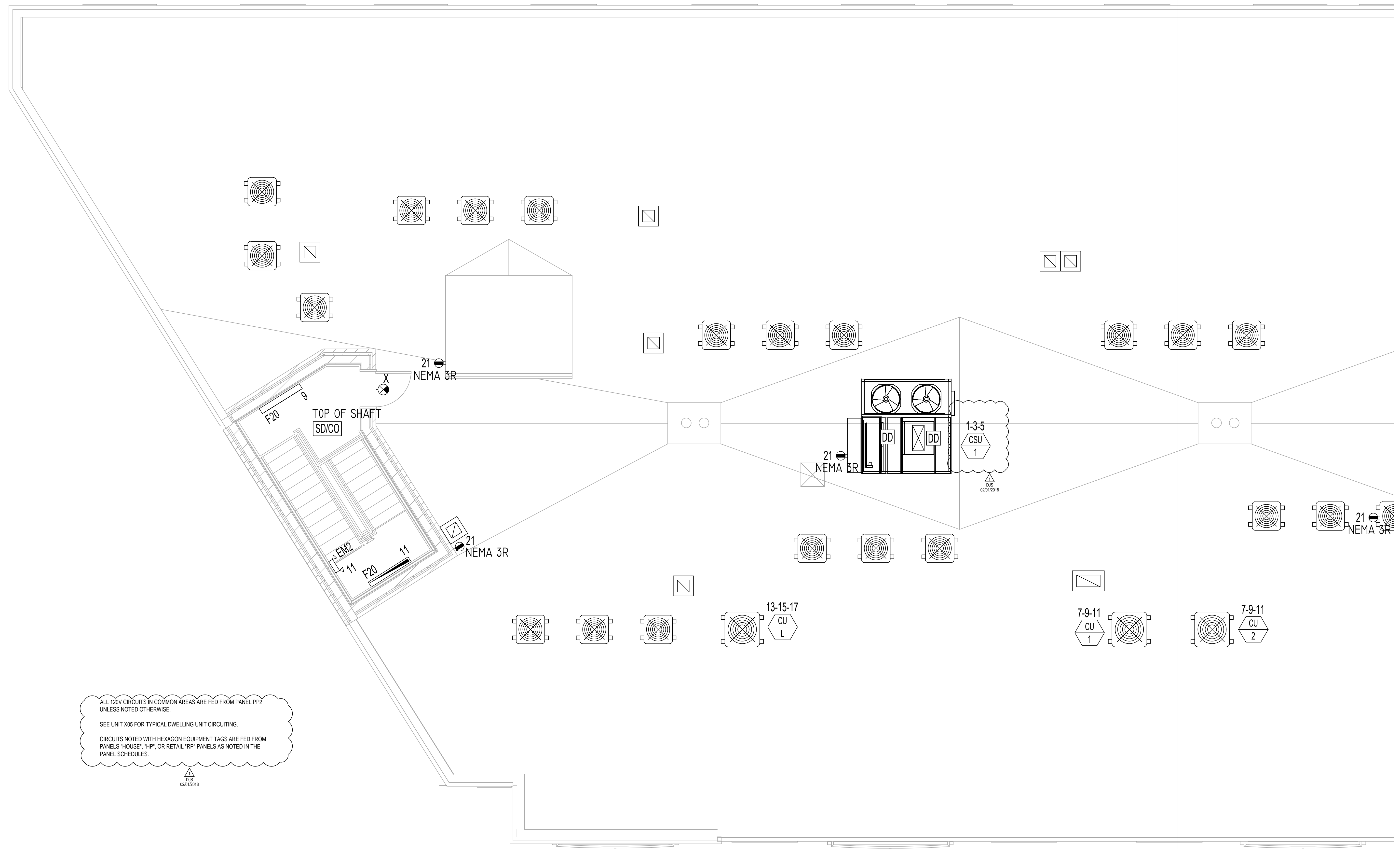
E1 PARTIAL PLAN EAST: 02A SECOND FLOOR- 04 FOURTH FLOOR PLAN
 1/4" = 1'-0"



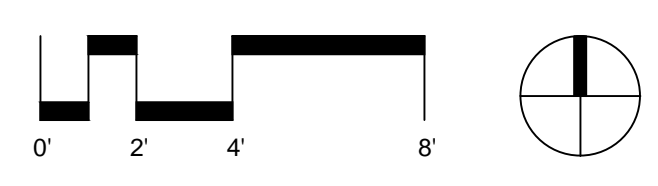
E1-02B

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E1 PARTIAL PLAN WEST: 03A ROOF PLAN
1/4" = 1'-0"



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Consulting MEP Engineers
557 West Randolph Street, #103
Chicago, IL 60661
p (312) 993-0438

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PARTIAL PLAN WEST
ROOF PLAN
TYPICAL

E1-03A

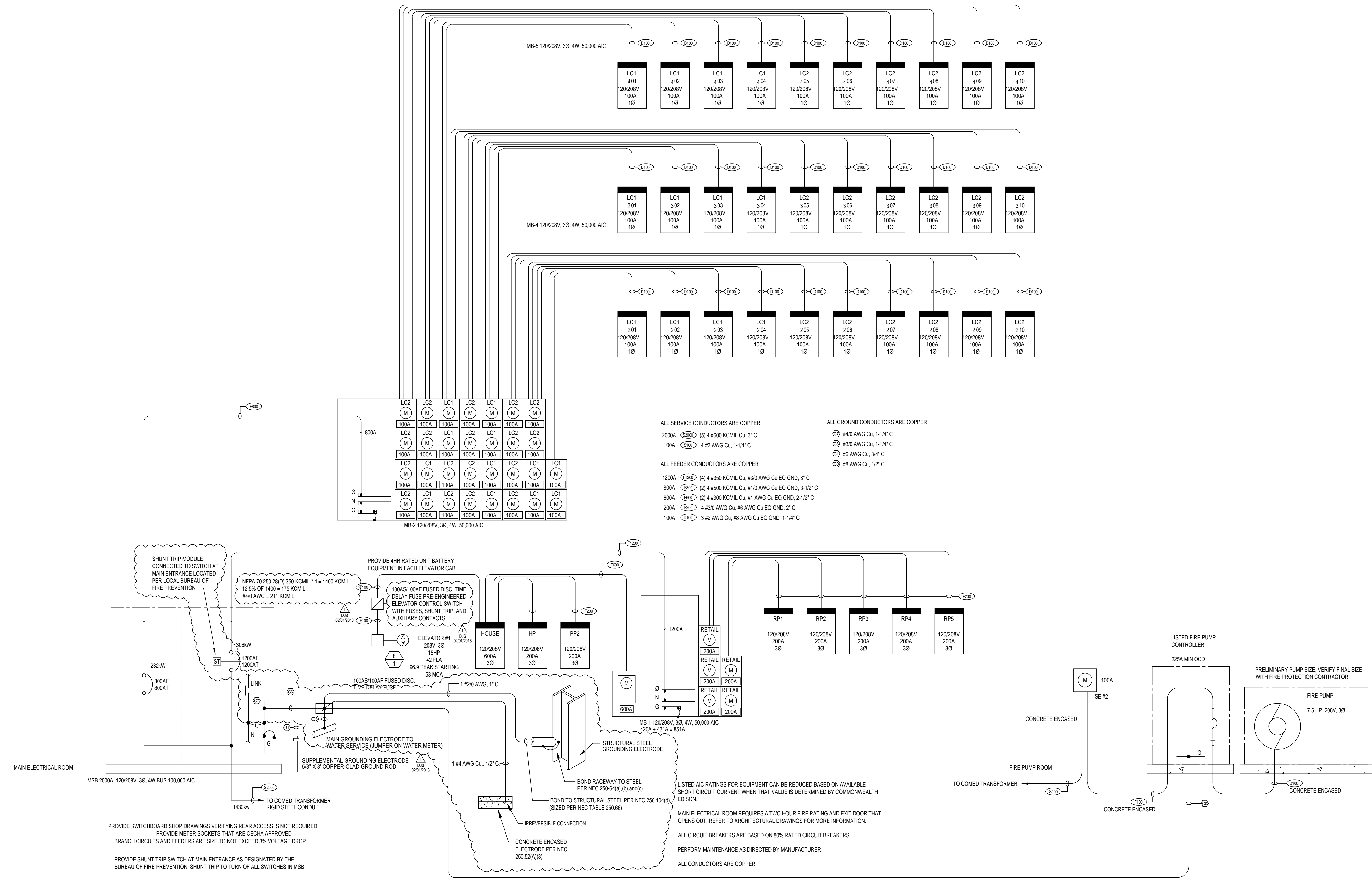
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Consulting MEP Engineers
557 West Randolph Street, #103
Chicago, IL 60661
p (312) 993-0438

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ELECTRICAL SINGLE LINE DIAGRAM

E6-00

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RETAIL LOAD CALCULATION		
RETAIL SPACE		
5008	SQUARE FEET AT 3 WISQUARE FOOT =	15,294
TOTAL LOAD =		15,294 W
DEMAND TOTAL =		15,294 W
FIXED EQUIPMENT		
	FIXED EQUIPMENT =	0 W
	EXTERIOR SIGNAGE =	6,000 W
	TOTAL FIXED EQUIPMENT =	6,000 W
A/C EQUIPMENT		
	A/C EQUIPMENT =	25400 W 30
	HEATING EQUIPMENT =	102724 W 30
	TOTAL NON-COINCIDENT LOAD =	102,724 W 30
TOTAL CALCULATED LOAD =		
	TOTAL CALCULATED LOAD =	124,016 W 30
	TOTAL CALCULATED LOAD =	344 AMPS 120/208V
	SERVICE SIZE = 125% x	344 AMPS = 431 AMPS 120/208V
800A AMP, 120/208V, 3Ø, 4W SERVICE PROVIDED		

COMMON AREAS LOAD CALCULATION		
COMMON AREAS		
11024	SQUARE FEET AT 3 WISQUARE FOOT =	33,072
TOTAL LOAD =		33,072 W
DEMAND TOTAL =		33,072 W
FIXED EQUIPMENT		
	FIXED EQUIPMENT =	3000 W
	ELEVATOR =	30,000 W
	TOTAL FIXED EQUIPMENT =	33,000 W
A/C EQUIPMENT		
	A/C EQUIPMENT =	25120 W 30
	HEATING EQUIPMENT =	55000 W 30
	TOTAL NON-COINCIDENT LOAD =	55,000 W 30
TOTAL CALCULATED LOAD =		
	TOTAL CALCULATED LOAD =	121,072 W 30
	TOTAL CALCULATED LOAD =	336 AMPS 120/208V
	SERVICE SIZE = 125% x	336 AMPS = 420 AMPS 120/208V
800A AMP, 120/208V, 3Ø, 4W COMMON AREA SERVICE PROVIDED		

SINGLE UNIT LOAD CALCULATION		
RESIDENTIAL SPACE 1 UNITS		
1,181	SQUARE FEET AT 3 WISQUARE FOOT =	3,543 W
SMALL APPLIANCE LOAD =		2 X 1,500 W = 3,000 W
LAUNDRY LOAD =		1 X 1,500 W = 1,500 W
TOTAL LOAD =		8,043 W
50% OF FIRST 3,000 W = 3,000 W		
35% OF NEXT 100,000 W = 2,815 W		
25% OF REMAINING W = 0 W		
DEMAND TOTAL =		5,815 W
FIXED EQUIPMENT		
	DISHWASHER =	1 X 750 W = 750 W
	GARBAGE DISPOSAL =	1 X 750 W = 750 W
	FIXED MICROWAVE =	1 X 1,200 W = 1,200 W
TOTAL FIXED EQUIPMENT =		2,700 W
TOTAL FOUR FIXED APPLIANCES = 1 X 2,700 W = 2,700 W		
ELECTRIC RANGE = 0 X 8,800 W = 0 W		
TOTAL FIXED COOKING EQUIPMENT = 0 W		
MAXIMUM DEMAND = 0 W		
A/C EQUIPMENT = 4,904 W		
TOTAL CALCULATED LOAD = 13,419 W AT 120/208V 1Ø = 65 AMPS		
SERVICE SIZE = 65 AMPS = 65 AMP MINIMUM SERVICE SIZE		
100 AMP LOAD CENTER PROVIDED		

30 UNIT LOAD CALCULATION		
RESIDENTIAL SPACE 30 UNITS		
29,637	SQUARE FEET AT 3 WISQUARE FOOT =	88,911 W
SMALL APPLIANCE LOAD =		60 X 1,500 W = 90,000 W
LAUNDRY LOAD =		30 X 1,500 W = 45,000 W
TOTAL LOAD =		223,911 W
50% OF FIRST 3,000 W = 3,000 W		
35% OF NEXT 100,000 W = 35,000 W		
25% OF REMAINING W = 30,228 W		
DEMAND TOTAL =		68,228 W
FIXED EQUIPMENT		
	DISHWASHER =	30 X 750 W = 22,500 W
	GARBAGE DISPOSAL =	30 X 750 W = 22,500 W
	FIXED MICROWAVE =	30 X 1,200 W = 36,000 W
TOTAL FIXED EQUIPMENT =		81,000 W
TOTAL FOUR FIXED APPLIANCES = .75 X 81,000 W = 60,750 W		
ELECTRIC RANGE = 0 X 8,800 W = 0 W		
TOTAL FIXED COOKING EQUIPMENT = 0 W		
MAXIMUM DEMAND = 0 W		
A/C EQUIPMENT = 102,984 W		
TOTAL CALCULATED LOAD = 231,963 W AT 120/208V 3Ø = 644 AMPS		
SERVICE SIZE = 644 AMPS = 644 AMP MINIMUM SERVICE SIZE		
800 AMP RESIDENTIAL DISTRIBUTION PROVIDED		

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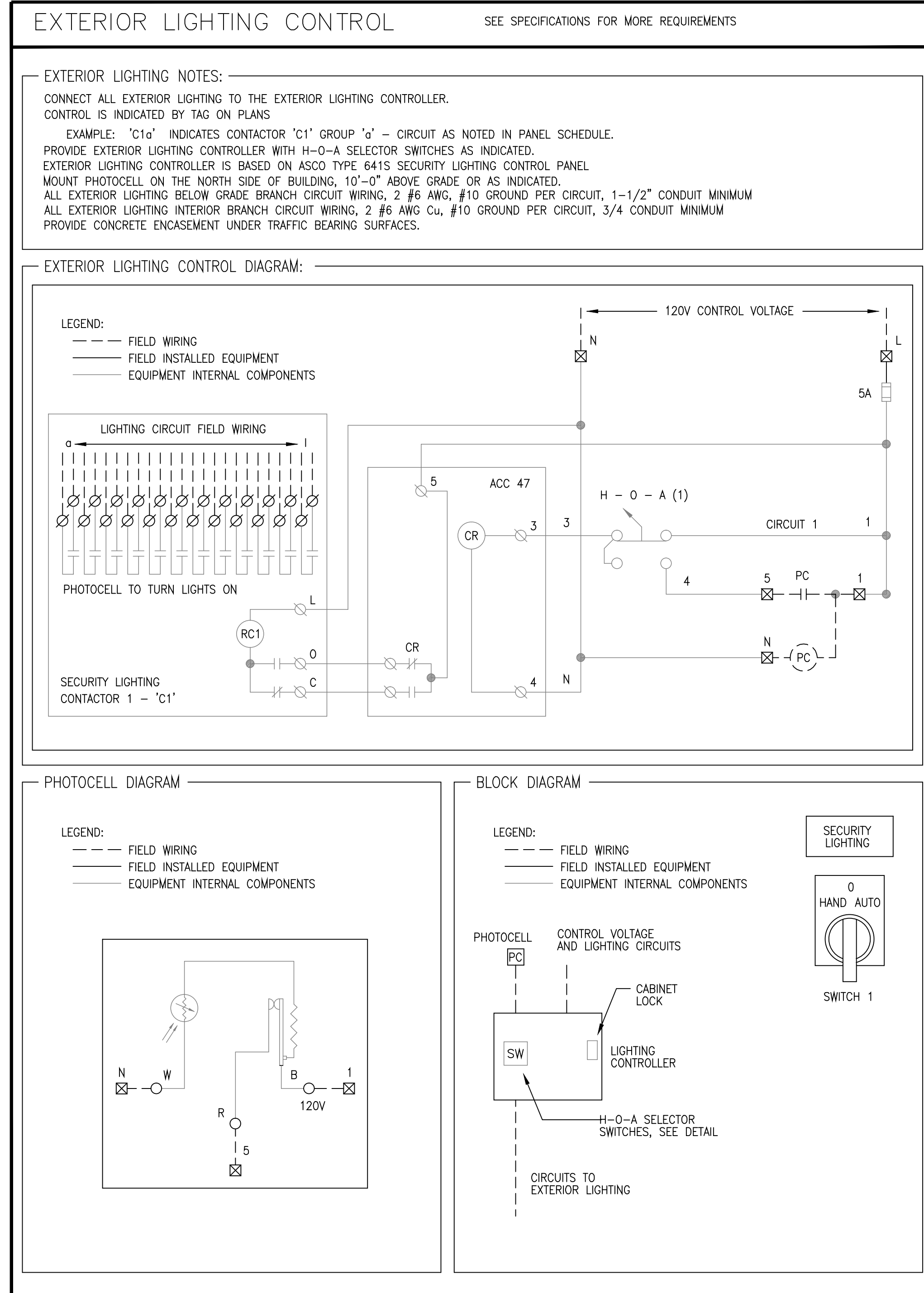
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ELECTRICAL LOAD CALCULATIONS

E6-01



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PANEL NAME: LC2 LOCATION: IN UNIT

PANEL MOUNTING: RECESSED LOCATION: IN UNIT

No. OF CIRCUITS: 30 DEMAND LOAD (kVA): 13.4

MAIN OCC: MLO DEMAND LOAD (AMPS): 64

BUS: 100A

VOLTAGE: 120/208V 1Ø 3w

A.I.C. SYM.: 10,000

BUS MATERIAL: COPPER

REMARKS:

CCT. No.	TRIP	DESCRIPTION	TRIP	DESCRIPTION	CCT. No.
1	20A	KIT APPLIANCE CIRCUIT	20A	FURNACE (F)	2
3	20A	KIT APPLIANCE CIRCUIT	20A	WATER HTR RECEPT (WH)	4
5	15A	DISHWASHER (DW)	15A	M. BEDROOM RECPTS	6
7	15A	MICROWAVE / FAN (MW)	15A	BEDROOM 2 RECPTS	8
9	15A	GARBAGE DISPOSAL (GD)	20A	MSTR BATHROOM RECEPT	10
11	15A	REFRIGERATOR	+15A	MSTR BATHROOM LIGHT/TEF	12
13	15A	GAS RANGE POWER (RNG)	20A	OPT EXT RECEPTLIGHT	14
15	15A	KITCHEN LIGHTING	*A	AC- ON ROOF	16
17	20A	BATHROOM RECEPTACLE	2P	↑	18
19	+15A	BATHROOM LIGHTING/TEF	20A	LAUNDRY (W/D)	20
21	15A	LIVING ROOM LIGHTING	20A	SMOKE/CO DETECTOR	22
23	15A	LIVING ROOM RECEPTACLES	20A	SPACE	24
25	15A	GENERAL LIGHTING	20A	SPACE	26
27	15A	GENERAL RECEPTACLES	20A	SPACE	28
29	15A	SPARE	20A	SPACE	30

PANEL NAME: LC1 LOCATION: IN UNIT

PANEL MOUNTING: RECESSED LOCATION: IN UNIT

No. OF CIRCUITS: 30 DEMAND LOAD (kVA): 13.4

MAIN C/B: 100A DEMAND LOAD (AMPS): 64

BUS: 100A

VOLTAGE: 120/208V 1Ø 3w

A.I.C. SYM.: 10,000

BUS MATERIAL: COPPER

REMARKS:

CCT. No.	TRIP	DESCRIPTION	TRIP	DESCRIPTION	CCT. No.
1	20A	KIT APPLIANCE CIRCUIT	20A	FURNACE (F)	2
3	20A	KIT APPLIANCE CIRCUIT	20A	WATER HTR RECEPT (WH)	4
5	15A	DISHWASHER (DW)	15A	M. BEDROOM RECPTS	6
7	15A	MICROWAVE / FAN (MW)	15A	OPT EXT RECEPTLIGHT	8
9	15A	GARBAGE DISPOSAL (GD)	*A	AC- ON ROOF	10
11	15A	REFRIGERATOR	2P	↑	12
13	15A	GAS RANGE POWER (RNG)	20A	LAUNDRY (W/D)	14
15	15A	KITCHEN LIGHTING	20A	SMOKE/CO DETECTOR	16
17	20A	BATHROOM RECEPTACLE	20A	SPACE	18
19	+15A	BATHROOM LIGHTING/TEF	20A	SPACE	20
21	15A	LIVING ROOM LIGHTING	20A	SPACE	22
23	15A	LIVING ROOM RECEPTACLES	20A	SPACE	24
25	15A	GENERAL LIGHTING	20A	SPACE	26
27	15A	GENERAL RECEPTACLES	20A	SPACE	28
29	15A	SPARE	20A	SPACE	30

ELECTRICAL LOAD CENTER NOTES:

THE LOAD CENTER CIRCUIT SCHEDULES ARE TO BE COMPLETED BY THE CONTRACTOR AND PLACED IN THE PANEL DOOR. ALL SCHEDULES MUST BE TYPED (HANDWRITTEN SCHEDULES ARE NOT ACCEPTABLE)

CONNECT ALL UNIT BRANCH CIRCUITS TO AFCI PROTECTED CIRCUITS.

PROVIDE ONE GENERAL LIGHTING CIRCUIT PER 500 SQFT OF LIVING SPACE.

+15A AND +20A INDICATES INTEGRAL GFCI PROTECTION IN CIRCUIT BREAKER

FOR AC UNIT BRANCH CIRCUIT PROVIDE 20A 2P CIRCUIT BREAKER FOR AC-1 UNITS AND 30A 2P CIRCUIT BREAKER FOR AC-2 UNITS.

ELECTRICAL PANELBOARD NOTES:

THE PANEL SCHEDULES ARE TO BE COMPLETED BY THE CONTRACTOR AND PLACED IN THE PANEL DOOR. ALL SCHEDULES MUST BE TYPED (HANDWRITTEN SCHEDULES ARE NOT ACCEPTABLE)

PROVIDE GFCI RECEPTACLES WITH NEMA 3R ENCLOSURE AT ROOF FOR SERVICING EXTERIOR MECHANICAL EQUIPMENT.

REFER TO MECHANICAL PLANS FOR SIZES OF OCC'S FOR MECHANICAL EQUIPMENT.

ALL CIRCUITS MINIMUM 2 #12 AWG, #12 AWG. GND. Cu.

30A CIRCUITS MINIMUM 2 #10 AWG, #12 AWG. GND. Cu.

40A CIRCUITS MINIMUM 2 #8 AWG, #10 AWG. GND. Cu.

60A CIRCUITS MINIMUM 2 #6 AWG, #10 AWG. GND. Cu.

70A CIRCUITS MINIMUM 2 #4 AWG, #8 AWG. GND. Cu.

INCREASE BRANCH CIRCUIT CONDUCTORS BY ONE SIZE FOR ALL BRANCH CIRCUITS OVER 100 FEET IN LENGTH.

INCREASE FEEDER CONDUCTORS BY ONE SIZE FOR ALL FEEDERS OVER 100 FEET IN LENGTH.

*20A INDICATES LOCKING DEVICE ON CIRCUIT BREAKER

PANEL NAME: HOUSE LOCATION: MECH ROOM

PANEL MOUNTING: SURFACE SERVED FROM: METERBANK CONNECTED LOAD (kVA): 128.5

No. OF CIRCUITS: 42 OPTIONS: CONNECTED LOAD (AMPS): 357

MAIN OCC: MLO EQUIPMENT GROUND BUS DEMAND LOAD (kVA): 123.5

BUS: 600A ISOLATED GROUND BUS DEMAND LOAD (AMPS): 343

LUGS: - TVSS

VOLTAGE: 120/208V 3Ø 4w OVERSIZED NEUTRAL

A.I.C. SYM.: 45,000 NEMA ENCLOSURE: NEMA 1

BUS MATERIAL: COPPER

REMARKS:

CCT. No.	TRIP	DESCRIPTION	CONNECTED LOAD			TRIP	DESCRIPTION	CCT. No.
				A	B	C		
1	60A	CSU-1	6216	553		20A	JOCKEY PUMP JP-1	2
3	3P		6216	553		3P		4
5			6216	553				6
7	20A	HFC-L	510	0		20A	SPARE	8
9	2P		510	0		20A	SPARE	10
11			510	0		20A	SPARE	12
13	20A	CU-L	1824	0		20A	SPARE	14
15	3P		1824	0		20A	SPARE	16
17			1824	0		20A	SPARE	18
19	30A	EDH-L	1667	0		20A	SPARE	20
21	2P		1667	0		20A	SPARE	22
23			1667	0		20A	SPARE	24
25	20A	ECUH-1	1125	5372		20A	SPARE	26
27	3P		1125	5372		3P		28
29			1125	5372		3P		30
31			0	15969		200A	HP	32
33			0	15469		3P		34
35			0	15469		3P		36
37			0	10000		150A	ELEVATOR E-1	38
39			0	10000		3P		40
41			0	10000		3P		42
TOTAL			43236	42736	42226			
TOTAL					128,198			

PANEL NAME: RP1 LOCATION: RETAIL SPACE 1

PANEL MOUNTING: SURFACE SERVED FROM: METERBANK-RETAIL CONNECTED LOAD (kVA): 30.0

No. OF CIRCUITS: 42 OPTIONS: CONNECTED LOAD (AMPS): 83

MAIN OCC: MCB EQUIPMENT GROUND BUS DEMAND LOAD (kVA): 30.0

BUS: 200A ISOLATED GROUND BUS DEMAND LOAD (AMPS): 83

LUGS: - TVSS

VOLTAGE: 120/208V 3Ø 4w OVERSIZED NEUTRAL

A.I.C. SYM.: 22,000 NEMA ENCLOSURE: NEMA 1

BUS MATERIAL: COPPER

REMARKS:

CCT. No.	TRIP	DESCRIPTION	CONNECTED LOAD			TRIP	DESCRIPTION	CCT. No.
				A	B	C		
1	100A	EDH-1	5000	657		20A	EBH-1	2
3	3P		5000	657		2P		4
5			5000	657		2P		6
7	40A	CU-1	1667	657		2P		8
9	3P		1667	200		20A	LIGHTS	10
11			1667	100		20A	EM LIGHTS	12
13	20A	HFC-1	676	24		20A	EXIT SIGNS RETAIL	14
15	2P		676	180		20A	RECEPTACLES	16
17	20A	SPARE	0	0		20A	SPARE	18
19	20A	SPARE	0	0		20A	SPARE	20
21	20A	SPARE	0	0		20A	SPARE	22
23	20A	SPARE	0	0		20A	SPARE	24
25	20A	SPARE	0	0		20A	SPARE	26
27	20A	SPARE	0	0		20A	SPARE	28
29	20A	SPARE	0	0		20A	SPARE	30
31	20A	SPARE	0	0		20A	SPARE	32
33	20A	SPARE	0	0		20A	SPARE	34
35	20A	SPARE	0	0		20A	SPARE	36
37	20A	SPARE	0	0		20A	SPARE	38
39	20A	SPARE	0	0		20A	SPARE	40
41	20A	SPARE	0	0		20A	SPARE	42
TOTAL			9681	8380	7424			
TOTAL					24,485			

PANEL NAME: RP4 LOCATION: RETAIL SPACE 4

PANEL MOUNTING: SURFACE SERVED FROM: METERBANK-RETAIL CONNECTED LOAD (kVA): 24.4

No. OF CIRCUITS: 42 OPTIONS: CONNECTED LOAD (AMPS): 68

MAIN OCC: MCB EQUIPMENT GROUND BUS DEMAND LOAD (kVA): 24.4

BUS: 200A ISOLATED GROUND BUS DEMAND LOAD (AMPS): 68

LUGS: - TVSS

VOLTAGE: 120/208V 3Ø 4w OVERSIZED NEUTRAL

A.I.C. SYM.: 22,000 NEMA ENCLOSURE: NEMA 1

BUS MATERIAL: COPPER

REMARKS:

CCT. No.	TRIP	DESCRIPTION	CONNECTED LOAD			TRIP	DESCRIPTION	CCT. No.
				A	B	C		
1	100A	EDH-4	5000	657		20A	EBH-1	2
3	3P		5000	657		2P		4
5			5000	657		2P		6
7	40A	CU-4	1667	657		2P		8
9	3P		1667	200		20A	LIGHTS	10
11			1667	100		20A	EM LIGHTS	12
13	20A	HFC-4	700	24		20A	EXIT SIGNS RETAIL	14
15	2P		700	180		20A	RECEPTACLES	16
17	20A	SPARE	0	0		20A	SPARE	18
19	20A	SPARE	0	0		20A	SPARE	20
21	20A	SPARE	0	0		20A	SPARE	22
23	20A	SPARE	0	0		20A	SPARE	24
25	20A	SPARE	0	0		20A	SPARE	26
27	20A	SPARE	0	0		20A	SPARE	28
29	20A	SPARE	0	0		20A	SPARE	30
31	20A	SPARE	0	0		20A	SPARE	32
33	20A	SPARE	0	0		20A	SPARE	34
35	20A	SPARE	0	0		20A	SPARE	36
37	20A	SPARE	0	0		20A	SPARE	38
39	20A	SPARE	0	0		20A	SPARE	40
41	20A	SPARE	0	0		20A	SPARE	42
TOTAL			8705	8404	7424			
TOTAL					24,533			

PANEL NAME: HP LOCATION: METER ROOM

PANEL MOUNTING: SURFACE SERVED FROM: HOUSE CONNECTED LOAD (kVA): 46.9

No. OF CIRCUITS: 42 OPTIONS: CONNECTED LOAD (AMPS): 130

MAIN OCC: MLO EQUIPMENT GROUND BUS DEMAND LOAD (kVA): 46.9

BUS: 200A ISOLATED GROUND BUS DEMAND LOAD (AMPS): 130

LUGS: - TVSS

VOLTAGE: 120/208V 3Ø 4w OVERSIZED NEUTRAL

A.I.C. SYM.: 45,000 NEMA ENCLOSURE: NEMA 1

BUS MATERIAL: COPPER

REMARKS:

CCT. No.	TRIP	DESCRIPTION	CONNECTED LOAD			TRIP	DESCRIPTION	CCT. No.
				A	B	C		
1	20A	EUH-2	1667	1100		30A	EUH-1	2
3	3P		1667	1100		3P		4
5			1667	1100		30A	EUH-1	6
7	20A	EUH-2	1667	1100		30A	EUH-1	8
9	3P		1667	1100		30A	EUH-1	10
11			1667	1100		30A	EUH-1	12
13	20A	EUH-2	1667	1100		30A	EUH-1	14
15	3P		1667	1100		20A	AC-1	16
17			1667	1100		20A	AC-1	18
19	20A	EUH-2	1667	0		20A	SPARE	20
21	3P		1667	0		20A	SPARE	22
23			1667	0		20A	SPARE	24
25	20A	EUH-2	1667	750		20A	SUMP PUMP SP-1	26
27	3P		1667	750		20A	GARAGE EXHAUST GEF-1	28
29			1667	390		20A	EXHAUST FAN EF-1	30
31	20A	EUH-2	1667	500		20A	OVERHEAD DOOR OHD-1	32
33	3P		1667	500		20A	OVERHEAD DOOR OHD-1	34
35			1667	500		20A	OVERHEAD DOOR OHD-1	36
37	20A	EUH-2	1667	500		20A	OVERHEAD DOOR OHD-1	38
39	3P		1667	0		20A	SPARE	40
41			1667	0		20A	SPARE	42
TOTAL			16719	16219	15859			
TOTAL					48,797			

PANEL NAME: RP2 LOCATION: RETAIL SPACE 2

PANEL MOUNTING: SURFACE SERVED FROM: METERBANK-RETAIL CONNECTED LOAD (kVA): 25.0

No. OF CIRCUITS: 42 OPTIONS: CONNECTED LOAD (AMPS): 69

MAIN OCC: MCB EQUIPMENT GROUND BUS DEMAND LOAD (kVA): 25.0

BUS: 200A ISOLATED GROUND BUS DEMAND LOAD (AMPS): 69

LUGS: - TVSS

VOLTAGE: 120/208V 3Ø 4w OVERSIZED NEUTRAL

A.I.C. SYM.: 22,000 NEMA ENCLOSURE: NEMA 1

BUS MATERIAL: COPPER

REMARKS:

CCT. No.	TRIP	DESCRIPTION	CONNECTED LOAD			TRIP	DESCRIPTION	CCT. No.
				A	B	C		
1	100A	EDH-2	5000	469		20A	EBH-2	2
3	3P		5000	469		2P		4
5			5000	469		2P		6
7	40A	CU-2	1667	469		2P		8
9	3P		1667	200		20A	LIGHTS	10
11			1667	100		20A	EM LIGHTS	12
13	20A	HFC-2	700	24		20A	EXIT SIGNS RETAIL	14
15	2P		700	180		20A	RECEPTACLES	16
17	20A	SPARE	0	0		20A	SPARE	18
19	20A	SPARE	0	0		20A	SPARE	20
21	20A	SPARE	0	0		20A	SPARE	22
23	20A	SPARE	0	0		20A	SPARE	24
25	20A	SPARE	0	0		20A	SPARE	26
27	20A	SPARE	0	0		20A	SPARE	28
29	20A	SPARE	0	0		20A	SPARE	30
31	20A	SPARE	0	0		20A	SPARE	32
33	20A	SPARE	0	0		20A	SPARE	34
35	20A	SPARE	0	0		20A	SPARE	36
37	20A	SPARE	0	0		20A	SPARE	38
39	20A	SPARE	0	0		20A	SPARE	40
41	20A	SPARE</						

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EQUIPMENT CONNECTION SCHEDULE

- NOTES:
- VERIFY FINAL LOCATION OF ALL EQUIPMENT WITH EQUIPMENT INSTALLER BEFORE INSTALLING FEEDERS.
 - SEE ARCHITECTURAL, MECHANICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR MORE INFORMATION.
 - SIZE STARTER/FEEDER DISCONNECT PER FINAL EQUIPMENT REQUIREMENTS.
 - PROVIDE FEEDER AS INDICATED, VERIFY WITH EQUIPMENT REQUIREMENTS.
 - PROVIDE OVERLOAD PROTECTION (FUSES OR MOTOR CIRCUIT PROTECTOR) PER SPECIFICATIONS, ACTUAL FIELD MEASURED FULL LOAD CURRENT, AND EQUIPMENT MANUFACTURER'S REQUIREMENTS.
 - VERIFY FINAL VOLTAGE AND PHASE REQUIREMENTS OF ALL EQUIPMENT WITH INSTALLER BEFORE INSTALLING FEEDERS.
 - COORDINATE SHORT CIRCUIT OCD RATING WITH FINAL EQUIPMENT REQUIREMENTS
 - PROVIDE LOCAL DISCONNECT WITHIN 5' OF EQUIPMENT.
 - NON-STANDARD ITEMS, TIMERS, METERS, INTERLOCKS, ETC.
- PROVIDE POWER CONNECTIONS TO ALL ARCHITECTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, AND OTHER FURNISHED EQUIPMENT. REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR LOCATIONS AND POWER REQUIREMENTS. VERIFY ALL TECHNICAL DATA WITH FINAL SHOP DRAWINGS.
 - FUSE SIZES LISTED ARE FROM MANUFACTURER'S AND STANDARD MOTOR DATA. FURNISH FUSES BASED ON FUSE MANUFACTURER'S STANDARDS ACTUAL FIELD MEASURED FULL LOAD CURRENT, AND EQUIPMENT MANUFACTURER'S REQUIREMENTS.
 - FLEXIBLE CONNECTIONS TO MOTORS SHALL BE IN FLEXIBLE CONDUIT. PROVIDE CU EQUIPMENT GROUND FROM DISCONNECT TO MOTOR CONNECTION.
 - SEE MOTOR CONTROL CENTER SCHEDULES FOR EQUIPMENT CONNECTED TO MOTOR CONTROL CENTERS.
 - FVNR FULL VOLTAGE NON-REVERSING
FVR FULL VOLTAGE REVERSING
FVNR2 FULL VOLTAGE NON-REVERSING, TWO SPEED
VFD ADJUSTABLE FREQUENCY DRIVE CONTROLLER
TS TOGGLE SWITCH

TAG	DESCRIPTION	LOAD	WIRE / CONDUIT	STARTER/DISCONNECT/OCD	VOLTAGE	FEED	LOCAL DISCONNECT	REMARKS
CSU 1	CORRIDOR SUPPLY UNIT	51.8 MCA 60A MOCP	3 #6 AWG Cu #10 AWG Cu EQ GND 1" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 3Ø	HOUSE	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 60 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
HFC L	HORIZONTAL FANCOIL UNIT	4.9 MCA 20A MOCP	2 #12 AWG Cu #12 AWG Cu EQ GND 1/2" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 1Ø	HOUSE	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 30 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
EDH L	ELECTRIC DUCT HEATER	5KW 30A	3 #10 AWG Cu #10 AWG Cu EQ GND 3/4" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 3Ø	HOUSE	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 30 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	SINGLE POWER CONNECTION
CU L	CONDENSING UNIT	15.2 MCA 30A MOCP	3 #10 AWG Cu #10 AWG Cu EQ GND 3/4" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 3Ø	HOUSE	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 30 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
HFC 1	HORIZONTAL FANCOIL UNIT	6.5 MCA 20A MOCP	2 #12 AWG Cu #12 AWG Cu EQ GND 1/2" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 1Ø	RP1	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 60 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
EDH 1	ELECTRIC DUCT HEATER	19.2KW 100A	3 #2 AWG Cu #8 AWG Cu EQ GND 1-1/4" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 3Ø	RP1	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 100 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	SINGLE POINT ELECTRICAL CONNECTION 2 SUB-CIRCUITS ON UNIT
CU 1	CONDENSING UNIT	30.1 MCA 35A MOCP	3 #8 AWG Cu #10 AWG Cu EQ GND 3/4" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 3Ø	RP1	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 60 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
HFC 2	HORIZONTAL FANCOIL UNIT	6.5 MCA 20A MOCP	2 #12 AWG Cu #12 AWG Cu EQ GND 1/2" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 1Ø	RP2	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 60 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
EDH 2	ELECTRIC DUCT HEATER	19.2KW 100A	3 #2 AWG Cu #8 AWG Cu EQ GND 1-1/4" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 3Ø	RP2	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 100 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	SINGLE POINT ELECTRICAL CONNECTION 2 SUB-CIRCUITS ON UNIT
CU 2	CONDENSING UNIT	30.1 MCA 35A MOCP	3 #8 AWG Cu #10 AWG Cu EQ GND 3/4" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 3Ø	RP2	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 60 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
HFC 3	HORIZONTAL FANCOIL UNIT	6.5 MCA 20A MOCP	2 #12 AWG Cu #12 AWG Cu EQ GND 1/2" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 1Ø	RP3	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 60 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
EDH 3	ELECTRIC DUCT HEATER	19.2KW 100A	3 #2 AWG Cu #8 AWG Cu EQ GND 1-1/4" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 3Ø	RP3	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 100 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	SINGLE POINT ELECTRICAL CONNECTION 2 SUB-CIRCUITS ON UNIT
CU 3	CONDENSING UNIT	30.1 MCA 35A MOCP	3 #8 AWG Cu #10 AWG Cu EQ GND 3/4" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 3Ø	RP3	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 60 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
HFC 4	HORIZONTAL FANCOIL UNIT	6.5 MCA 20A MOCP	2 #12 AWG Cu #12 AWG Cu EQ GND 1/2" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 1Ø	RP4	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 60 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
EDH 4	ELECTRIC DUCT HEATER	19.2KW 100A	3 #2 AWG Cu #8 AWG Cu EQ GND 1-1/4" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 3Ø	RP4	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 100 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	SINGLE POINT ELECTRICAL CONNECTION 2 SUB-CIRCUITS ON UNIT
CU 4	CONDENSING UNIT	30.1 MCA 35A MOCP	3 #8 AWG Cu #10 AWG Cu EQ GND 3/4" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 3Ø	RP4	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 60 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
HFC 5	HORIZONTAL FANCOIL UNIT	8.6 MCA 20A MOCP	2 #12 AWG Cu #12 AWG Cu EQ GND 1/2" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 1Ø	RP5	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 60 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
EDH 5	ELECTRIC DUCT HEATER	25KW 125A	3 #1 AWG Cu #6 AWG Cu EQ GND 1-1/4" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 3Ø	RP5	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 200 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	SINGLE POINT ELECTRICAL CONNECTION 2 SUB-CIRCUITS ON UNIT
CU 5	CONDENSING UNIT	31.1 MCA 35A MOCP	3 #8 AWG Cu #10 AWG Cu EQ GND 3/4" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 3Ø	RP5	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 60 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
EUH 1	ELECTRIC UNIT HEATER	3.3KW 15.9A	2 #10 AWG Cu #10 AWG Cu EQ GND 1/2" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 1Ø	HP	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 30 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	INCREASE FEEDER SIZE ONE SIZE IF FEEDER IS LONGER THAN 75 FEET FOR VOLTAGE DROP
EUH 2	ELECTRIC UNIT HEATER	5KW 13.9A	3 #12 AWG Cu #2 AWG Cu EQ GND 3/4" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 3Ø	HP	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 30 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	INCREASE FEEDER SIZE ONE SIZE IF FEEDER IS LONGER THAN 75 FEET FOR VOLTAGE DROP
ECUH 1	ELECTRIC CABINET UNIT HEATER	3.75KW 10.4A	3 #12 AWG Cu #2 AWG Cu EQ GND 3/4" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 3Ø	HOUSE	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 30 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
EBH 1	ELECTRIC BASEBOARD HEATER	1313W 20A	2 #12 AWG Cu #12 AWG Cu EQ GND 1/2" C	<input type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 1Ø	RP1,3	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 30 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
EBH 2	ELECTRIC BASEBOARD HEATER	938W 20A	2 #12 AWG Cu #12 AWG Cu EQ GND 1/2" C	<input type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 1Ø	RP3,5	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 30 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
EBH 3	ELECTRIC BASEBOARD HEATER	281W 20A	2 #12 AWG Cu #12 AWG Cu EQ GND 1/2" C	<input type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 1Ø	RP5	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 30 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
EBH 4	ELECTRIC BASEBOARD HEATER	1875W 20A	2 #12 AWG Cu #12 AWG Cu EQ GND 1/2" C	<input type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 1Ø	RP5	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 30 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
TEF 1	TOILET EXHAUST FAN	1/12 HP 280W 2.7 FLA	2 #12 AWG Cu #12 AWG Cu EQ GND 3/4" C	<input type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	120V, 1Ø	LC	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED A SWITCH <input checked="" type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
SP 1	SUMP PUMP	1/3 HP 750W 7.2 FLA	2 #12 AWG Cu #10 AWG Cu EQ GND 3/4" C	<input type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	120V, 1Ø	HP	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED A SWITCH <input checked="" type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	

RESIDENTIAL FIXED APPLIANCE CONNECTION SCHEDULE

- NOTES:
- VERIFY FINAL LOCATION OF ALL EQUIPMENT WITH EQUIPMENT INSTALLER BEFORE INSTALLING BRANCH CIRCUITS.
 - SEE ARCHITECTURAL, MECHANICAL, PLUMBING AND FIRE PROTECTION DRAWINGS FOR MORE INFORMATION.
 - BRANCH CIRCUIT DISCONNECT PER FINAL EQUIPMENT REQUIREMENTS.
 - PROVIDE BRANCH CIRCUIT AS INDICATED, VERIFY WITH EQUIPMENT REQUIREMENTS.
 - PROVIDE OVERLOAD PROTECTION (FUSES OR MOTOR CIRCUIT PROTECTOR) PER SPECIFICATIONS, ACTUAL FIELD MEASURED FULL LOAD CURRENT, AND EQUIPMENT MANUFACTURER'S REQUIREMENTS.
 - VERIFY FINAL VOLTAGE AND PHASE REQUIREMENTS OF ALL EQUIPMENT WITH INSTALLER BEFORE INSTALLING FEEDERS.
 - COORDINATE SHORT CIRCUIT OCD RATING WITH FINAL EQUIPMENT REQUIREMENTS
 - PROVIDE LOCAL DISCONNECT WITHIN 5' OF EQUIPMENT.
 - NON-STANDARD ITEMS, TIMERS, METERS, INTERLOCKS, ETC.
- COMPLY WITH 18-27-422 - DISCONNECTING MEANS

TAG	DESCRIPTION	LOAD	WIRE / CONDUIT	DISCONNECT/OCD	VOLTAGE	FED FROM	LOCAL DISCONNECT	REMARKS
DW	DISHWASHER	750W	2 #12, #14 GND. 1/2" C.	15A	120V, 1Ø	LC	PROVIDE SIMPLEX RECEPTACLE WITHIN APPLIANCE SPACE FOR CORD AND PLUG CONNECTION	
GD	GARBAGE DISPOSAL	750W	2 #12, #14 GND. 1/2" C.	15A	120V, 1Ø	LC	PROVIDE SIMPLEX RECEPTACLE WITHIN APPLIANCE SPACE FOR CORD AND PLUG CONNECTION LOCAL DISCONNECT PROVIDED BY ARCHITECT	
F	FURNACE	1200W	2 #12, #14 GND. 1/2" C.	20A	120V, 1Ø	LC	PROVIDE SINGLE POLE TOGGLE SWITCH FOR LOCAL DISCONNECT INSIDE EQUIPMENT CLOSET TO DISCONNECT EQUIPMENT.	
MW	MICROWAVE FIXED	1200W	2 #12, #14 GND. 1/2" C.	15A	120V, 1Ø	LC	PROVIDE SIMPLEX RECEPTACLE BEHIND APPLIANCE SPACE FOR CORD AND PLUG CONNECTION	
REF	REFRIGERATOR	500W	2 #12, #14 GND. 1/2" C.	15A	120V, 1Ø	LC	PROVIDE SIMPLEX RECEPTACLE WITHIN APPLIANCE SPACE FOR CORD AND PLUG CONNECTION 54" AFF LOCAL DISCONNECT IS PROVIDED BY CORD AND PLUG	

TAG	DESCRIPTION	LOAD	WIRE / CONDUIT	STARTER/DISCONNECT/OCD	VOLTAGE	FEED	LOCAL DISCONNECT	REMARKS
JP 1	JOCKEY PUMP	1 HP 1660W 4.2 FLA	3 #12 AWG Cu #12 AWG Cu EQ GND 3/4" C	<input checked="" type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	208V, 3Ø	PP1	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED 30 A SWITCH <input type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
EF 1	EXHAUST FAN	1/8 HP 390W 3.8 FLA	2 #12 AWG Cu #12 AWG Cu EQ GND 3/4" C	<input type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	120V, 1Ø	HP	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED A SWITCH <input checked="" type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
GEF 1	GENERAL EXHAUST FAN	1/3 HP 750W 7.2 FLA	2 #12 AWG Cu #10 AWG Cu EQ GND 3/4" C	<input type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	120V, 1Ø	HP	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED A SWITCH <input checked="" type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	
OHD 1	OVERHEAD DOOR	1/3 HP 750W 7.2 FLA	2 #12 AWG Cu #10 AWG Cu EQ GND 3/4" C	<input type="checkbox"/> INTEGRAL TO EQUIPMENT <input type="checkbox"/> IN MCC NEMA SIZE <input type="checkbox"/> TYPE	120V, 1Ø	HP	<input type="checkbox"/> FUSED - A FUSE <input checked="" type="checkbox"/> NON-FUSED A SWITCH <input checked="" type="checkbox"/> THERMAL SWITCH, 120V, 1Ø, 1P	

FitzGerald
Associates Architects
912 W. Lake St. Chicago, Illinois
t 312-563-9100 f 312-563-1919
www.fitzgeraldassociates.net

CONSULTANT:
KHATIB AND ASSOCIATES, INC.
Consulting MEP Engineers
557 West Randolph Street, #103
Chicago, IL 60661
p (312) 993-0438

11144

Ravinia

515-555 Roger Williams Avenue
Highland Park, IL 60035

CLIENT:
Imperial Realty Co.

4747 W. Peterson Ave.
Suite 200
Chicago, IL 60646

Permit Corrections 01 02/01/18
1 Issued for Permit/Bid 03/24/17

DESCRIPTION DATE

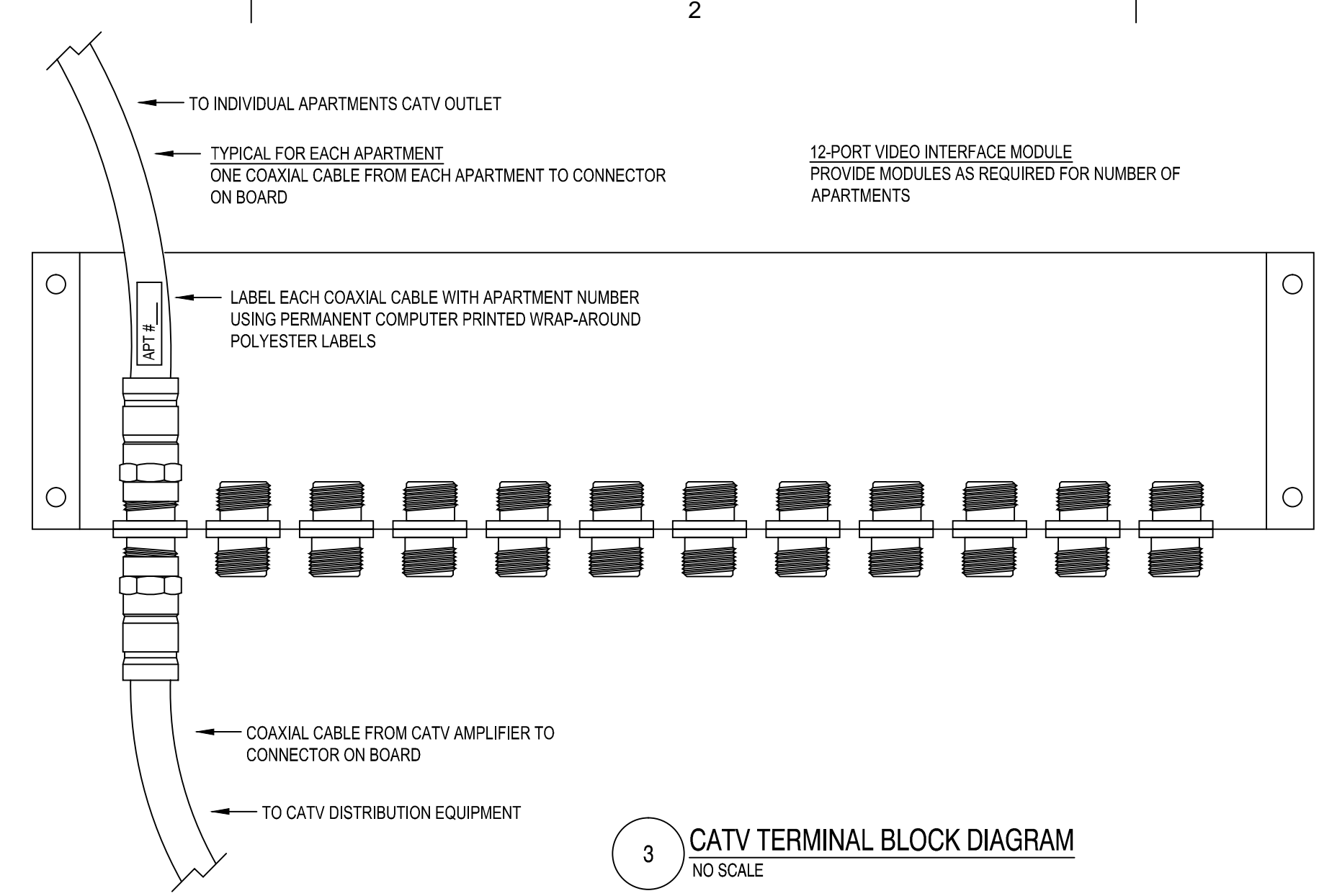


ELECTRICAL EQUIPMENT CONNECTION SCHEDULE

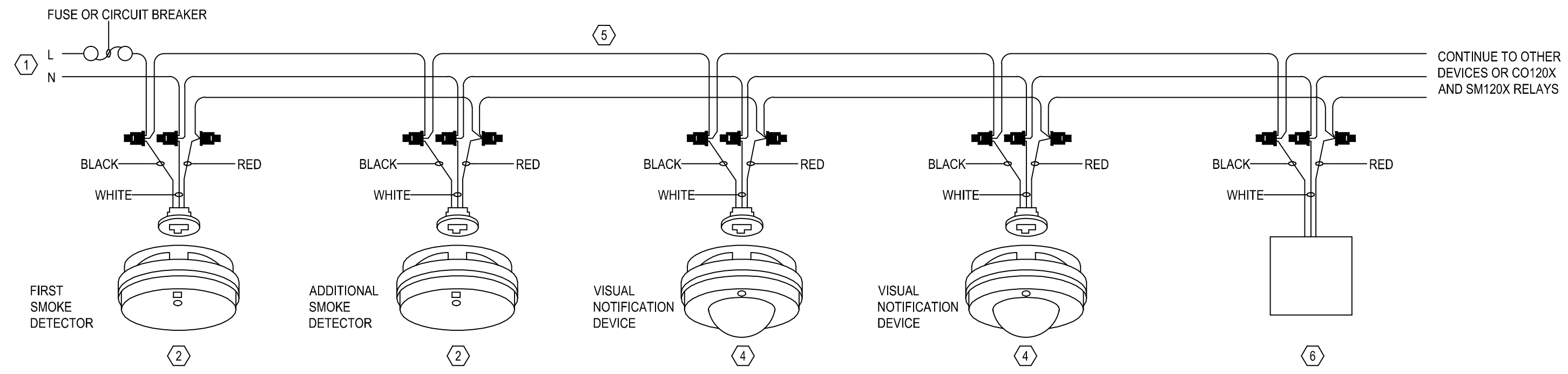
E7-01

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D



3 CATV TERMINAL BLOCK DIAGRAM
NO SCALE



- 1 POWER SUPPLY FOR DEVICES 3 #14 AWG, 12" C.
- 2 TYPICAL SMOKE DETECTOR, 120V WITH BATTERY BACKUP. KIDDE MODEL OR EQUIVALENT.
- 3 TYPICAL CARBON MONOXIDE DETECTOR, 120V WITH BATTERY BACKUP. KIDDE MODEL OR EQUIVALENT.
- 4 TYPICAL VISUAL NOTIFICATION DEVICE, 120V. KIDDE MODEL OR EQUIVALENT.
- 5 THREE (3) #14 AWG STRANDED IN COMPLETE BOX AND RACEWAY SYSTEM.
- 6 RELAY AND MODULE FOR CONNECTION TO REMOTE CORRIDOR INDICATOR LIGHT.

THIS DIAGRAM IS BASED ON STANDARD KIDDE PRODUCTS AS LISTED. OTHER PRODUCTS BY SIMILAR MANUFACTURERS MAY NOT BE CONNECTED THE SAME WAY AND MAY REQUIRE EXTRA COMPONENTS.

VISUAL NOTIFICATION DEVICE WILL FLASH CONTINUOUSLY EACH SECOND ON DETECTION OF SMOKE AND FLASH 5 SECONDS ON AND FIVE SECONDS OFF ON DETECTION OF CO.

INTERCONNECTED SMOKE DETECTORS WILL ALSO SOUND ON DETECTION OF SMOKE.

1 TYPICAL INTERCONNECTION OF SMOKE ALARM, CO ALARM, AND VISUAL DEVICES
NO SCALE

SINGLE STATION SMOKE DETECTOR/VISUAL DEVICE AND ACCESSIBLE UNIT NOTES:

IN ALL UNITS MOUNT ALL CIRCUIT BREAKER SWITCHES, LIGHT SWITCHES, CONTROL SWITCHES, RECEPTACLES, AND ANY OTHER OPERATING MECHANISMS WITHIN REACH RANGE PER ICC/ANSI A117.1-2003 CHAPTER 3, 308 AND 3,309, (I.E. 15" TO 48" AFF)

ALL UNITS WILL HAVE 120V SINGLE STATION SMOKE DETECTORS WITH BATTERY BACKUP AND SINGLE STATION CARBON MONOXIDE DETECTORS WITH BATTERY BACKUP WHERE SHOWN. INTERCONNECT DEVICES WITHIN UNITS AS INDICATED IN THE TYPICAL INTERCONNECTION OF SMOKE ALARM, CO ALARM, AND VISUAL DEVICES DIAGRAM OR AS REQUIRED BY THE SPECIFIC MANUFACTURER SELECTED.

PROVIDE REMOTE INDICATOR LIGHT IN CORRIDOR OUTSIDE UNIT IN COMPLIANCE WITH HIGHLAND PARK REQUIREMENTS INDICATING WHEN TENANT SPACE SINGLE STATION DEVICES ARE ACTIVATED.

PROVIDE CONDUIT, BOXES, AND BLANK COVERS AT THE TIME OF INITIAL CONSTRUCTION SO SINGLE STATION VISUAL NOTIFICATION ALARMS CAN BE INSTALLED ON AN AS NEEDED BASIS. SINGLE STATION VISUAL ALARMS TO BE VISIBLE IN ALL ROOMS AND SPACES EXCEPT UTILITY ROOMS AND CLOSETS. NO UNITS REQUIRE CONDUIT FOR FUTURE DEVICES AT THIS TIME. REFER TO ARCHITECTURAL SHEETS FOR FINAL UNIT LIST.

THE FOLLOWING UNITS WILL HAVE CONDUIT AND SINGLE STATION VISUAL NOTIFICATION ALARM DEVICES INSTALLED AT THE TIME OF INITIAL CONSTRUCTION. SINGLE STATION VISUAL ALARMS TO BE VISIBLE IN ALL ROOMS AND SPACES EXCEPT UTILITY ROOMS AND CLOSETS. UNITS 307 AND 403 WILL REQUIRE DEVICES INSTALLED AT TIME OF INITIAL CONSTRUCTION. REFER TO ARCHITECTURAL SHEETS FOR FINAL UNIT LIST.

THE FOLLOWING UNITS WILL HAVE WALL MOUNTED SWITCHES AT THE COUNTER NEAR THE RANGE TO CONTROL THE RANGE HOODS: 307 AND 403.

THE FOLLOWING UNITS WILL HAVE MICROWAVE DEDICATED RECEPTACLES RELOCATED TO COUNTER TOP LOCATION: 307 AND 403. PROVIDE GFCI PROTECTED RECEPTACLES WHEN COUNTER MOUNTED.

REFER TO ACCESSIBILITY SCOPING MATRIX FOR FINAL REQUIREMENTS FOR INSTALLED VISUAL DEVICES AND PROVISIONS FOR THE INSTALLATION OF FUTURE VISUAL DEVICES.

LIGHTING NOTES:

COMPLY WITH THE REQUIREMENTS OF NFPA 70, 2005 EDITION WITH LOCAL AMENDMENTS. THE HIGHLAND PARK ELECTRICAL CODE, WHERE THE DRAWINGS INDICATE REQUIREMENTS THAT MAY BE CONSIDERED STRICTER THAN THE MINIMUM LOCAL CODE REQUIREMENTS, THE STRICTER INTERPRETATION SHALL BE FOLLOWED.

ALL EXTERIOR LIGHTING TO BE CONTROLLED BY A PROGRAMMABLE LIGHTING CONTROL SYSTEM.

ALL ROOMS REQUIRE CONTROL BY AN OCCUPANCY SENSOR AND THE ABILITY FOR THE USER TO SELECT TWO LEVELS OF LIGHTING EXCEPT: UTILITY SPACES, TOILET ROOMS AND ROOMS WITH ONLY ONE LIGHTING FIXTURE.

IN ROOMS WHERE TWO WALL SWITCHES ARE SHOWN A WALL CONTROL WILL ALLOW THE USER TO SELECT OFF-LEVEL-1-LEVEL-2 OF LIGHTING. APPROXIMATELY HALF OF THE FIXTURES CONTROLLED BY ONE SWITCH AND THE REMAINING FIXTURES CONTROLLED BY THE OTHER SWITCH. CONFERENCE ROOMS GROUP FIXTURES BASED ON ROOM FUNCTION. THE OCCUPANCY SENSOR(S) WILL SHUT OFF ALL LIGHTING IF THE SPACE IS UNOCCUPIED FOR A MINIMUM OF 5 MINUTES ADJUSTABLE UP TO 20 MINUTES.

ALL OTHER ROOMS REQUIRE OCCUPANCY SENSOR CONTROL OF LOCAL LIGHTING.

POWER PLAN NOTES:

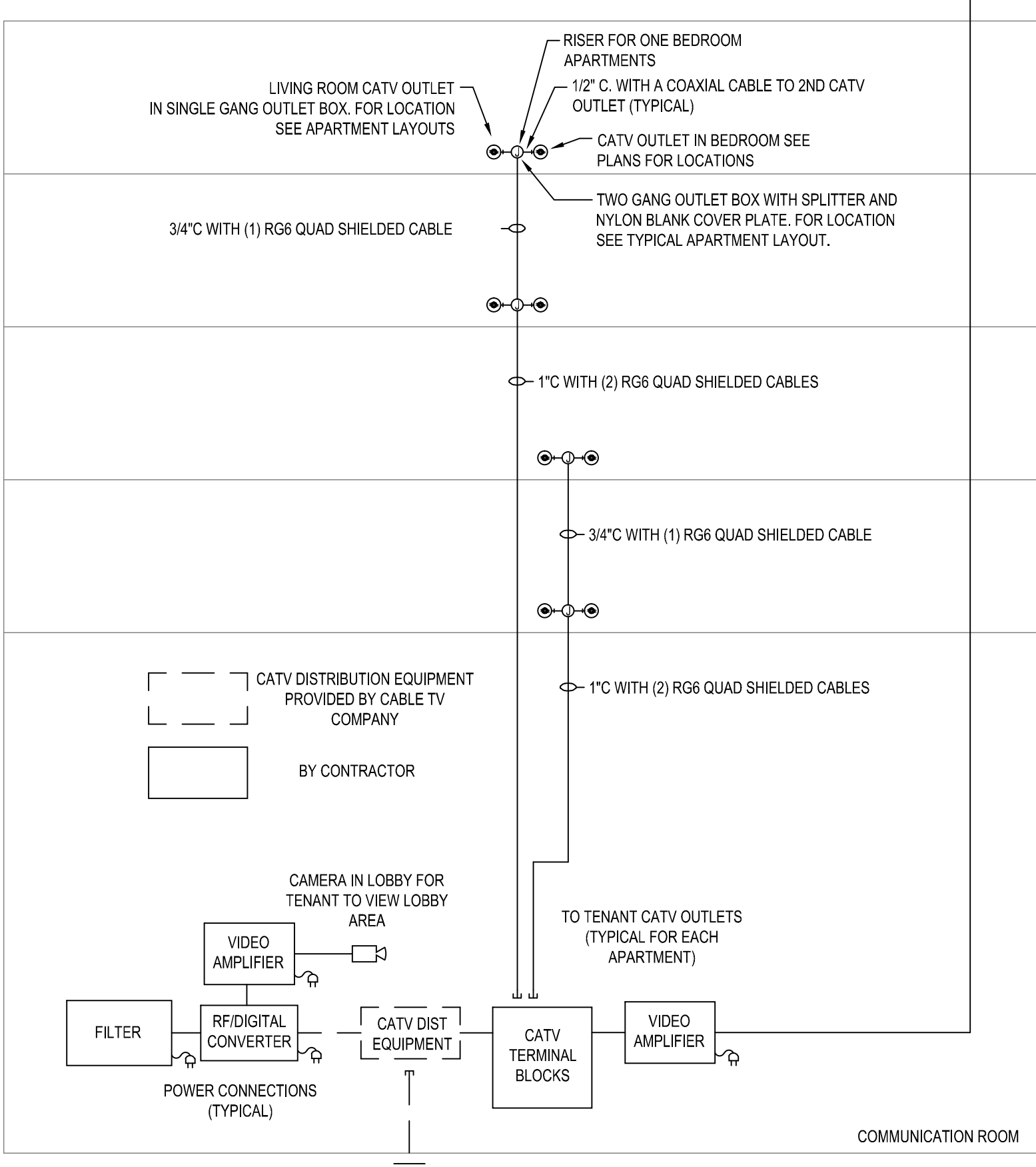
COMPLY WITH THE REQUIREMENTS OF NFPA 70, 2005 EDITION WITH LOCAL AMENDMENTS. THE HIGHLAND PARK ELECTRICAL CODE, WHERE THE DRAWINGS INDICATE REQUIREMENTS THAT MAY BE CONSIDERED STRICTER THAN THE MINIMUM LOCAL CODE REQUIREMENTS, THE STRICTER INTERPRETATION SHALL BE FOLLOWED.

CONNECT ALL GENERAL PURPOSE AND GFCI RECEPTACLES TO 120/208V PANELBOARDS. CIRCUITS AS INDICATED. PROVIDE SEPERATE NEUTRALS FOR ALL CIRCUITS. NETWORK BRANCH CIRCUIT CONFIGURATION IS ACCEPTABLE FOR GENERAL PURPOSE RECEPTACLES IF 3-POLE CIRCUIT BREAKERS ARE SUPPLIED.

LIMIT GENERAL PURPOSE RECEPTACLES TO SIX PER 20A CIRCUIT.

PROVIDE MINIMUM #12 AWG Cu. CONDUCTORS FOR ALL 20A CIRCUITS.

REFER TO EQUIPMENT CONNECTION SCHEDULE FOR SPECIFIC SOURCE PANEL AND REFER TO PANEL SCHEDULE FOR BRANCH CIRCUIT NUMBERS. PROVIDE FINAL PANEL AND BRANCH CIRCUIT NUMBER AS PART OF AS-BUILT RECORD DRAWINGS.



2 CATV SYSTEM DIAGRAM
NO SCALE

EM LIGHTING/EXIT SIGNAGE NOTES:

COMPLY WITH THE REQUIREMENTS OF ARTICLE 700, NFPA 70, 2005 EDITION WITH LOCAL AMENDMENTS. THE HIGHLAND PARK ELECTRICAL CODE, WHERE THE DRAWINGS INDICATE REQUIREMENTS THAT MAY BE CONSIDERED STRICTER THAN THE MINIMUM LOCAL CODE REQUIREMENTS, THE STRICTER INTERPRETATION SHALL BE FOLLOWED.

CONNECT ALL EXIT SIGNS, NIGHT LIGHTS AND UNIT BATTERY EMERGENCY LIGHTING EQUIPMENT TO NORMAL LIGHTING PANEL. DEDICATED CIRCUITS AS NOTED. USE #10 AWG CONDUCTORS FOR ALL EM CIRCUITS. DROPS TO INDIVIDUAL EQUIPMENT MAY BE #12 AWG. ALL EXIT/EM SYSTEM LIGHTING IS 120V UNLESS NOTED OTHERWISE.

PROVIDE LOCKING DEVICES ON EXIT SIGN AND NIGHT LIGHT/EM LIGHTING CIRCUITS.

CONNECT UNIT BATTERY EQUIPMENT AHEAD OF ANY LOCAL SWITCHING DEVICE. IT IS INTENDED THAT ALL UNIT BATTERY EQUIPMENT IS CONNECTED TO THE SAME LIGHTING CIRCUIT THAT SUPPLIES THE SPACE THE UNIT BATTERY EQUIPMENT IS LOCATED IN.

EXTERIOR DOWNLIGHTS AT EXIT DOORS CONTAIN EMERGENCY BACKUP BATTERY EQUIPMENT THAT WILL AUTOMATICALLY TURN ON IN THE EVENT OF POWER FAILURE. THESE FIXTURES REQUIRE BOTH SWITCHED AND UNSWITCHED CONNECTIONS FOR PROPER OPERATION.

DOOR HARDWARE NOTES:

COMPLY WITH ALL REQUIREMENTS OF THE HIGHLAND PARK MUNICIPAL CODE.

DOOR HARDWARE INCLUDING: POWER OPERATORS, PUSH PLATES, ELECTRIC STRIKES, DOOR CONTACTS, ETC. ARE SPECIFIED IN THE HARDWARE SPECIFICATIONS.

REFER TO ARCHITECTURAL DRAWINGS FOR PRECISE MOUNTING LOCATIONS AND EXACT MOUNTING HEIGHTS.

ELECTRICAL DRAWINGS ARE DIAGRAMMATIC AND ONLY INDICATE COMPONENTS FOR INTERCONNECTION.

PROVIDE RACEWAYS AS INDICATED AND REQUIRED FOR EQUIPMENT INTERCONNECTIONS. COORDINATE INSTALLATION OF CABLES THROUGH DOOR FRAMES AS REQUIRED. 1/2" MINIMUM FOR SINGLE DEVICES. 3/4" MINIMUM FOR HOMERUNS TO EQUIPMENT CLOSETS. CONDUITS MAY BE COMBINED. CONTRACTOR IS RESPONSIBLE FOR SIZING CONDUITS.

SPECIFIC CABLING IS NOT SPECIFIED. PROVIDE REQUIRED CABLES. TERMINATIONS AS REQUIRED USING WEST PENN PRODUCTS OR EQUIVALENT.

CARD READER SYSTEM, SECURITY, AND DOOR CONTROLS YELLOW CONDUIT "DOOR"

REFER TO DETAILS FOR DOOR HARDWARE CONDUIT DIAGRAMS.

VOICE/DATA EQUIPMENT NOTES:

COMPLY WITH ALL REQUIREMENTS OF THE HIGHLAND PARK MUNICIPAL CODE.

PROVIDE COMPLETE INDEPENDENT RACEWAY SYSTEMS TO SUPPORT ALL LOW-VOLTAGE VOICE/DATA COMMUNICATION SYSTEMS.

PROVIDE BACKBOXES AND CONDUITS TO ABOVE CEILING SPACES FOR VOICE/DATA CABLES.

PROVIDE CABLES AND TERMINATIONS AS INDICATED. PROVIDE CABLES, DEVICES AND WALL PLATES FOR VOICE/DATA CABLES.

PROVIDE BUSHINGS ON CONDUITS ENDS TO PROTECT CABLES ON ALL RACEWAYS.

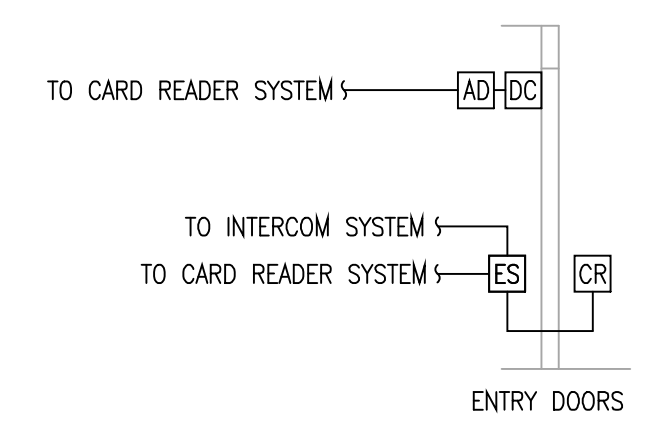
PROVIDE COMPLETE RACEWAY SYSTEM FOR ALL LOW-VOLTAGE COMMUNICATION SYSTEMS WHERE SUSPENDED CEILINGS ARE NOT PROVIDED.

PROVIDE SEPARATE INDEPENDENT RACEWAY SYSTEMS FOR COMMUNICATION SYSTEM WIRING. CLEARLY DESIGNATE COMMUNICATION SYSTEM RACEWAYS BY USING PAINTED CONDUIT AS DESIGNATED BELOW. PAINT JUNCTION BOXES AND STENCIL LETTERS IN BLACK ON ALL JUNCTION BOX COVERS OF COMMUNICATION SYSTEMS AS LISTED.

PROVIDE ADEQUATE RACEWAY BEND RADIUS FOR ALL COMMUNICATION CABLES. PROVIDE A MINIMUM 6" RADIUS BEND FOR ALL LOW-VOLTAGE SYSTEM CABLES.

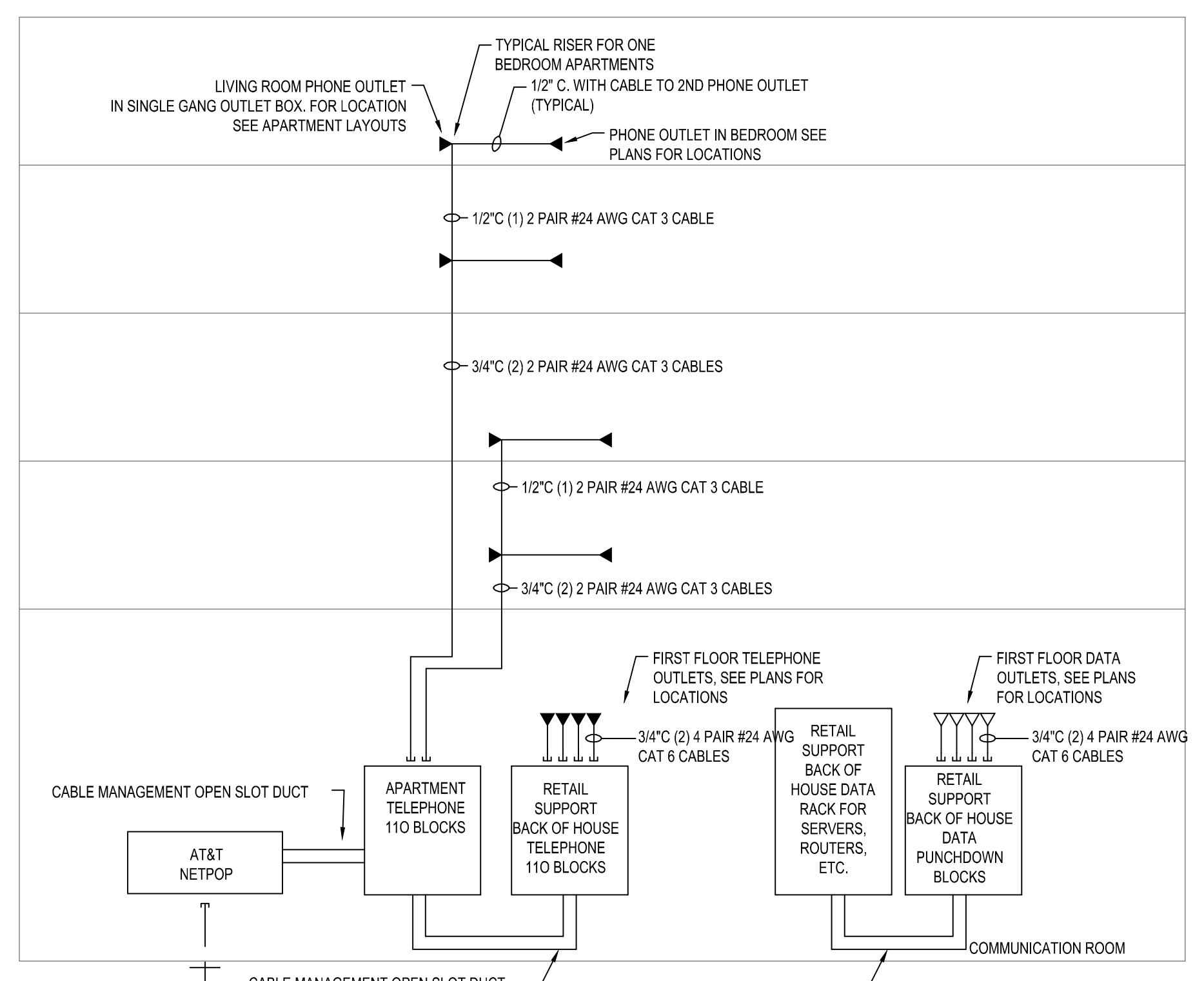
VOICE/DATA SYSTEM BLUE CONDUIT "VD"

IN EXPOSED AREAS DO NOT PAINT RACEWAY SYSTEM TO MATCH STRUCTURE OR WALLS. PROTECT RACEWAYS OR REPAINT TO COMPLY WITH COLOR CODE.



COORDINATE FINAL LOCATION OF CARD READERS WITH ARCHITECTURAL DRAWINGS

1 1ST FLOOR DOOR CONTROLS
NO SCALE



3 TELEPHONE / DATA SYSTEM DIAGRAM
NO SCALE

FitzGerald
Associates Architects
912 W. Lake St. Chicago, Illinois 60661
t 312-563-9100 f 312-563-1919
www.fitzgeraldassociates.net

CONSULTANT:
KHATIB AND ASSOCIATES, INC.
Consulting MEP Engineers
557 West Randolph Street, #103
Chicago, IL 60661
p (312) 993-0438

11144

Ravinia

515-555 Roger Williams Avenue
Highland Park, IL 60035

CLIENT:
Imperial Realty Co.

4747 W. Peterson Ave.
Suite 200
Chicago, IL 60646

1 Issued for Permit/Bid 03/24/17

#	DESCRIPTION	DATE
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COMMUNICATION DETAILS AND NOTES

E9-00